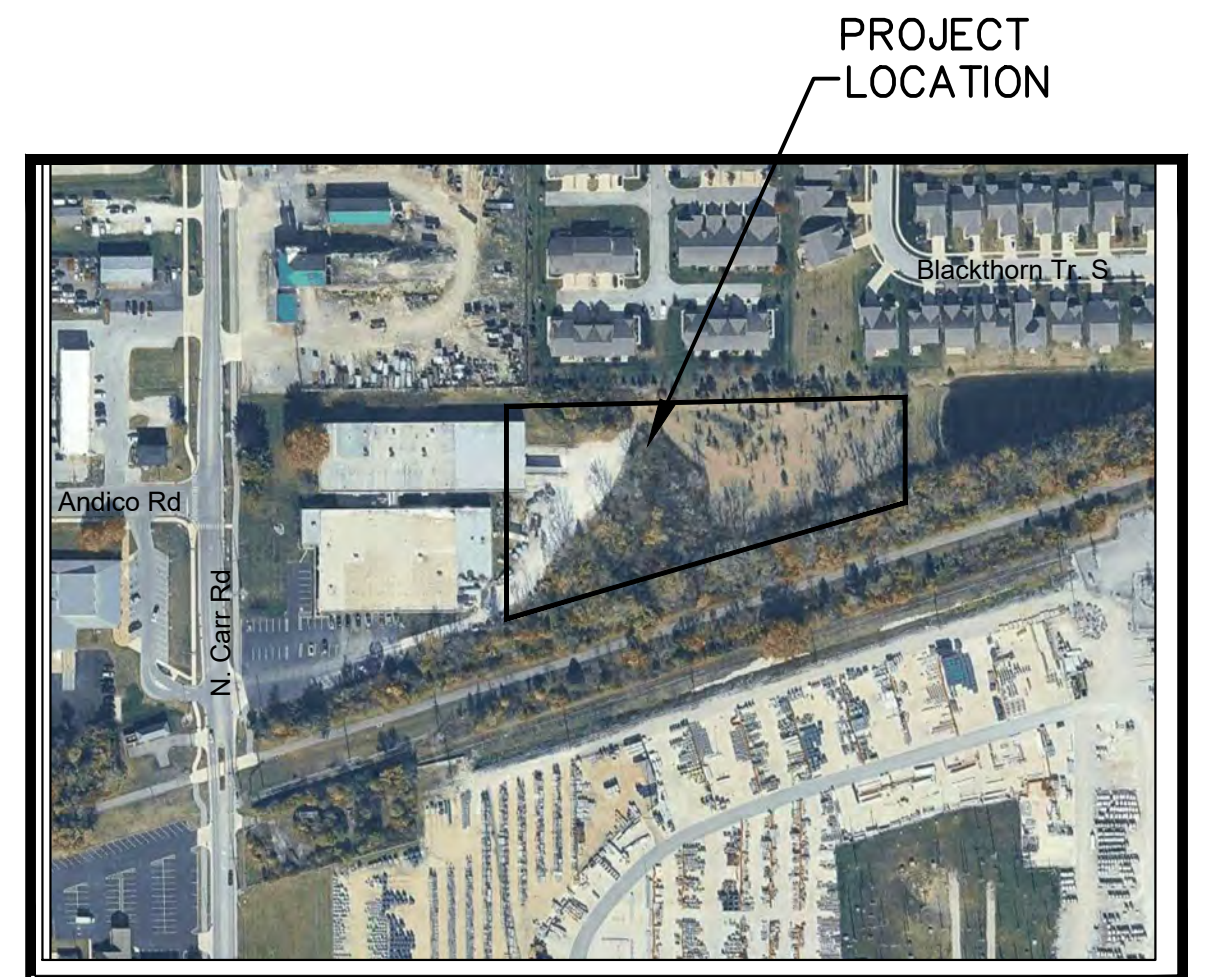


INTEGRAL ROTATIONAL MOLDING NEW WAREHOUSE ADDITION

701 N. Carr Road
Plainfield, Indiana



VICINITY/LOCATION MAP
SCALE: NOT TO SCALE

UTILITY CONTACT INFORMATION

SEWER AND WATER	STORM & DRAINAGE	PERMITS & PLANNING
TOWN OF PLAINFIELD 206 W MAIN STREET PLAINFIELD, IN 46168 (317) 837-0000	TOWN OF PLAINFIELD PUBLIC WORKS 986 S CENTER ST. PLAINFIELD, IN 46168 (317) 839-3490	TOWN OF PLAINFIELD DEPARTMENT OF DEVELOPMENT SERVICES 206 W MAIN ST. PLAINFIELD, IN 46168 (317) 754-5376

OWNER

TSS REALTY LLC
701 N. Carr Road
Plainfield, Indiana 46168

CONTRACTOR



**COMMERCIAL TEAM
CONSTRUCTION**
1715 S. Franklin Road
Indianapolis, IN 46219
Ph. (317) 782-8300
Fax (317) 782-8301

DESIGN ENGINEER



InSite Engineering LLC
16308 Ketton Drive
Noblesville, IN 46060

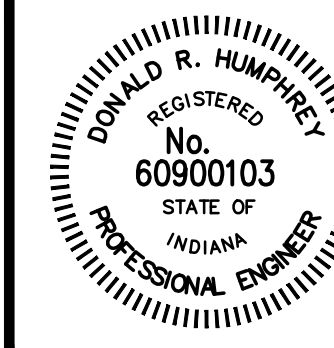
GENERAL NOTES:

- 1.) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE TOWN, COUNTY, AND STATE AGENCIES PRIOR TO CONSTRUCTION.
- 2.) CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY CONFLICTS ARE DISCOVERED OR IF UTILITY LOCATIONS DIFFER SIGNIFICANTLY FROM LOCATIONS SHOWN ON THE PLANS.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH TOWN AND ALL RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.

