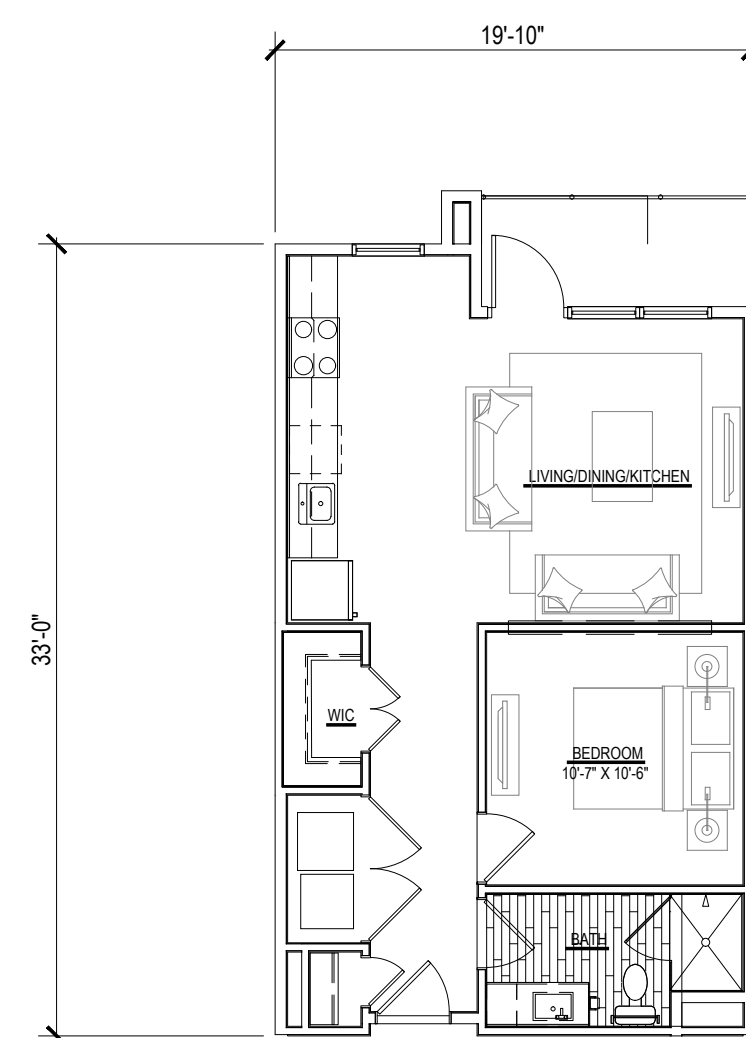


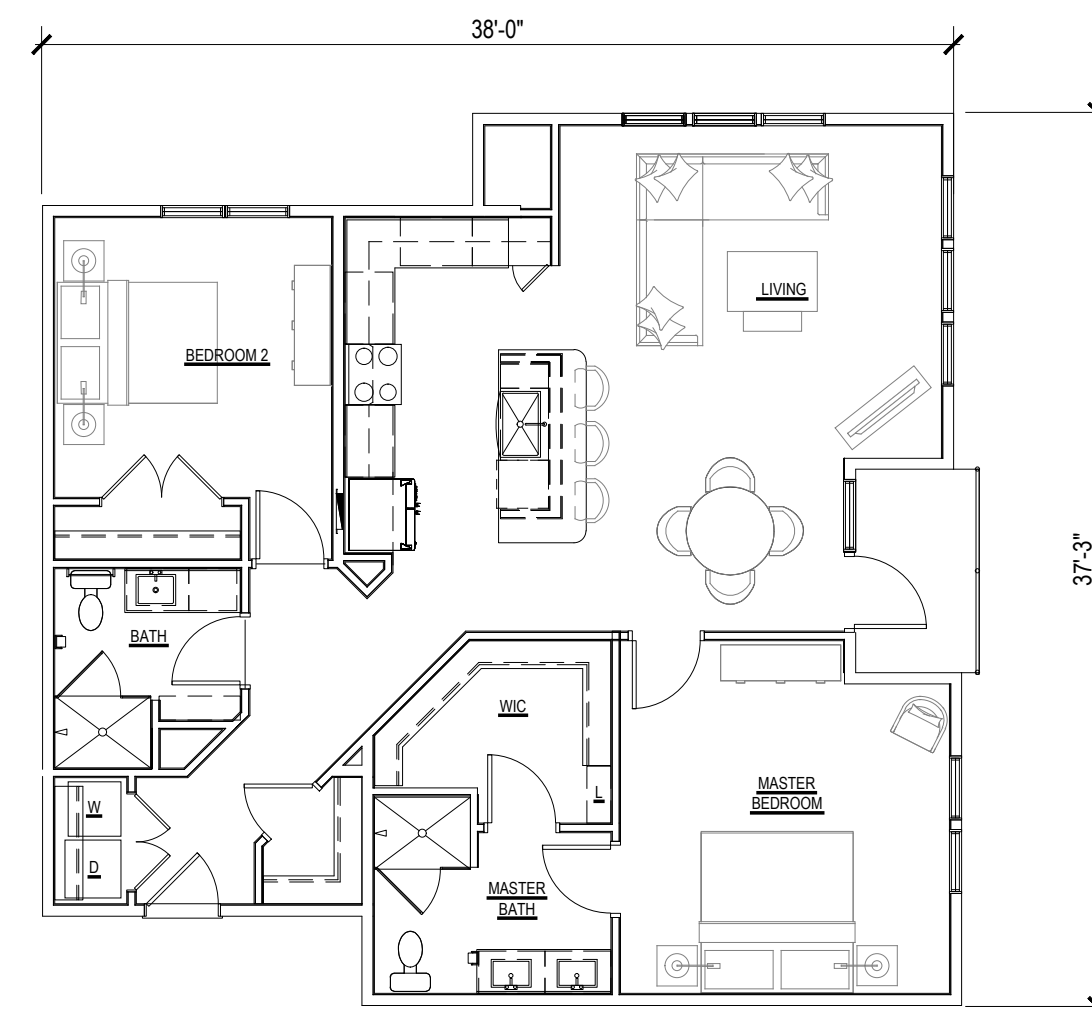
APEX AT PERRY CROSSING

10/20/2020

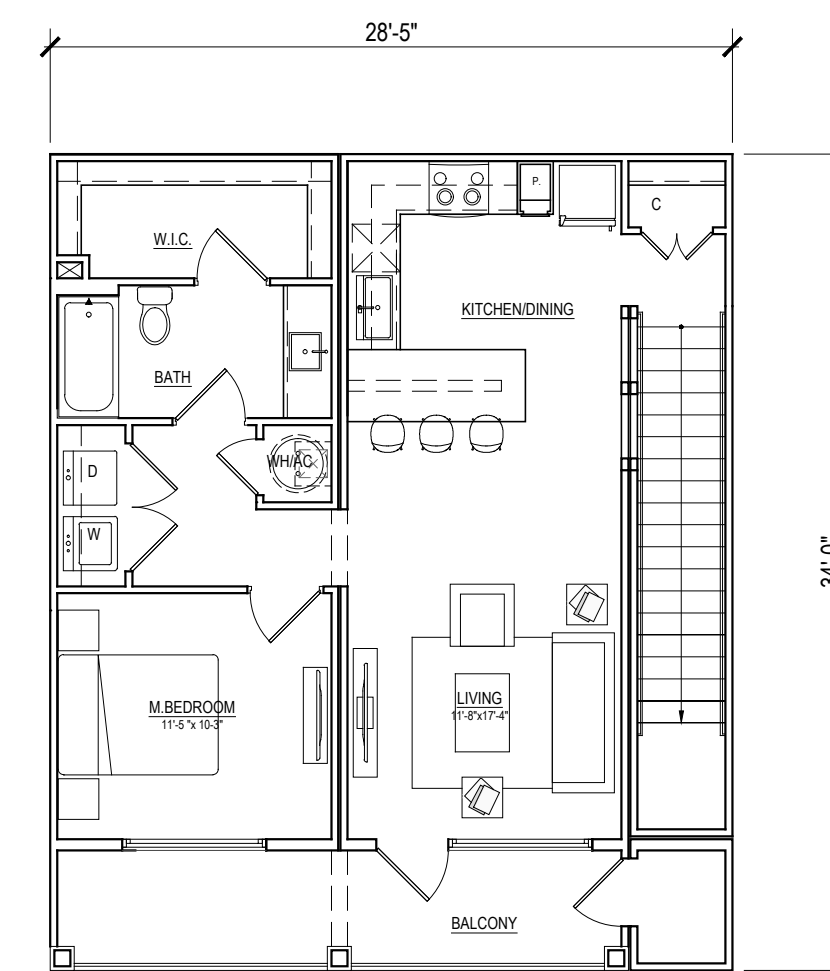
SP06: 2/3 STORY STACK HOUSE & 3 STORY BREEZEWAY						8/13/20
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN
A0-BW	1br/1ba	586	20	7%	11,720	42%
A1-SH	1br/1ba	750	22	7%	16,500	
A2-SH	1br/1ba	775	44	15%	34,100	
A3-SH	1br/1ba	845	22	7%	18,590	
A1-BW	1br/1ba	664	16	5%	10,624	
B1-SH	2br/2ba	1,030	22	7%	22,660	52%
B2-SH	2br/2ba	1,110	22	7%	24,420	
B4-SH	2br/2ba	1,135	22	7%	24,970	
B1-BW	2br/2ba	1,094	64	22%	70,016	
B2-BW	2br/2ba	1,265	24	8%	30,360	5%
C1-BW	3br/2ba	1,314	16	5%	21,024	
TOTALS			294	100%	284,984	
UNIT AVERAGE NET SF :		969				
NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE A/C SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.						
PROJECT DATA						
UNIT AVERAGE NET SF :		969 S.F.				



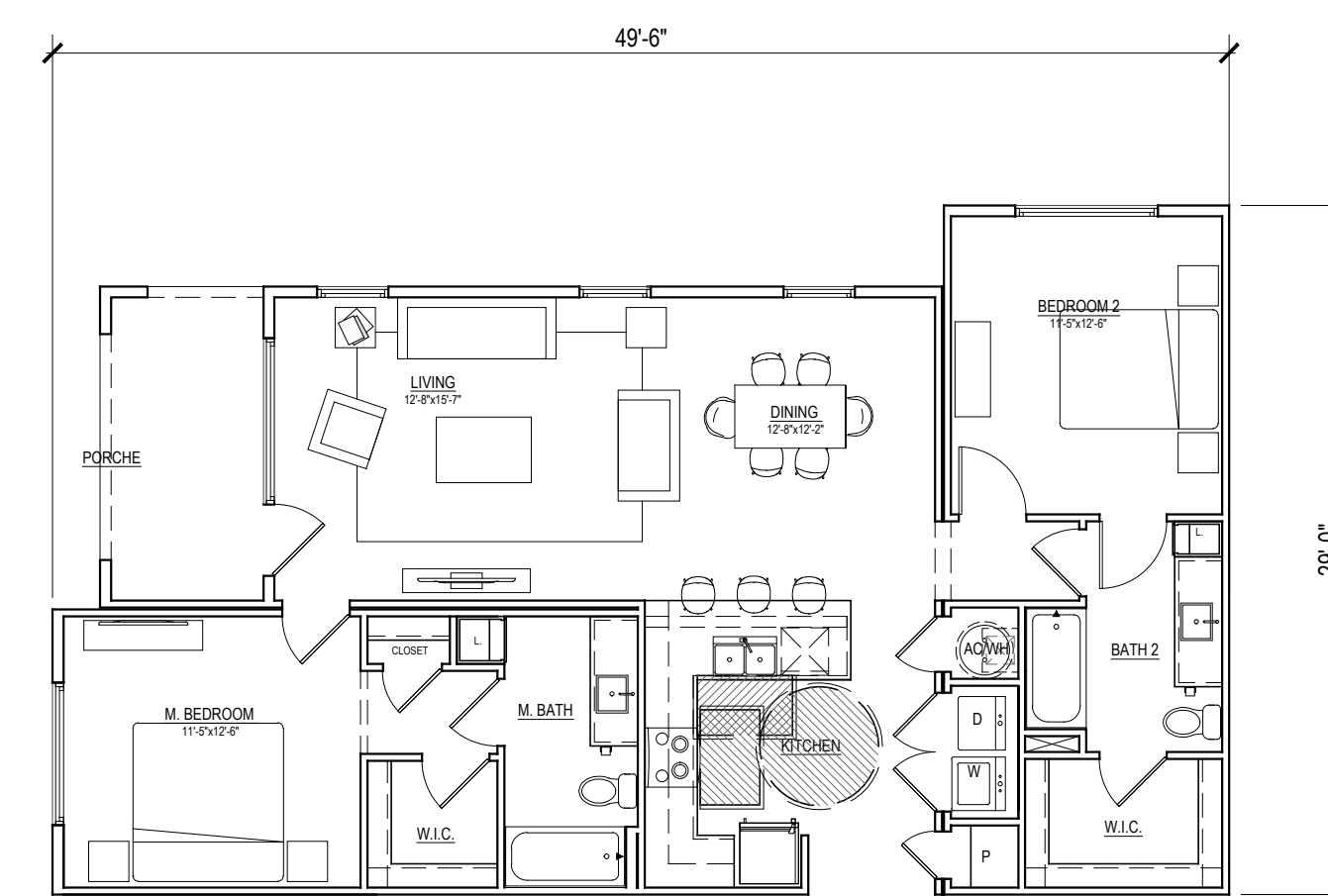
1 BR/S UNIT



2 BR/S UNIT



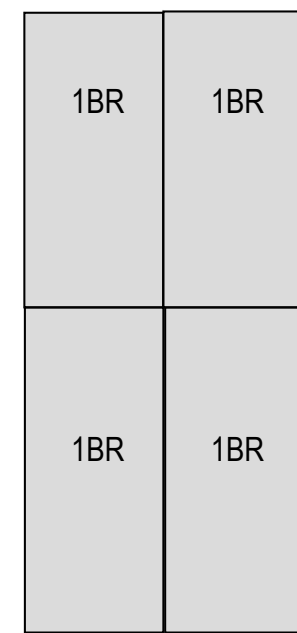
1 BR/S UNIT



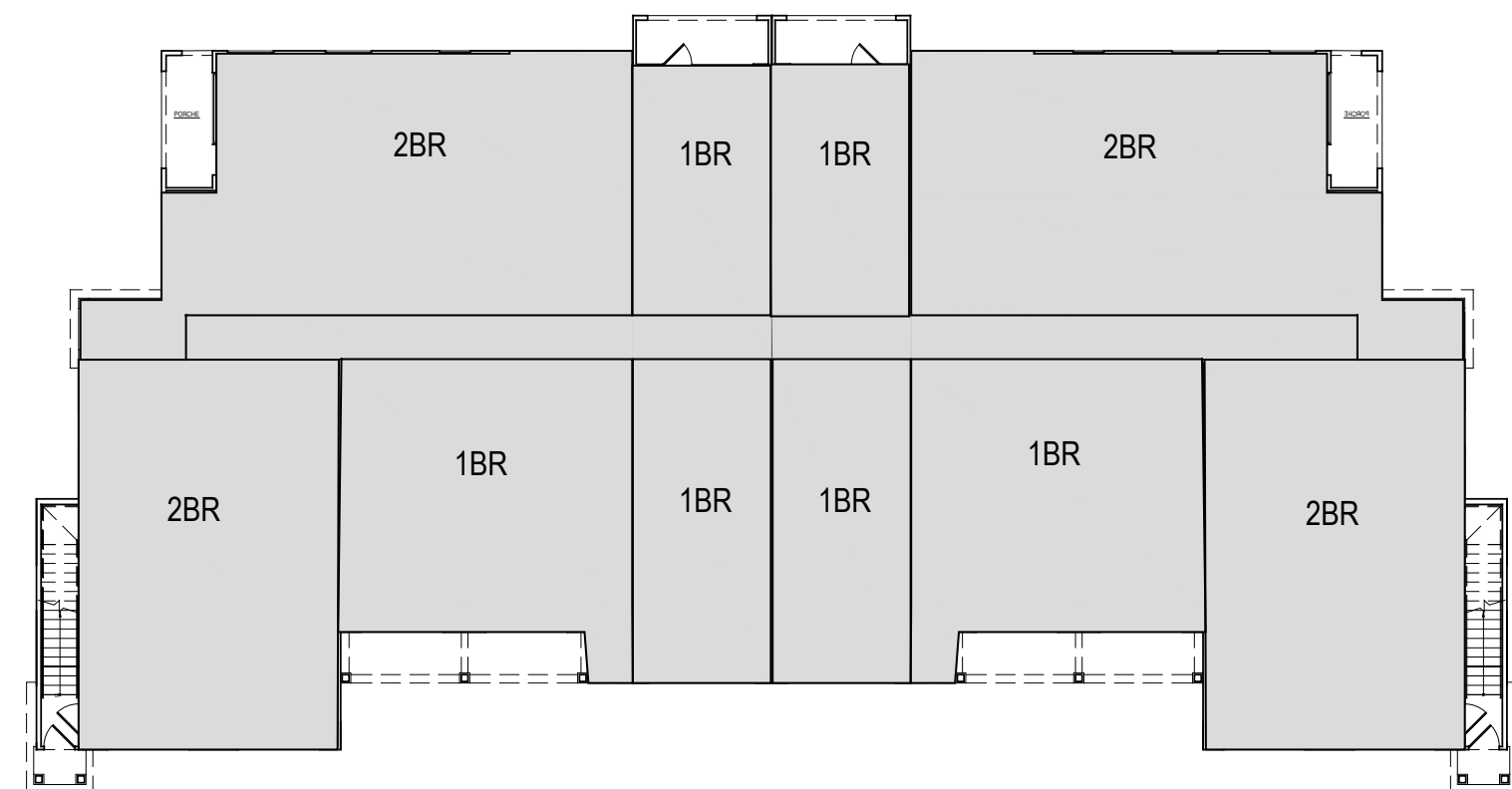
2 BR/S UNIT

BUILDING TYPE I (BREEZEWAY) UNITS

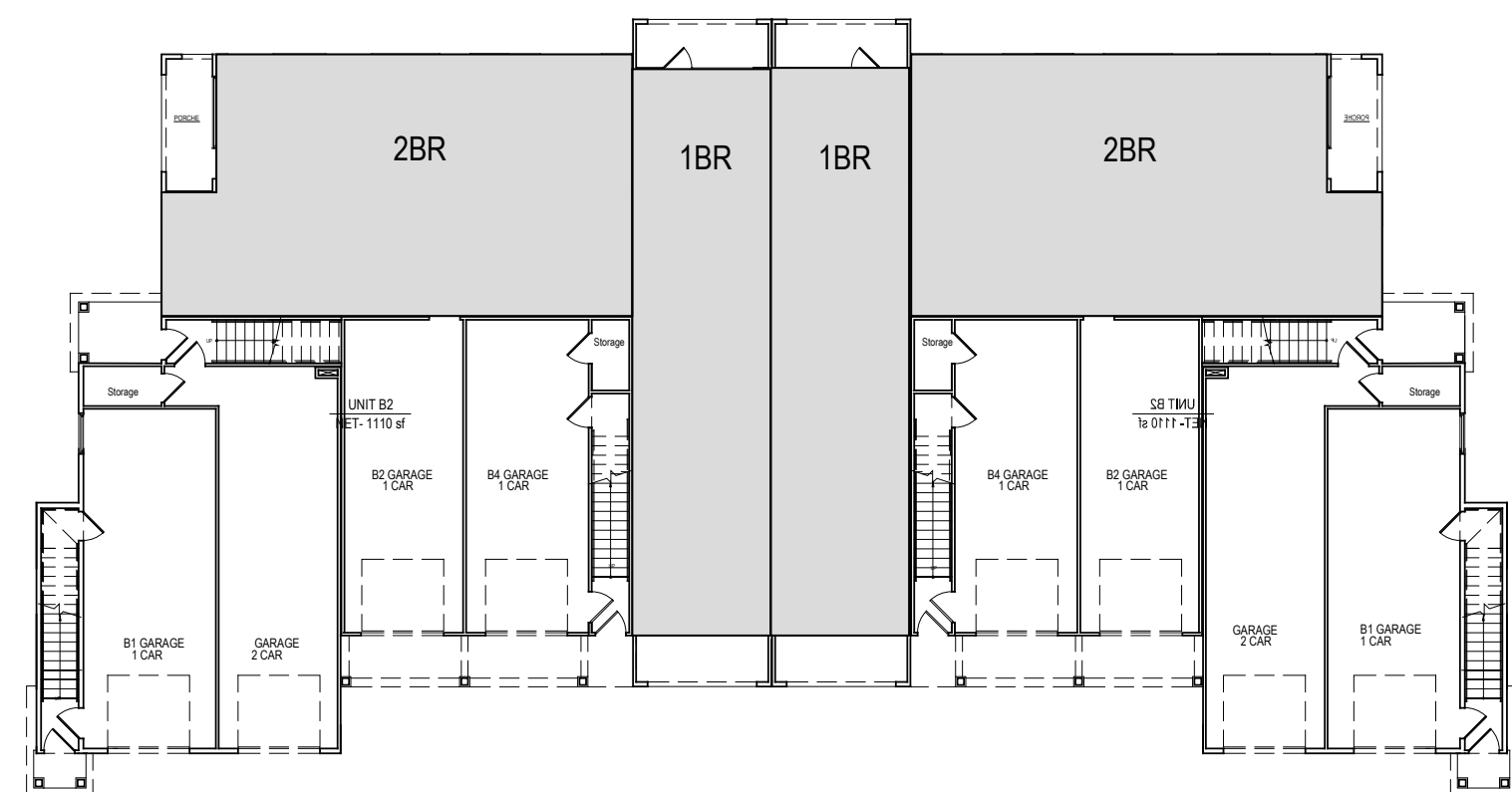
BUILDING TYPE II (STAKHOUSE) UNITS



LEVEL 3

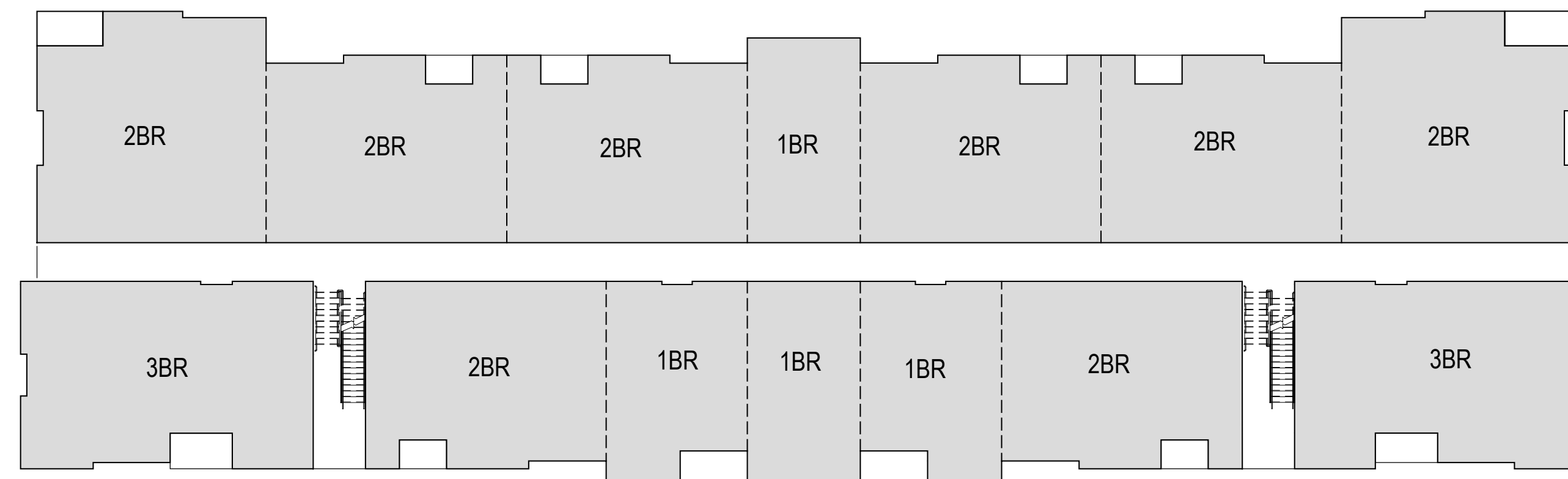