SHEET INDEX	
SHEET NO.	TITLE
C100	TOPOGRAPHIC SURVEY
C101	SITE DEVELOPMENT PLAN
C102	SITE GRADING PLAN
C103	EROSION CONTROL PLAN
C104	SITE UTILITY PLAN
C105	CIVIL SITE DETAILS
C106	STORM SEWER DETAILS
C107	STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
C108	LANDSCAPING PLAN
1-29	PLAINFIELD, INDIANA TOWN STANDARDS

TOWN PERMITTING PLANS

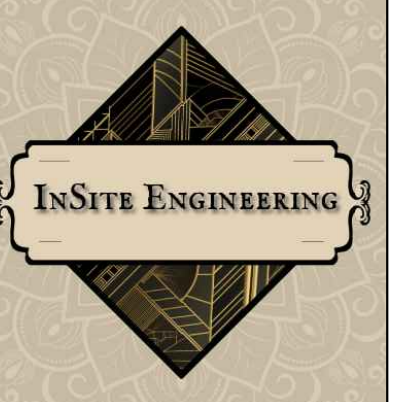
THE CURRENT EDITION OF THE TOWN OF PLAINFIELD STORMWATER ORDINANCES AND TOWN STANDARDS ARE INCORPORATED INTO THE PROJECT DOCUMENTS AND ARE TO BE USED WITH THESE PLANS



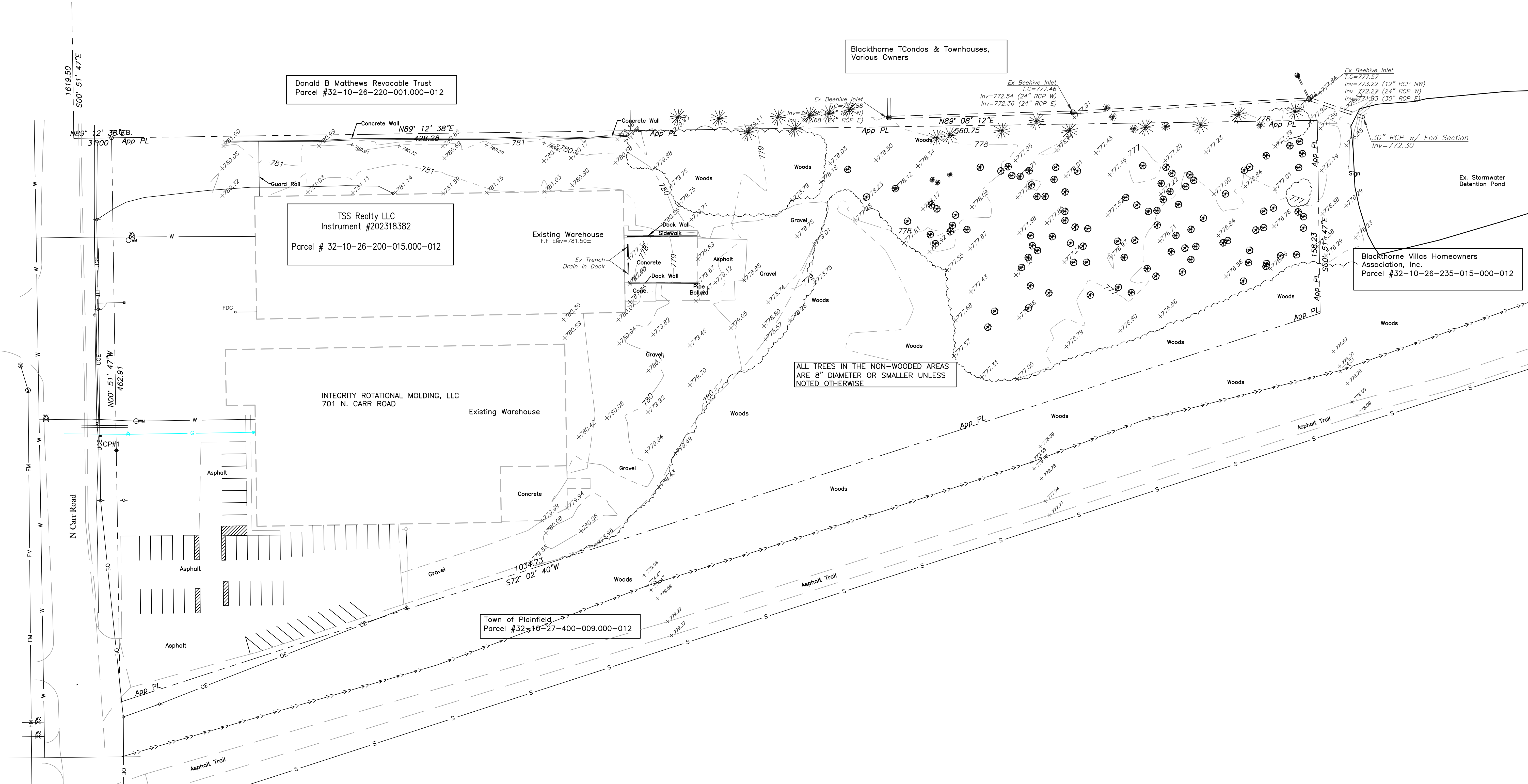
Certified By:

Donald R. Humphrey
DONALD R. HUMPHREY, P.E.
IND. REG. NO. 60900103

Revisions



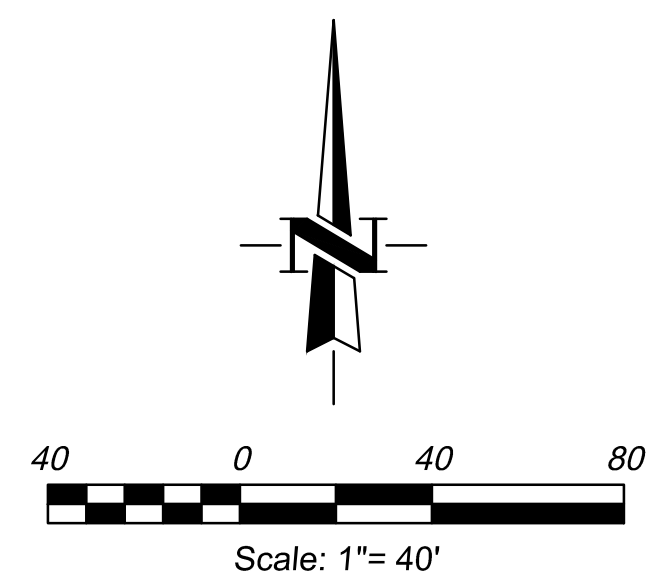
16308 Ketton Drive
Noblesville, IN 46060
P: (317) 691-5294



ALL TREES IN THE NON-WOODED AREAS ARE 8" DIAMETER OR SMALLER UNLESS NOTED OTHERWISE

FLOOD HAZARD STATEMENT:
This is to certify that the subject property lies in Flood Hazard Area Zone "X". The precision is subject to map scale uncertainty and to any other uncertainty in location or elevation on Community Panel No. 18063C0259D of the Flood Insurance Rate Maps, effective date September 25, 2009