LEVEL 2

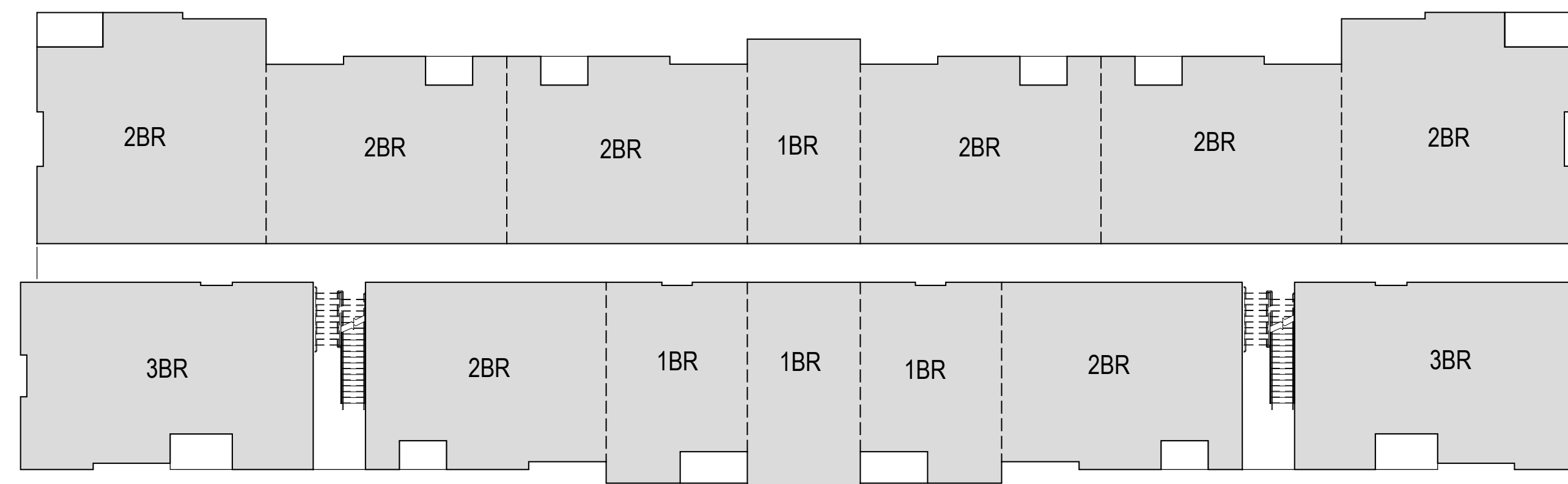


LEVEL 1

BUILDING TYPE II: STAKHOUSE
14 UNITS/9 GARAGES



LEVEL 3



LEVEL 2



LEVEL 1

BUILDING TYPE I: BREEZWAY
35 UNITS/17 GARAGES

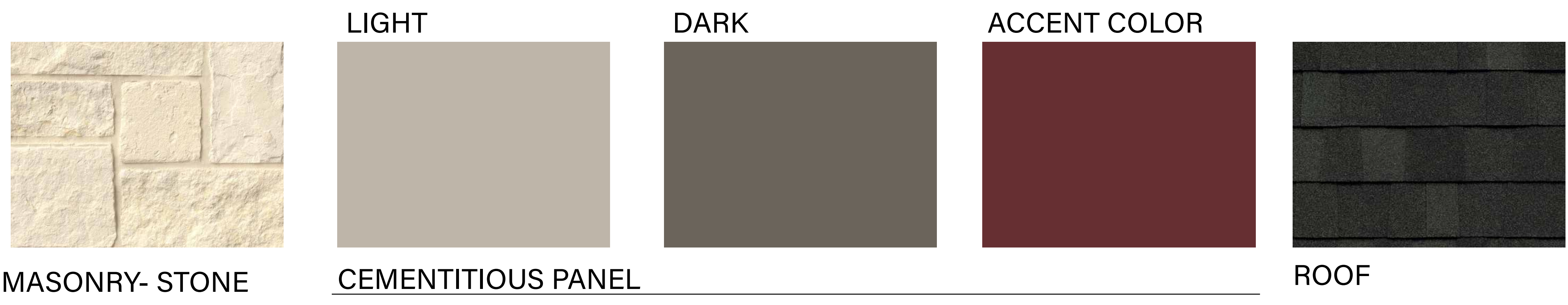
NOTE: BUILDING CONCEPT PLANS ARE REPRESENTATIVE OF THE DESIGN AND SUBJECT TO CHANGE.

A410



- NOTES:
1. ALL RESIDENTIAL BUILDINGS WILL BE PROTECTED IN ACCORDANCE WITH NFPA 13R REQUIREMENTS.
 2. THE NUMBER OF ACCESSIBLE DWELLING UNITS AND ACCESSIBLE PARKING SPACES WILL EXCEED THE MINIMUM REQUIREMENTS SPECIFIED BY APPLICABLE FEDERAL RULE (2%) BY 50% OR MORE.
 3. ALL UNITS TO HAVE A PRIVATE BALCONY.
 4. ALL UNITS TO HAVE WASHER & DRYERS.

BUILDING TYPE 1					
	TOTAL AREA (sf)	AREA EXCLUDING WINDOWS, DOORS, ROOFING, SOFFIT (sf)	AREA OF EXTERIOR BUILDING MATERIAL (sf)	PERCENTAGE OF AREA OF EACH EXTERIOR MATERIAL	
FRONT FAÇADE	8372	5475	STONE	1343	25%
			CEMENTITIOUS PANEL	4132	75%
SIDE FAÇADE	2429	1657	STONE	657	40%
			CEMENTITIOUS PANEL	1000	60%
REAR FAÇADE	8292	4908	STONE	1436	29%
			CEMENTITIOUS PANEL	3472	71%



3-STORY BREEZEWAY BLDG
FRONT ELEVATION

SCALE = 3/32" = 1'-0"
October 20, 2020

A411

APEX AT PERRY CROSSING
PLAINFIELD, IN
HPA# 19485



- NOTES:
1. ALL RESIDENTIAL BUILDINGS WILL BE PROTECTED IN ACCORDANCE WITH NFPA 13R REQUIREMENTS.
 2. THE NUMBER OF ACCESSIBLE DWELLING UNITS AND ACCESSIBLE PARKING SPACES WILL EXCEED THE MINIMUM REQUIREMENTS SPECIFIED BY APPLICABLE FEDERAL RULE (2%) BY 50% OR MORE.
 3. ALL UNITS TO HAVE A PRIVATE BALCONY.
 4. ALL UNITS TO HAVE WASHER & DRYERS.

BUILDING TYPE 1					
	TOTAL AREA (sf)	AREA EXCLUDING WINDOWS, DOORS, ROOFING, SOFFIT (sf)	AREA OF EXTERIOR BUILDING MATERIAL (sf)	PERCENTAGE OF AREA OF EACH EXTERIOR MATERIAL	
FRONT FAÇADE	8372	5475	STONE	1343	25%
			CEMENTITIOUS PANEL	4132	75%
SIDE FAÇADE	2429	1657	STONE	657	40%
			CEMENTITIOUS PANEL	1000	60%
REAR FAÇADE	8292	4908	STONE	1436	29%
			CEMENTITIOUS PANEL	3472	71%



3-STORY BREEZEWAY BLDG
REAR ELEVATION

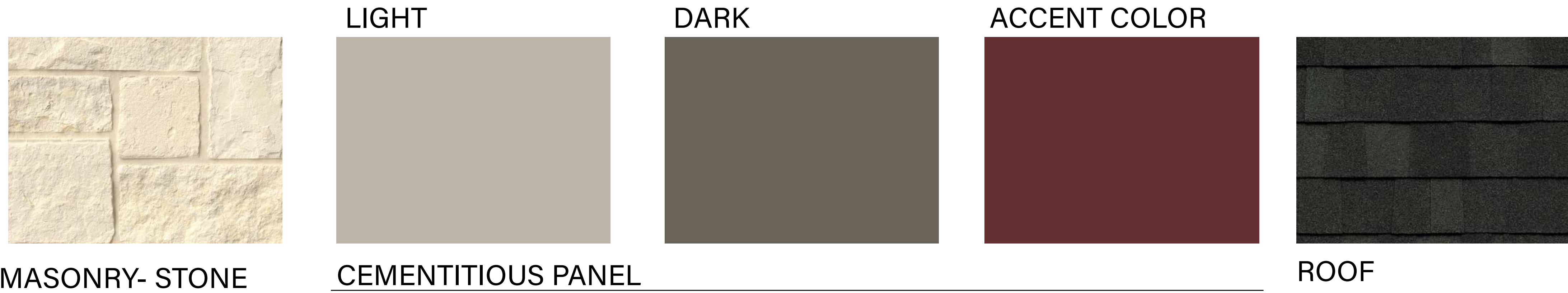
SCALE = $\frac{3}{32}'' = 1'-0''$
October 20, 2020

A412

APEX AT PERRY CROSSING
PLAINFIELD, IN
HPA# 19485



BUILDING TYPE 1					
	TOTAL AREA (sf)	AREA EXCLUDING WINDOWS, DOORS, ROOFING, SOFFIT (sf)	AREA OF EXTERIOR BUILDING MATERIAL (sf)	PERCENTAGE OF AREA OF EACH EXTERIOR MATERIAL	
FRONT FAÇADE	8372	5475	STONE	1343	25%
			CEMENTITIOUS PANEL	4132	75%
SIDE FAÇADE	2429	1657	STONE	657	40%
			CEMENTITIOUS PANEL	1000	60%
REAR FAÇADE	8292	4908	STONE	1436	29%
			CEMENTITIOUS PANEL	3472	71%



3-STORY BREEZEWAY BLDG
SIDE ELEVATION

SCALE = $\frac{3}{32}$ " = 1'-0"
October 20, 2020

A413

APEX AT PERRY CROSSING
PLAINFIELD, IN
HPA# 19485

- NOTES:
1. ALL RESIDENTIAL BUILDINGS WILL BE PROTECTED IN ACCORDANCE WITH NFPA 13R REQUIREMENTS.
 2. THE NUMBER OF ACCESSIBLE DWELLING UNITS AND ACCESSIBLE PARKING SPACES WILL EXCEED THE MINIMUM REQUIREMENTS SPECIFIED BY APPLICABLE FEDERAL RULE (2%) BY 50% OR MORE.
 3. ALL UNITS TO HAVE A PRIVATE BALCONY.
 4. ALL UNITS TO HAVE WASHER & DRYERS.



BUILDING TYPE 2					
	TOTAL AREA (sf)	AREA EXCLUDING WINDOWS, DOORS, ROOFING, SOFFIT (sf)	AREA OF EXTERIOR BUILDING MATERIAL (sf)	PERCENTAGE OF AREA OF EACH EXTERIOR MATERIAL	
FRONT FAÇADE	3419	2538	STONE	801	32%
			CEMENTITIOUS PANEL	1737	68%
SIDE FAÇADE	1715	1044	STONE	532	51%
			CEMENTITIOUS PANEL	512	49%
REAR FAÇADE	3355	2066	STONE	578	28%
			CEMENTITIOUS PANEL	1488	72%