BENCH MARK DATA
THIS TOPOGRAPHIC SURVEY WAS CREATED USING GPS EQUIPMENT AND THE INCORDS NETWORK SYSTEM OPERATED BY THE INDIANA DEPARTMENT OF TRANSPORTATION. THE INCORDS SYSTEM IS ON THE NAD83 HORIZONTAL AND NAVD 88 VERTICAL DATUMS.
CP#1: MAG NAIL SET N= 1627173.28 E=3147803.64 ELEV=778.56



INTEGRITY ROTATIONAL MOLDING LLC
NEW WAREHOUSE EXPANSION PROJECT
701 North Carr Road
Plainfield, Indiana

REGISTERED
No. 60900103
STATE OF INDIANA
PROFESSIONAL ENGINEER
Don Humphrey
Date: 5/28/26

REVISIONS	
No.	Description

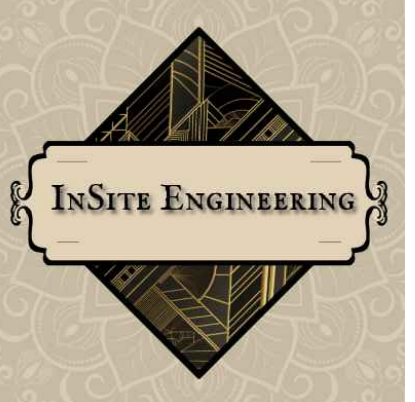
SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NUMBER:
C100

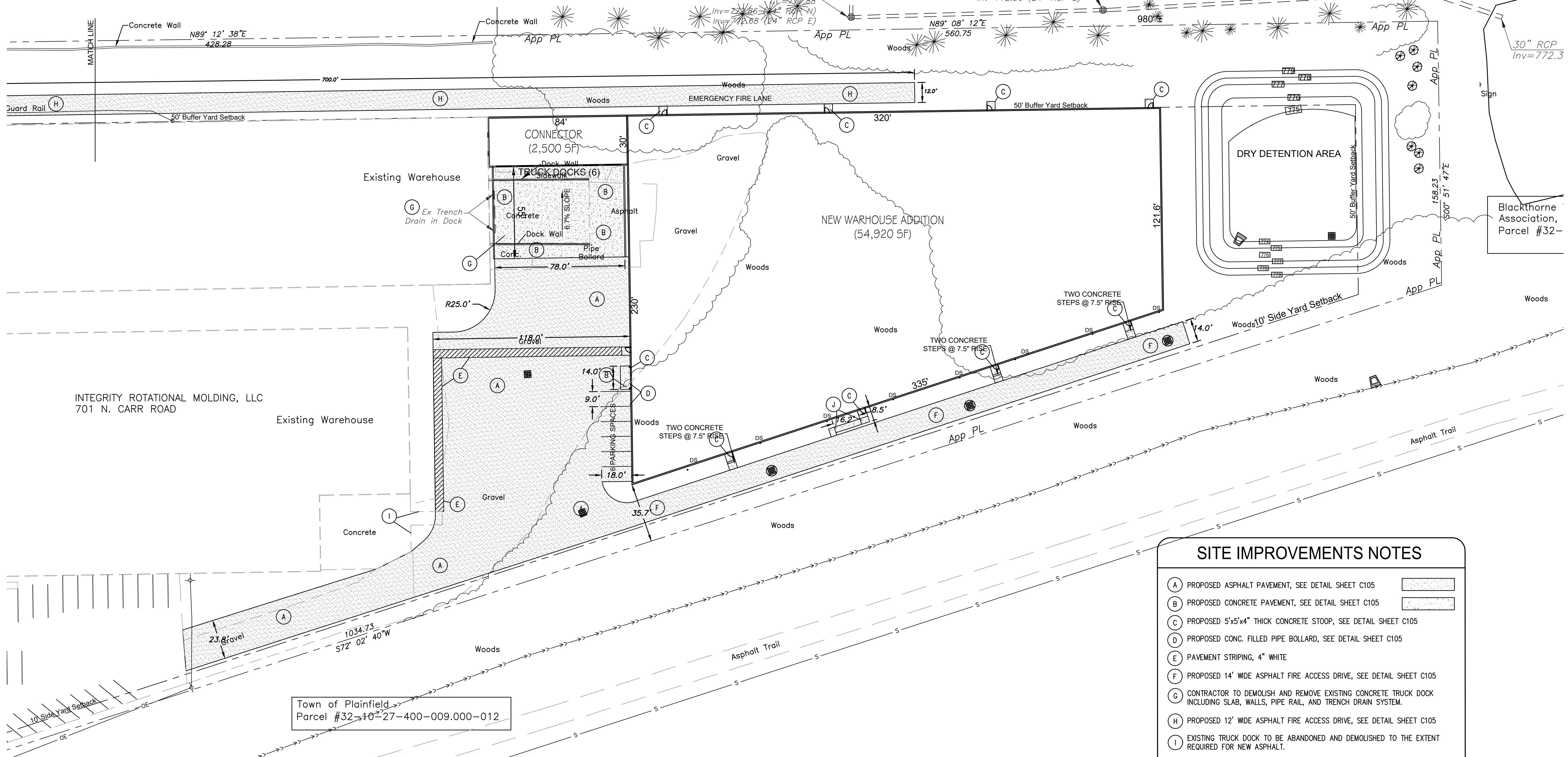
Project No. 26012

Donald B Matthews Revocable Trust
Parcel #32-10-26-220-001.000-012

Blackthorne TCondos & Townhouses,
Various Owners



16308 Ketton Drive
Noblesville, IN 46060
P: (317) 691-5294



INTEGRITY ROTATIONAL MOLDING, LLC
701 N. CARR ROAD

Existing Warehouse

CONNECTOR
(2,500 SF)

NEW WAREHOUSE ADDITION
(54,920 SF)

DRY DETENTION AREA

SITE IMPROVEMENTS NOTES

- (A) PROPOSED ASPHALT PAVEMENT, SEE DETAIL SHEET C105
- (B) PROPOSED CONCRETE PAVEMENT, SEE DETAIL SHEET C105
- (C) PROPOSED 5'x5'x4" THICK CONCRETE STOOP, SEE DETAIL SHEET C105
- (D) PROPOSED CONC. FILLED PIPE BOLLARD, SEE DETAIL SHEET C105
- (E) PAVEMENT STRIPING, 4" WHITE
- (F) PROPOSED 14' WIDE ASPHALT FIRE ACCESS DRIVE, SEE DETAIL SHEET C105
- (G) CONTRACTOR TO DEMOLISH AND REMOVE EXISTING CONCRETE TRUCK DOCK INCLUDING SLAB, WALLS, PIPE RAIL, AND TRENCH DRAIN SYSTEM.
- (H) PROPOSED 12' WIDE ASPHALT FIRE ACCESS DRIVE, SEE DETAIL SHEET C105
- (I) EXISTING TRUCK DOCK TO BE ABANDONED AND DEMOLISHED TO THE EXTENT REQUIRED FOR NEW ASPHALT.
- (J) NEW CONCRETE HANDICAP RAMP, 3.5' WIDE X 16.2' LONG WITH ALUMINUM HANDRAIL MEETING ADA COMPLIANCE. INCLUDE CONCRETE LANDING CONNECTED TO NEW ASPHALT DRIVE.