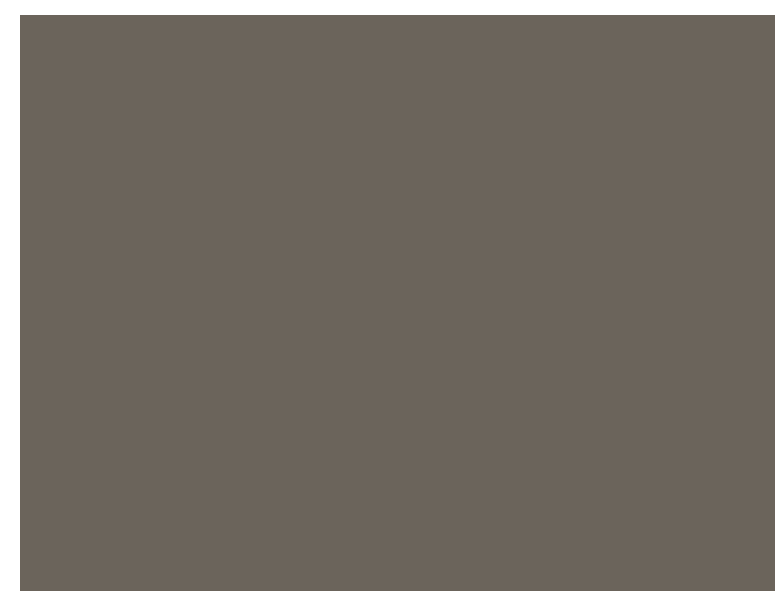
MASONRY- STONE

LIGHT

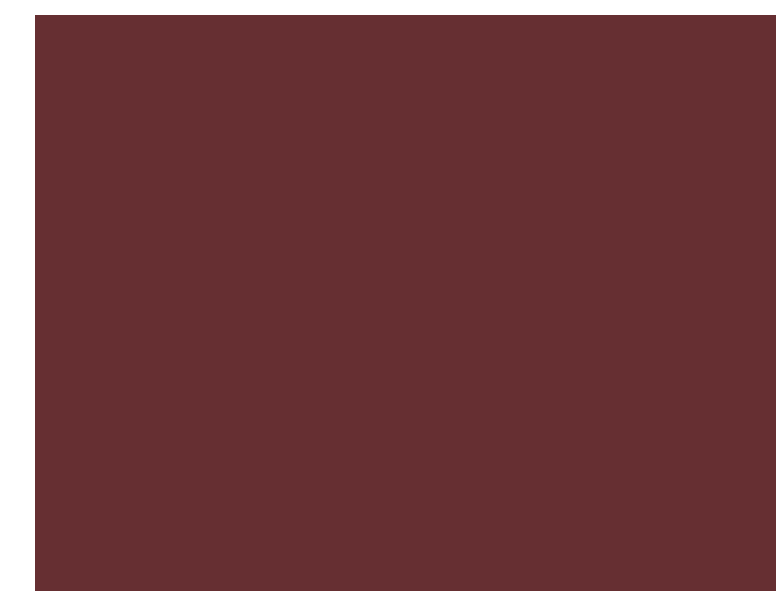


CEMENTITIOUS PANEL

DARK



ACCENT COLOR



ROOF

STACKHOUSE
FRONT ELEVATION

SCALE = $\frac{3}{32}$ " = 1'-0"
October 20, 2020

A421

APEX AT PERRY CROSSING
PLAINFIELD, IN
HPA# 19485



- NOTES:
1. ALL RESIDENTIAL BUILDINGS WILL BE PROTECTED IN ACCORDANCE WITH NFPA 13R REQUIREMENTS.
 2. THE NUMBER OF ACCESSIBLE DWELLING UNITS AND ACCESSIBLE PARKING SPACES WILL EXCEED THE MINIMUM REQUIREMENTS SPECIFIED BY APPLICABLE FEDERAL RULE (2%) BY 50% OR MORE.
 3. ALL UNITS TO HAVE A PRIVATE BALCONY.
 4. ALL UNITS TO HAVE WASHER & DRYERS.

BUILDING TYPE 2				
	TOTAL AREA (sf)	AREA EXCLUDING WINDOWS, DOORS, ROOFING, SOFFIT (sf)	AREA OF EXTERIOR BUILDING MATERIAL (sf)	PERCENTAGE OF AREA OF EACH EXTERIOR MATERIAL
FRONT FAÇADE	3419	2538	STONE	801 32%
			CEMENTITIOUS PANEL	1737 68%
SIDE FAÇADE	1715	1044	STONE	532 51%
			CEMENTITIOUS PANEL	512 49%
REAR FAÇADE	3355	2066	STONE	578 28%
			CEMENTITIOUS PANEL	1488 72%



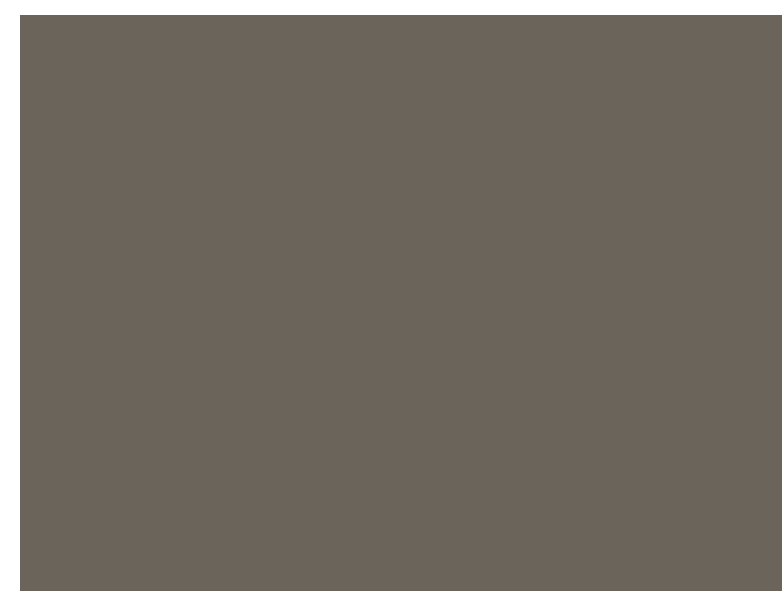
MASONRY- STONE

LIGHT



CEMENTITIOUS PANEL

DARK



ACCENT COLOR



ROOF

STACKHOUSE
REAR ELEVATION

SCALE = $\frac{3}{32}$ " = 1'-0"
October 20, 2020

REVISED PER DRC MEETING ON 10/7/2020

APEX AT PERRY CROSSING
PLAINFIELD, IN
HPA# 19485

A422



- NOTES:
1. ALL RESIDENTIAL BUILDINGS WILL BE PROTECTED IN ACCORDANCE WITH NFPA 13R REQUIREMENTS.
 2. THE NUMBER OF ACCESSIBLE DWELLING UNITS AND ACCESSIBLE PARKING SPACES WILL EXCEED THE MINIMUM REQUIREMENTS SPECIFIED BY APPLICABLE FEDERAL RULE (2%) BY 50% OR MORE.
 3. ALL UNITS TO HAVE A PRIVATE BALCONY.
 4. ALL UNITS TO HAVE WASHER & DRYERS.

BUILDING TYPE 2					
	TOTAL AREA (sf)	AREA EXCLUDING WINDOWS, DOORS, ROOFING, SOFFIT (sf)	AREA OF EXTERIOR BUILDING MATERIAL (sf)	PERCENTAGE OF AREA OF EACH EXTERIOR MATERIAL	
FRONT FAÇADE	3419	2538	STONE	801	32%
			CEMENTITIOUS PANEL	1737	68%
SIDE FAÇADE	1715	1044	STONE	532	51%
			CEMENTITIOUS PANEL	512	49%
REAR FAÇADE	3355	2066	STONE	578	28%
			CEMENTITIOUS PANEL	1488	72%



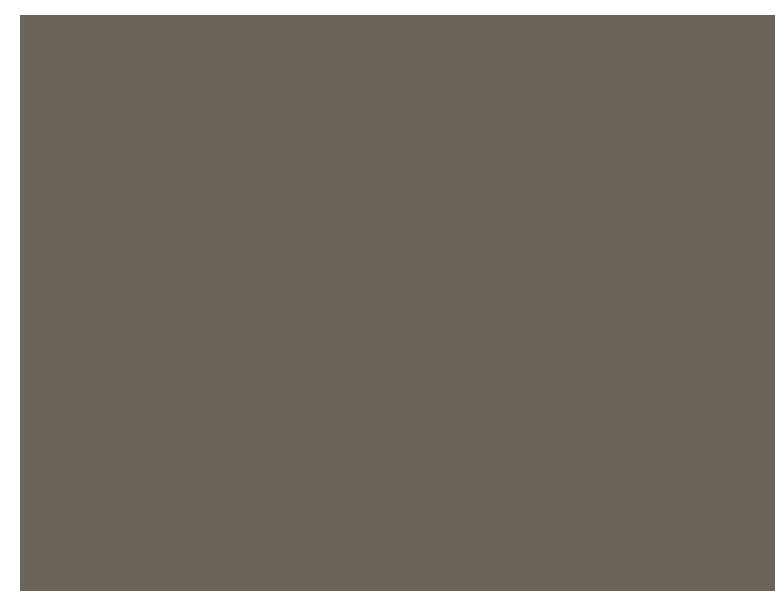
MASONRY- STONE

LIGHT

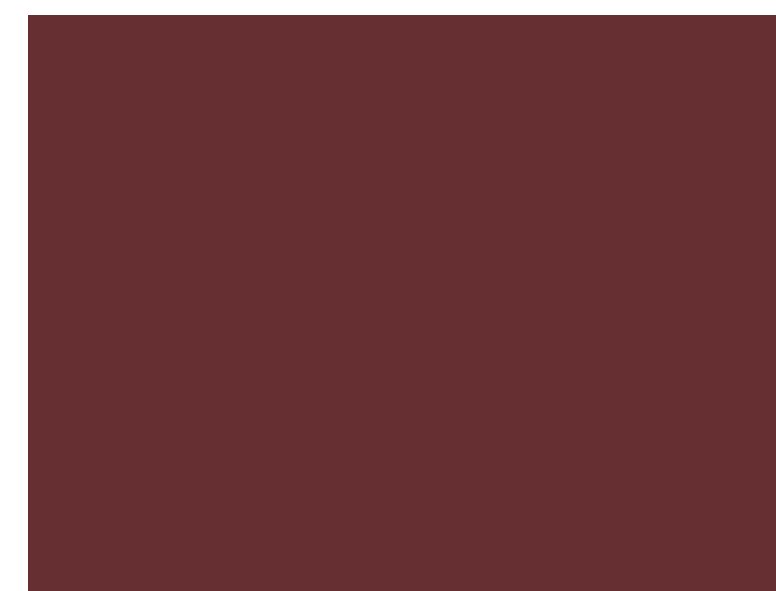


CEMENTITIOUS PANEL

DARK



ACCENT COLOR



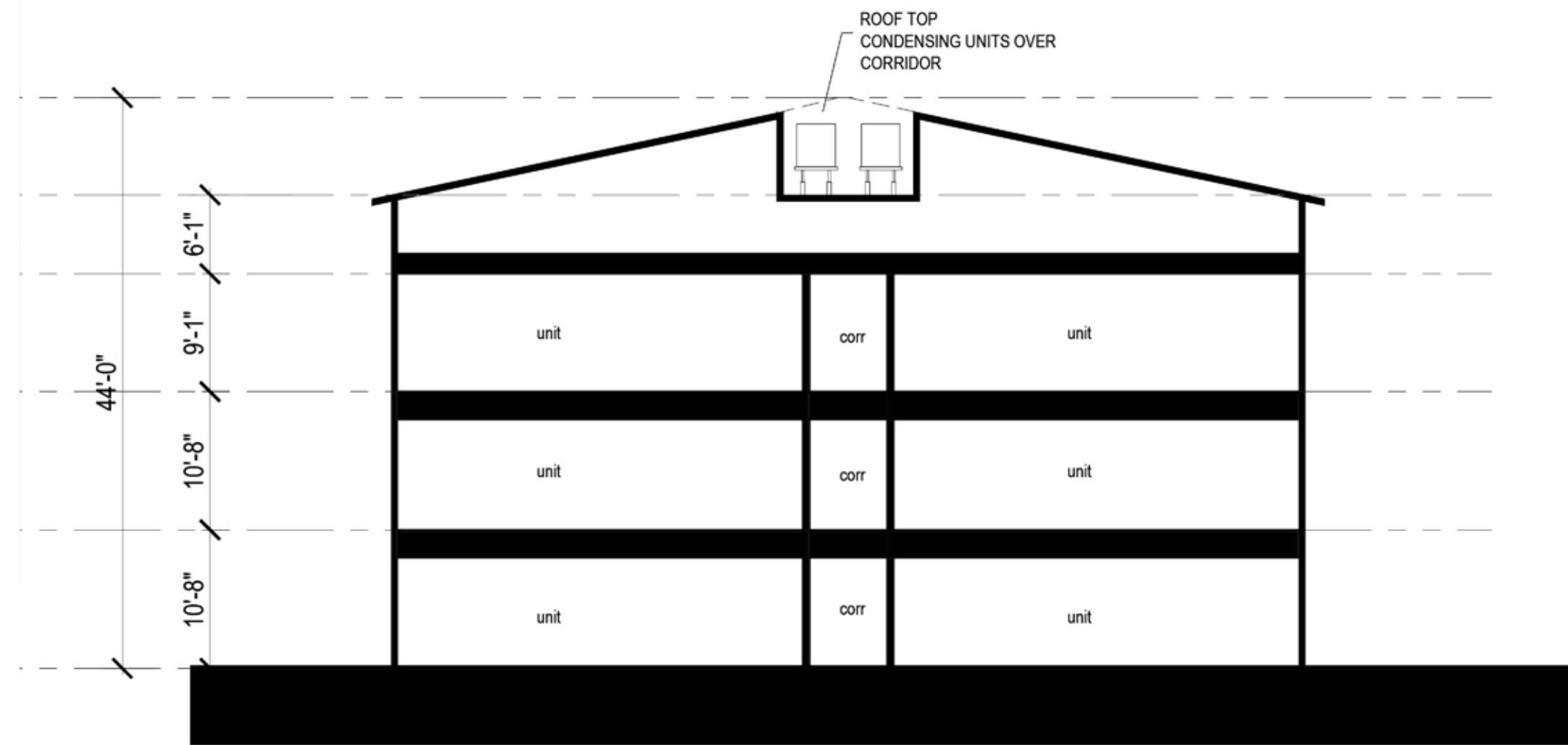
ROOF

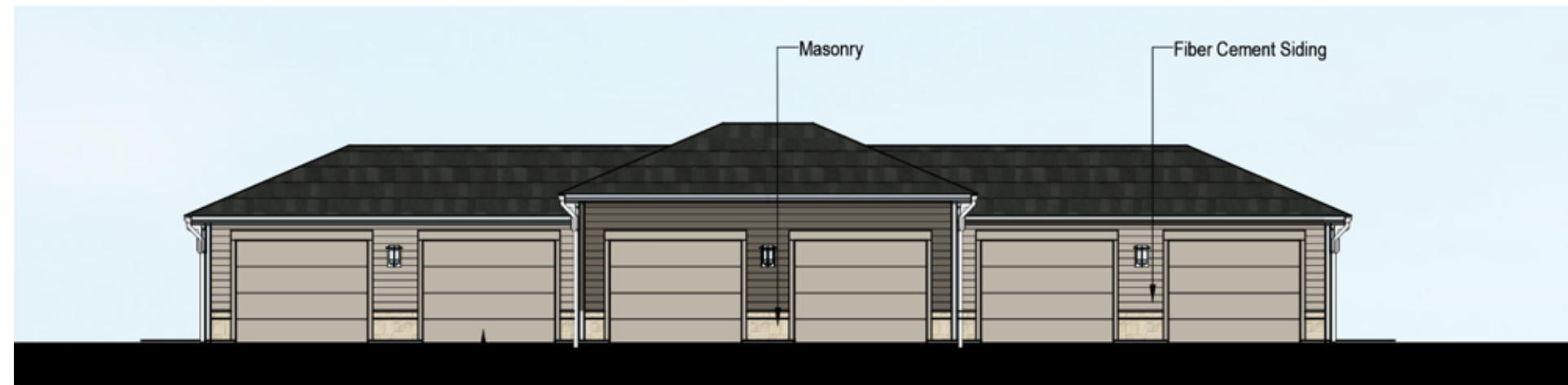
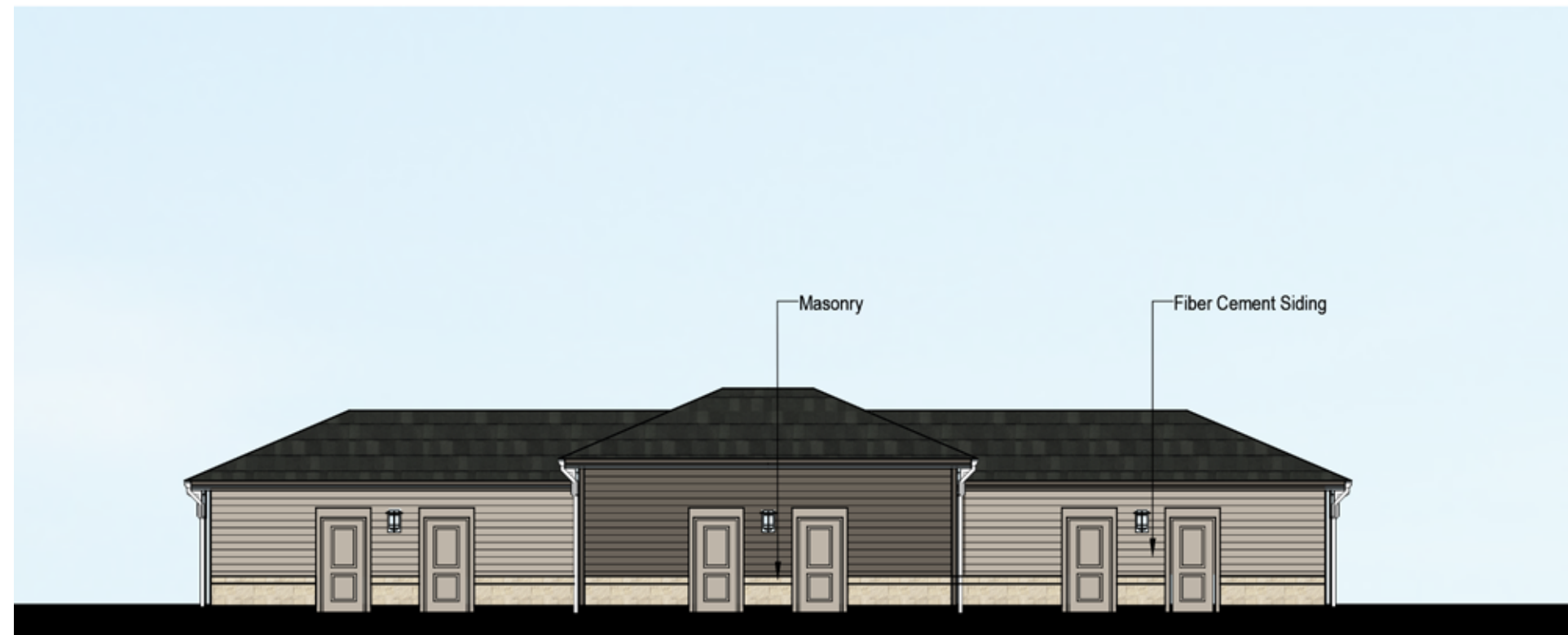
STACKHOUSE
SIDE ELEVATION