TRAFFIC & MANEUVERABILITY NOTE

THE SITE WILL BE SUBJECT TO SEMI-TRAILER DELIVERIES AT AN APPROXIMATE RATE OF 5-7 PER DAY. IN ORDER TO BACK INTO THE NEW TRUCK DOCKS, TRUCKS CAN EITHER MANEUVER WITHIN THE NEW 118' WIDE PAVEMENT OR USE THE EMERGENCY FIRE LANE ALONG THE SOUTH SIDE OF THE BUILDING TO BACK INTO THE DOCKS. PASSENGER VEHICLES WILL GENERALLY BE LIMITED TO THE NEW PARKING AREA DURING NORMAL BUSINESS HOURS AND WILL NOT IMPEDE THE MANEUVERABILITY OF THE SEMI-TRAILERS.

TREE REMOVAL NOTE

CONTRACTOR SHALL CLEAR AND REMOVE ALL TREES, BUSHES, AND UNDERBRUSH WITHIN THE LIMITS OF THE NEW BUILDING AND OTHER SITE IMPROVEMENTS. TREE STUMPS WITHIN THE LIMITS OF THE BUILDING ADDITION AND DETENTION POND SHALL BE COMPLETELY REMOVED. CARE WILL BE TAKEN ALONG THE NORTH AND SOUTH PROPERTY LINES TO PROTECT ALL TREES NOT REQUIRED FOR REMOVAL.

INTEGRITY ROTATIONAL MOLDING LLC
NEW WAREHOUSE EXPANSION PROJECT
701 North Carr Road
Plainfield, Indiana

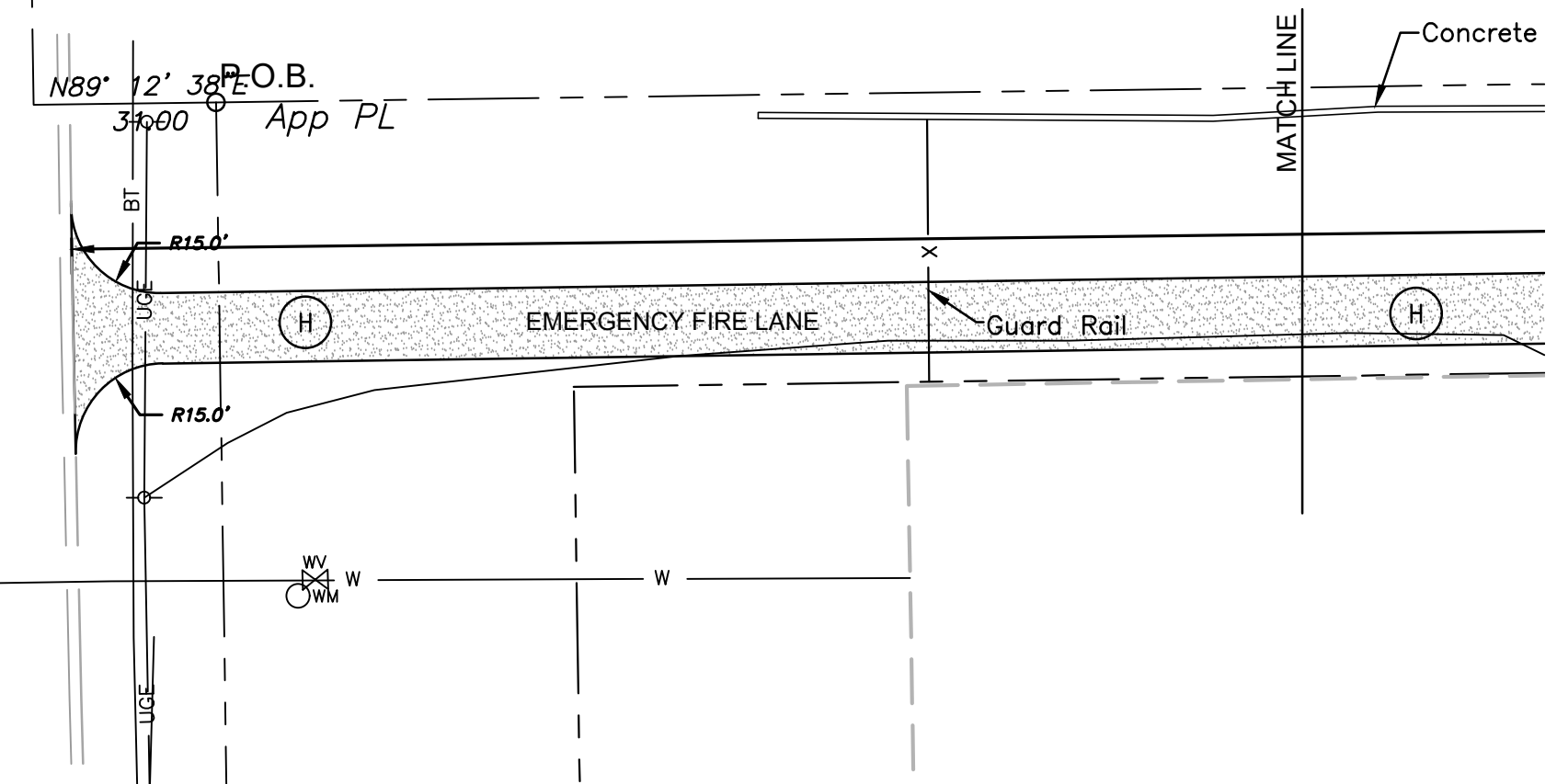
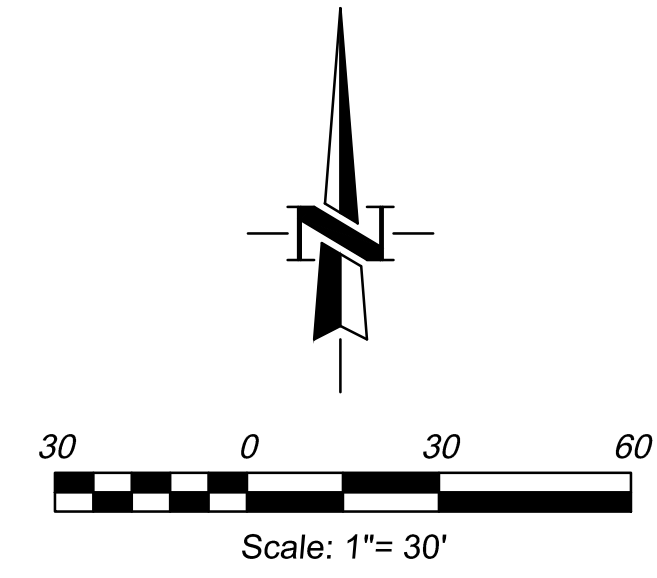
REGISTERED PROFESSIONAL ENGINEER
DONALD R. HUMPHREY
No. 60900103
STATE OF INDIANA
Don Humphrey
Date: 6/11/26