SCALE = $\frac{3}{32}$ " = 1'-0"
October 20, 2020

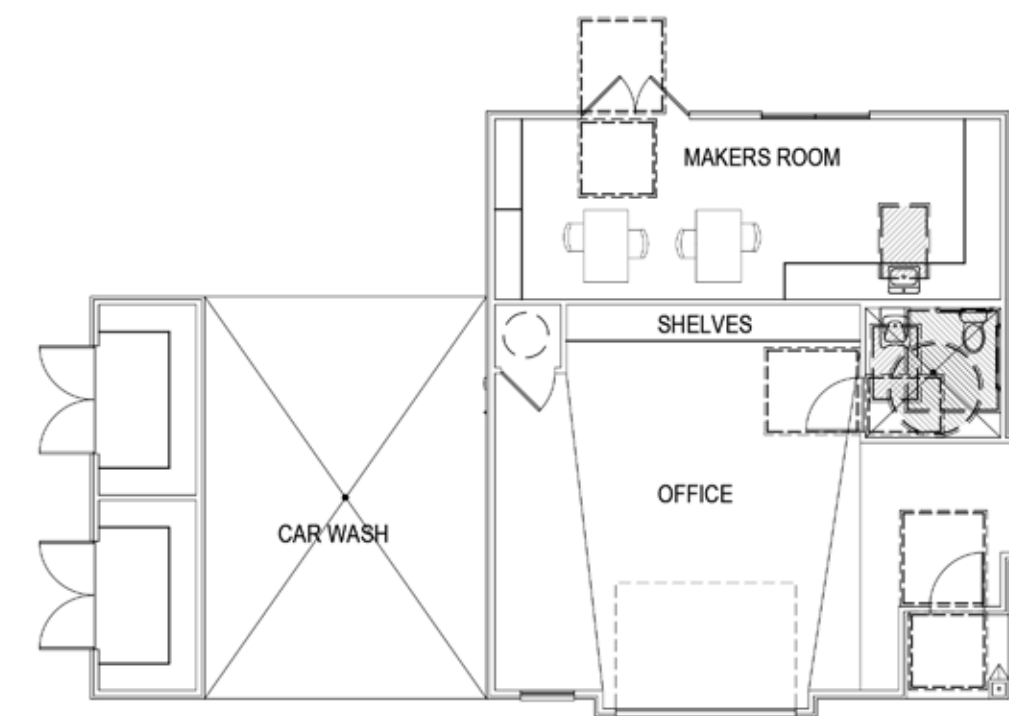
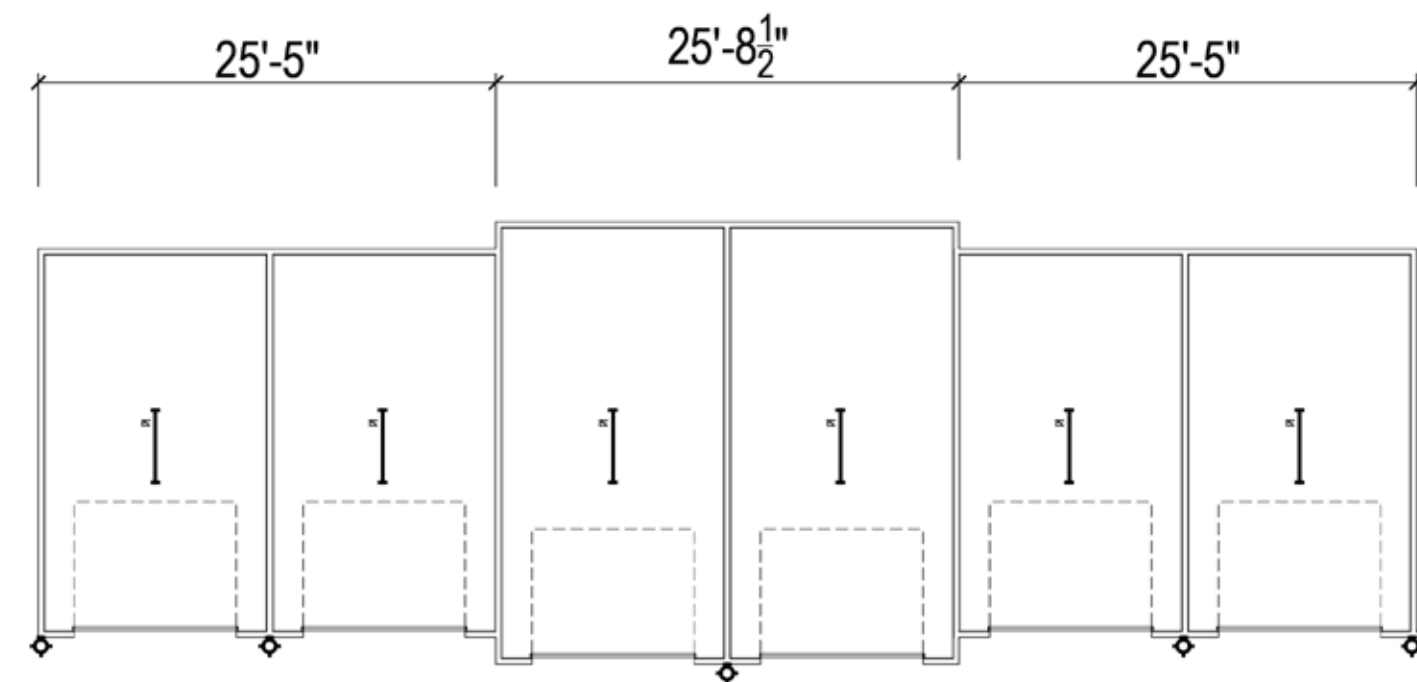
A423

APEX AT PERRY CROSSING
PLAINFIELD, IN
HPA# 19485





Garage door, color to match light color or dark color from indicated building color palette