REVISIONS	
No.	Description

SHEET TITLE:
SITE DEVELOPMENT
PLAN

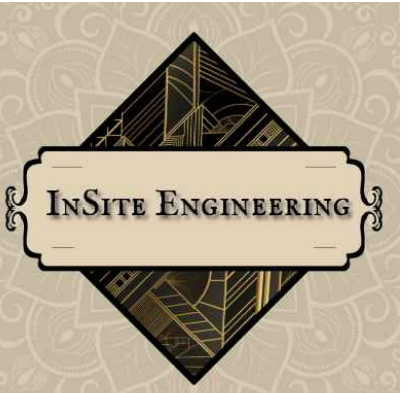
SHEET NUMBER:
C101

Project No. 26012

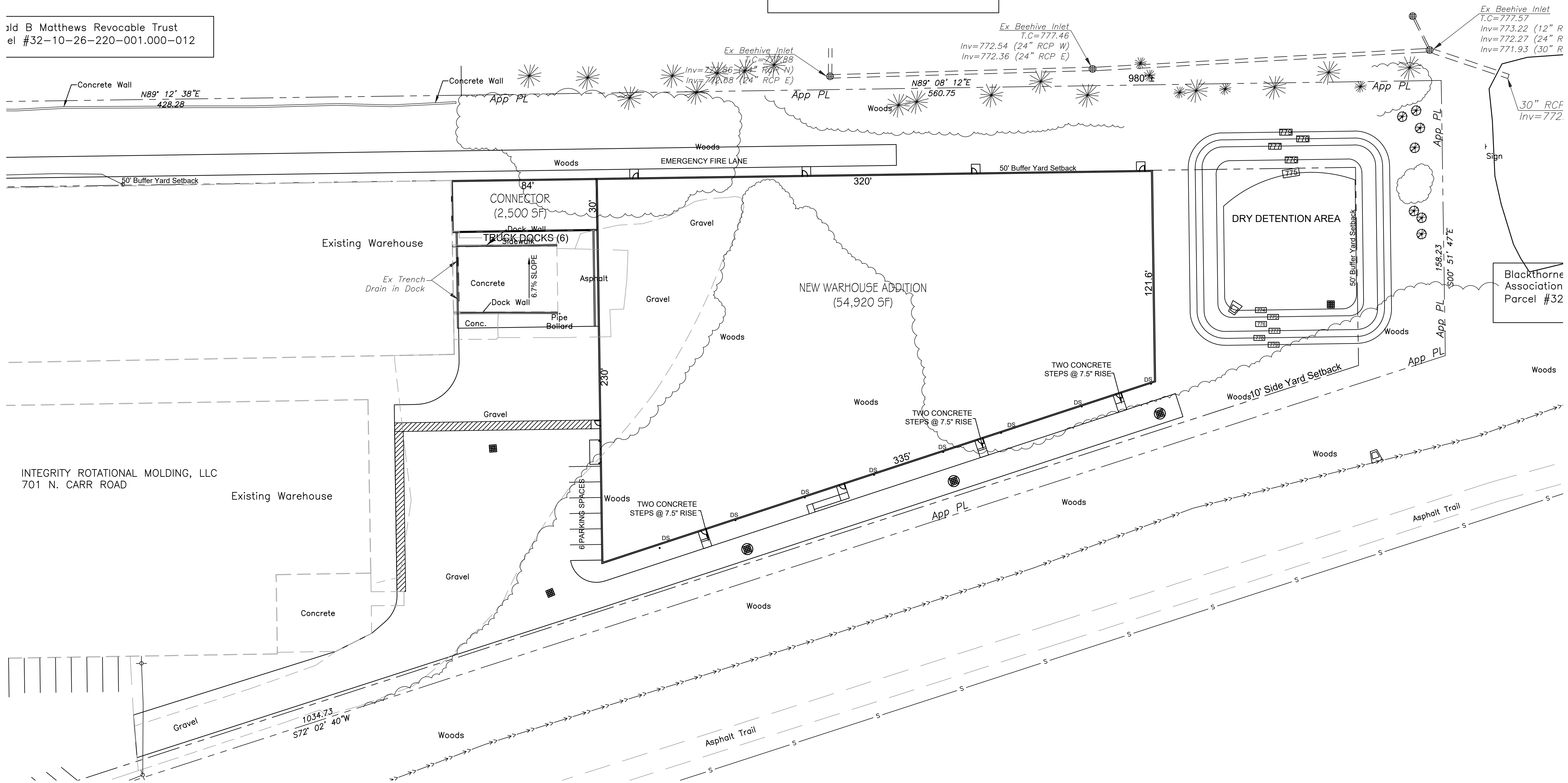


Old B Matthews Revocable Trust
el #32-10-26-220-001.000-012

Blackthorne TCondos & Townhouses,
Various Owners



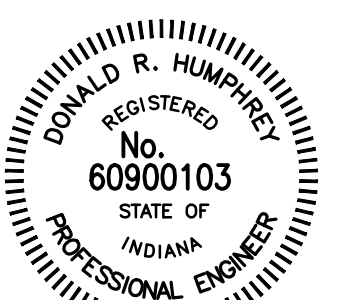
16308 Ketton Drive
Noblesville, IN 46060
P: (317) 691-5294



INTEGRITY ROTATIONAL MOLDING, LLC
701 N. CARR ROAD

Blackthorne
Association
Parcel #32

INTEGRITY ROTATIONAL MOLDING LLC
NEW WAREHOUSE EXPANSION PROJECT
701 North Carr Road
Plainfield, Indiana