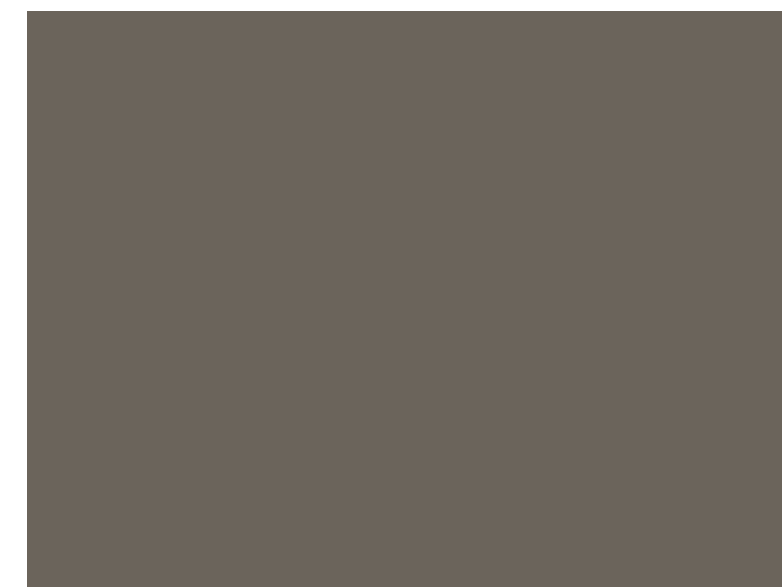
MASONRY- STONE

LIGHT

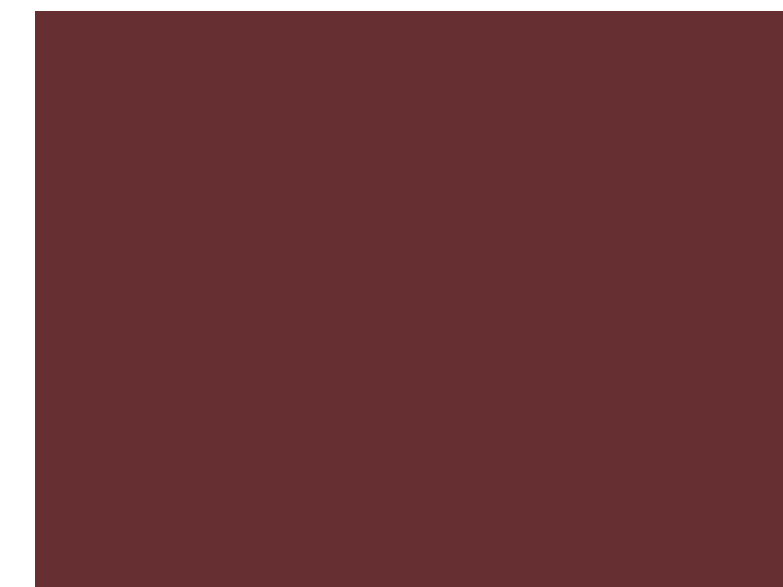


CEMENTITIOUS PANEL

DARK



ACCENT COLOR



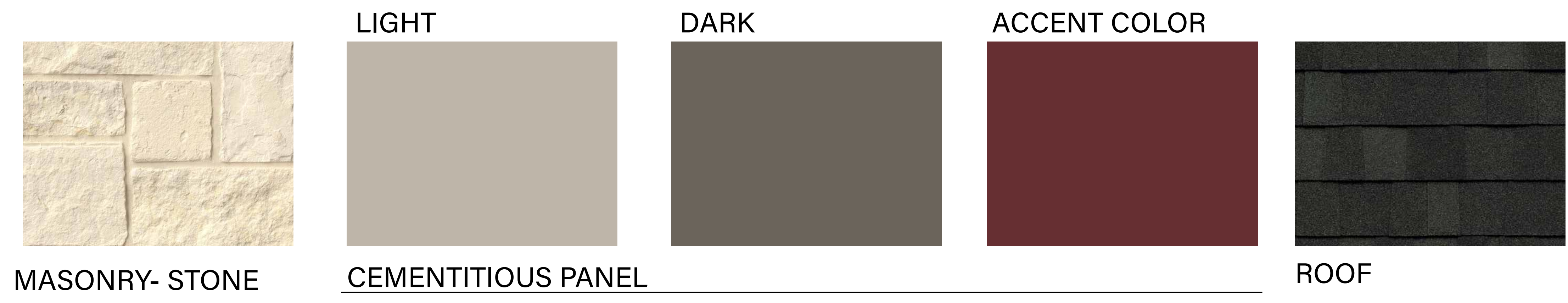
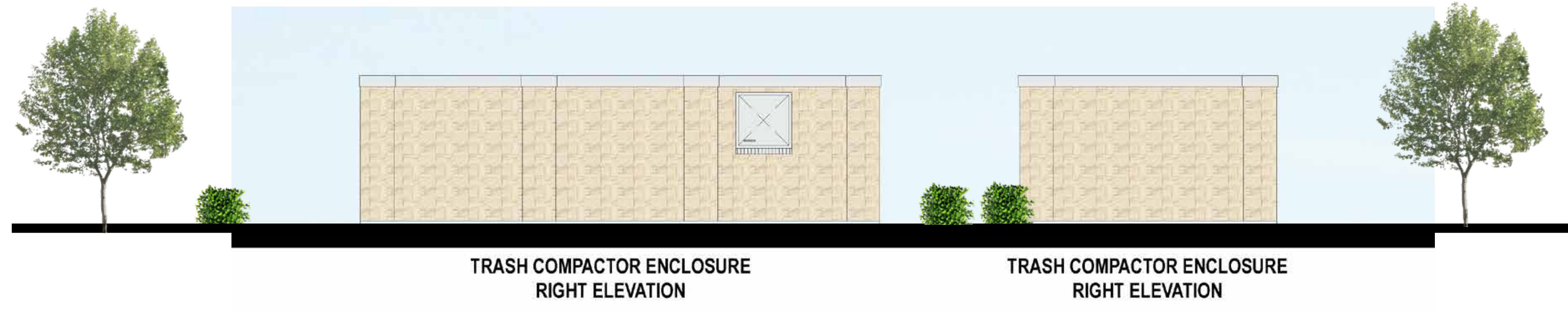
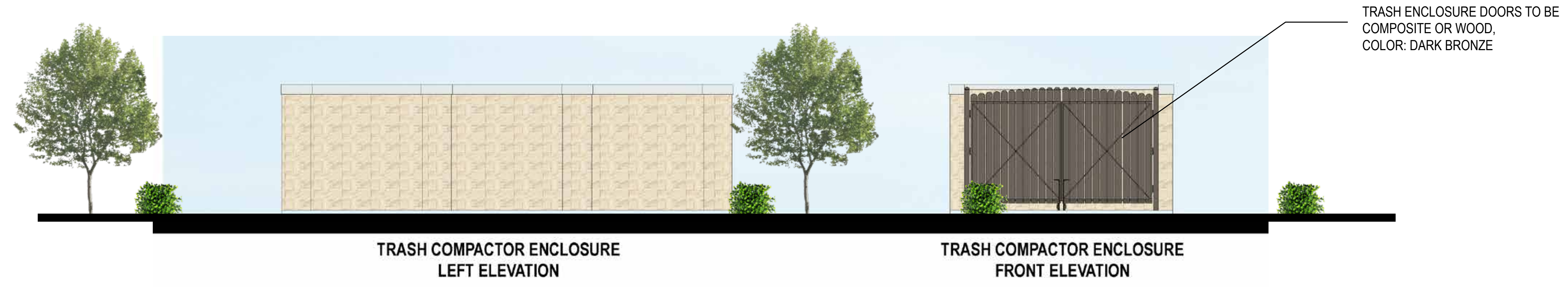
ROOF

DETACHED GARAGE & MAINTENANCE BUILDING ELEVATIONS

SCALE = 3/32" = 1'-0"
October 20, 2020

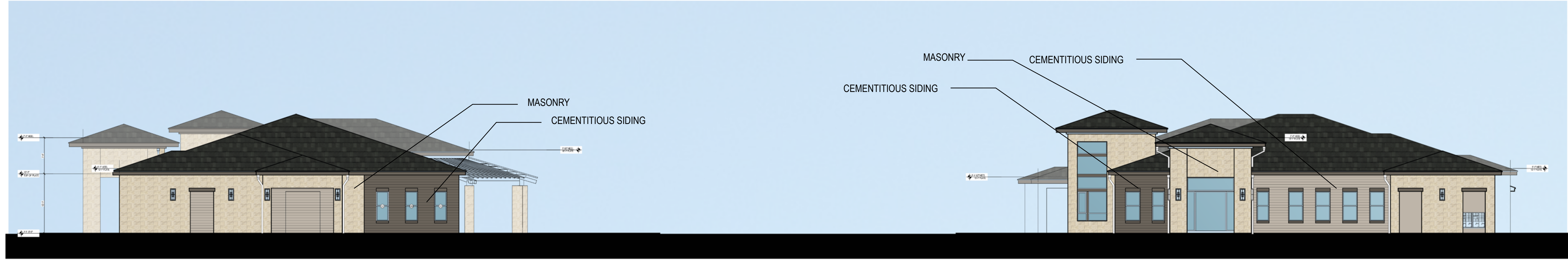
A801

APEX AT PERRY CROSSING
PLAINFIELD, IN
HPA# 19485



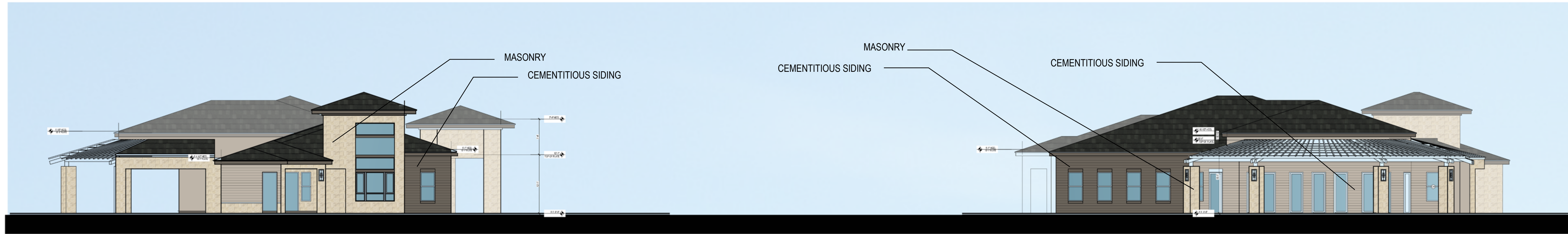
TRASH ENCLOSURE

A802



SIDE

FRONT



SIDE

REAR

CLUBHOUSE					
	TOTAL AREA (sf)	AREA EXCLUDING WINDOWS, DOORS, ROOFING, SOFFIT (sf)	AREA OF EXTERIOR BUILDING MATERIAL (sf)	PERCENTAGE OF AREA OF EACH EXTERIOR MATERIAL	
FRONT FAÇADE	1662	820	STONE	484	59%
			CEMENTITIOUS PANEL	336	41%
SIDE FAÇADE	1455	831	STONE	500	60%
			CEMENTITIOUS PANEL	331	40%
REAR FAÇADE	1748	916	STONE	377	41%
			CEMENTITIOUS PANEL	539	59%



MASONRY- STONE

LIGHT

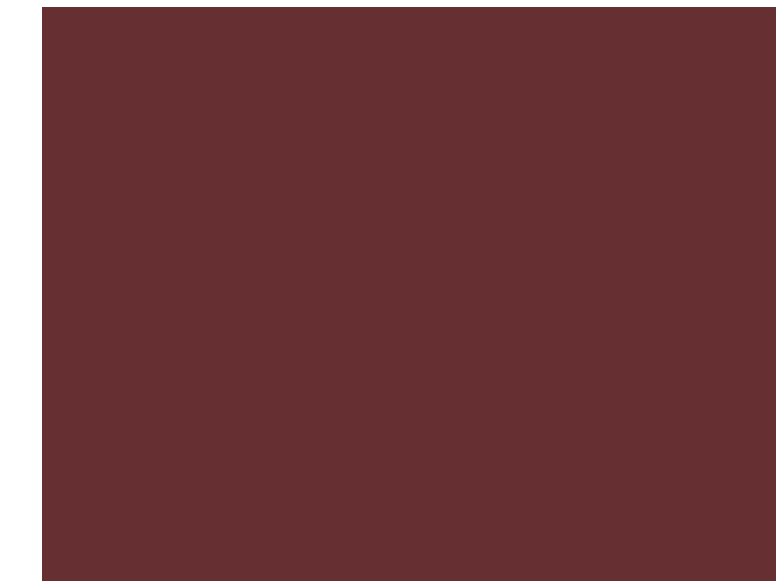


CEMENTITIOUS PANEL

DARK



ACCENT COLOR



ROOF