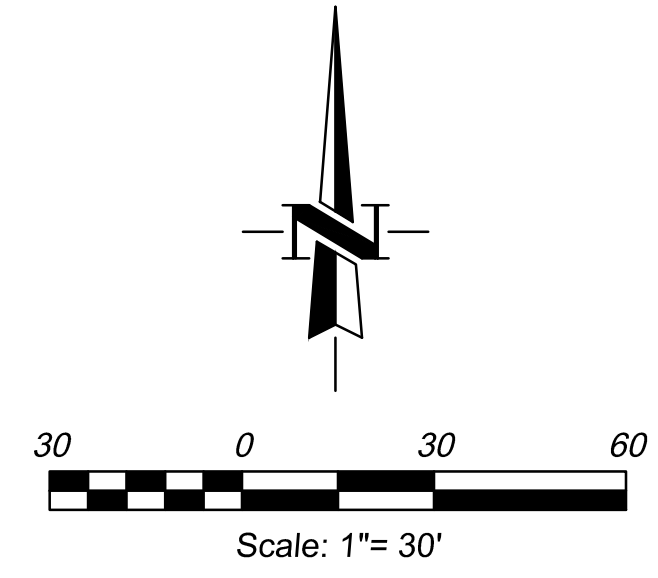


Donald R. Humfrey
Date: 6/11/26

GRADING LEGEND	
PROPOSED CONTOUR	→→→→→
PROPOSED SWALE	→→→→→
PROPOSED TOP OF DOCK WALL ELEV.	
PROPOSED BOTTOM OF DOCK WALL ELEV.	
PROPOSED SPOT GRADE ELEVATION	
EXISTING SPOT GRADE ELEVATION	100.00
EXISTING CONTOUR	

FILL AND COMPACTION SPECIFICATIONS

- Contractor shall provide site fill and compaction operations as necessary to grade the site per the lines and grades shown on this Site Grading Plan. Fill shall be placed in uniform lifts across the site and mechanically compacted as specified below.
- If fill materials are required from off-site sources, such materials shall consist of natural soils such as clays, sands, and silts found in place, assuming such materials have a plasticity not greater than 15. Natural materials containing organics, gravels, and rocks larger than 3" shall not be used.
- All areas requiring excavation and/or backfill shall be stripped of topsoil to a minimum of 4" depth.
- Prior to placing fill or constructing pavements or slabs, the subgrade shall be proof-rolled to insure stability and suitability for receiving fill materials. Subgrades displaying pronounced rutting or deformation shall be stabilized by undercutting or other approved means before beginning fill operations.
- Fill material shall be brought up uniformly across the site in maximum 12" lifts and mechanically compacted.
- Compaction of backfill and embankment material shall be accomplished by mechanical means such as vibratory plates or rollers. No backfill shall be deposited or compacted in water. Backfill shall be placed in 12 inch loose layers and each layer compacted to not less than 95 percent of maximum dry density; the moisture content shall be within two percentage points of optimum as determined by ASTM D-698. Embankment fill shall be placed in 12 inch loose layers and each layer compacted to not less than 98 percent of maximum dry density. The moisture content shall be within two percentage points of optimum as determined by ASTM D-698.
- Do not place fill materials when standing water is present on surface of the area where fill will be placed. Do not compact fill when standing water is present on the fill to be compacted. Do not place or compact fill in a frozen condition or on top of frozen material. Fill containing organic materials or other unacceptable material previously described shall be removed and replaced prior to compaction.
- If required densities are not obtained because of improper control of placement or compaction procedures, or because of inadequate or improperly-functioning compaction equipment, CONTRACTOR shall perform all work required to provide the required densities.



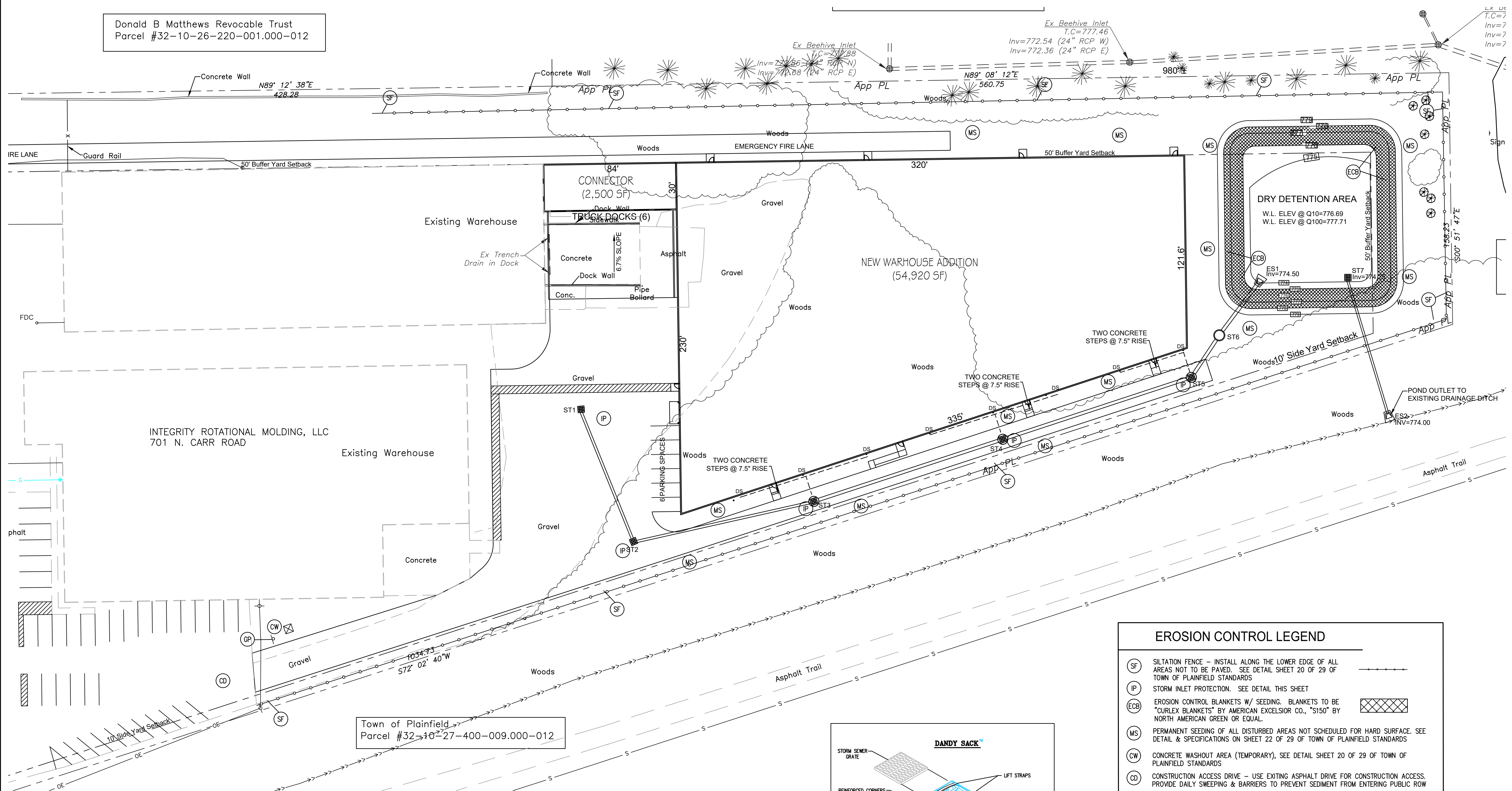
REVISIONS	
No.	Description
1	

SHEET TITLE:
SITE GRADING PLAN

SHEET NUMBER:
C102

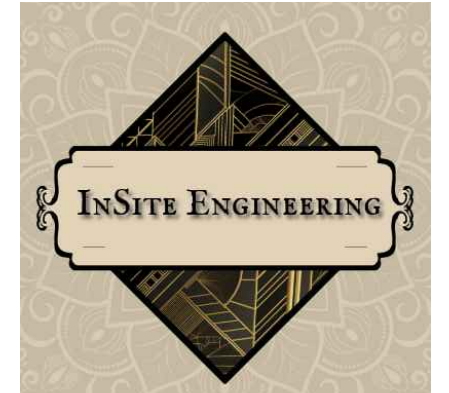
Project No. 26012

Donald B Matthews Revocable Trust
Parcel #32-10-26-220-001.000-012



INTEGRITY ROTATIONAL MOLDING, LLC
701 N. CARR ROAD

Town of Plainfield
Parcel #32-10-27-400-009.000-012



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P: (317) 691-5294

INTEGRITY ROTATIONAL MOLDING LLC
NEW WAREHOUSE EXPANSION PROJECT
701 North Carr Road
Plainfield, Indiana

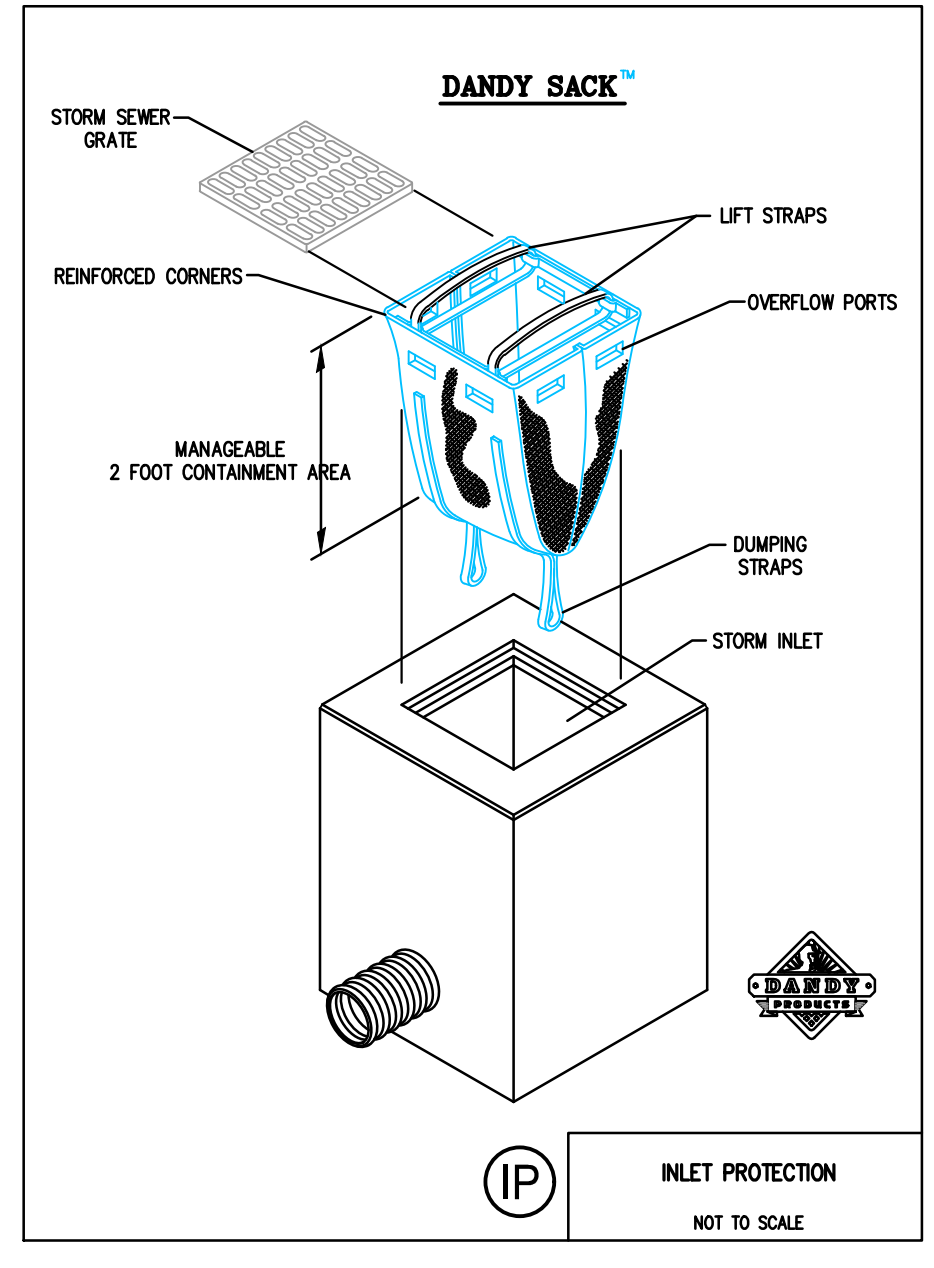
REGISTERED PROFESSIONAL ENGINEER
DONALD R. HUMPHREY
No. 60900103
STATE OF INDIANA
Donald R. Humphrey
Date: 6/11/26

EROSION CONTROL NOTES:

- SOIL STOCKPILES SHALL BE STABILIZED WITH SEED AND MULCH OR OTHER METHOD(S) WITHIN SEVEN (7) DAYS OF STOCKPILING. STOCKPILE AREAS SHALL HAVE PERIMETER PROTECTION INSTALLED PRIOR TO STOCKPILING ACTIVITIES. AT A MINIMUM, THE CONTRACTOR SHALL INSPECT STOCKPILES WEEKLY AND WITHIN TWENTY-FOUR (24) HOURS OF A RAIN EVENT OF ONE HALF (1/2) INCH OR GREATER OR AS REQUIRED BY THE IDEM NPDES CONSTRUCTION STORMWATER GENERAL PERMIT AS APPLICABLE. DEFICIENCIES SHALL BE CORRECTED WITHIN TWENTY-FOUR (24) HOURS OF INSPECTION. THE INSPECTOR SHALL MONITOR STOCKPILES FOR EROSION, PERIMETER PROTECTION AND OVERALL FUNCTION. OWNER SHALL NOT ALLOW SEDIMENT TO LEAVE THE STOCKPILE AREA, NOR ENTER ENVIRONMENTALLY SENSITIVE AREAS SUCH AS STORM INLETS, CREEKS, WETLANDS, PONDS, ETC.
- PUBLIC AND PRIVATE ROADWAYS SHALL BE KEPT CLEARED OF ACCUMULATED SEDIMENT. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING THE AREA WITH WATER. PROJECTS SUBJECT TO IDEM'S CSGP SHALL REMOVE SEDIMENT FROM PUBLIC RIGHT-OF-WAY NOT EXCLUSIVE OF CONSTRUCTION TRAFFIC AT THE END OF EACH DAY PER THE CSGP REQUIREMENTS.
- STABILIZATION OF EXPOSED DIRT SHALL BE INITIATED BY THE END OF THE SEVENTH DAY THE AREA WAS LEFT IDLE AND MUST BE COMPLETED WITHIN 14 DAYS AFTER INITIATION. STABILIZATION SHALL BE ACCOMPLISHED BY TEMPORARY SEEDING, STRAW BLANKETS, AND OTHER ACCEPTABLE EROSION CONTROL MEASURES.

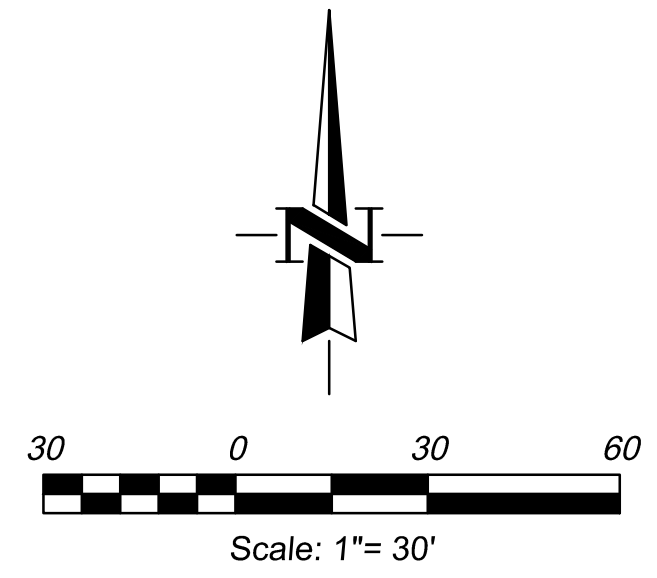
SEQUENCE OF CONSTRUCTION OPERATIONS - EROSION PREVENTION

- INSTALL SILT FENCING & OTHER EROSION CONTROL MEASURES
- STRIP TOPSOIL UNDER NEW BUILDING & PAVEMENT
- EXCAVATE FOR NEW BUILDING AND SITE IMPROVEMENTS
- CONSTRUCT BUILDING AND SITE IMPROVEMENTS
- SEED ALL DISTURBED AREAS NOT SCHEDULED FOR HARD SURFACES
- REMOVE EROSION CONTROL ITEMS ONCE ALL CONDITIONS ARE MET TO SATISFY THE "NOTICE OF TERMINATION" PROCESS WHICH INCLUDES BUT NOT LIMITED TO 100% VEGETATION COVER, 70% DENSITY, ALL STOCK PILES ARE REMOVED, ALL INITIAL PHASE BMP'S ARE REMOVED, AND SUBMITTAL OF THE IDEM "NOT" FORM TO COUNTY MS4 STAFF.



EROSION CONTROL LEGEND

- (SF) SILTATION FENCE - INSTALL ALONG THE LOWER EDGE OF ALL AREAS NOT TO BE PAVED. SEE DETAIL SHEET 20 OF 29 OF TOWN OF PLAINFIELD STANDARDS
- (IP) STORM INLET PROTECTION. SEE DETAIL THIS SHEET
- (ECB) EROSION CONTROL BLANKETS W/ SEEDING. BLANKETS TO BE "CURLX BLANKETS" BY AMERICAN EXCELSIOR CO., "S150" BY NORTH AMERICAN GREEN OR EQUAL.
- (MS) PERMANENT SEEDING OF ALL DISTURBED AREAS NOT SCHEDULED FOR HARD SURFACE. SEE DETAIL & SPECIFICATIONS ON SHEET 22 OF 29 OF TOWN OF PLAINFIELD STANDARDS
- (CW) CONCRETE WASHOUT AREA (TEMPORARY), SEE DETAIL SHEET 20 OF 29 OF TOWN OF PLAINFIELD STANDARDS
- (CD) CONSTRUCTION ACCESS DRIVE - USE EXISTING ASPHALT DRIVE FOR CONSTRUCTION ACCESS. PROVIDE DAILY SWEEPING & BARRIERS TO PREVENT SEDIMENT FROM ENTERING PUBLIC ROW
- (GP) CONSTRUCTION STORMWATER GENERAL PERMIT (CSGP) NOTICE OF INTENT POSTED AT ENTRANCE. SEE DETAIL SHEET 22 OF 29 OF TOWN OF PLAINFIELD STANDARDS



REVISIONS

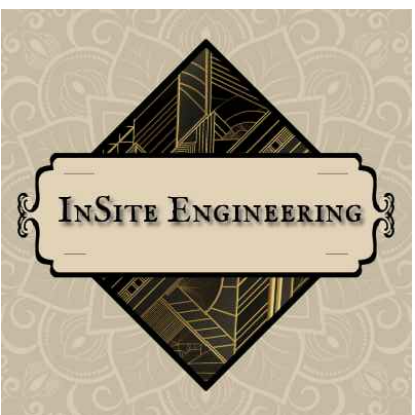
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SHEET TITLE:
EROSION CONTROL PLAN

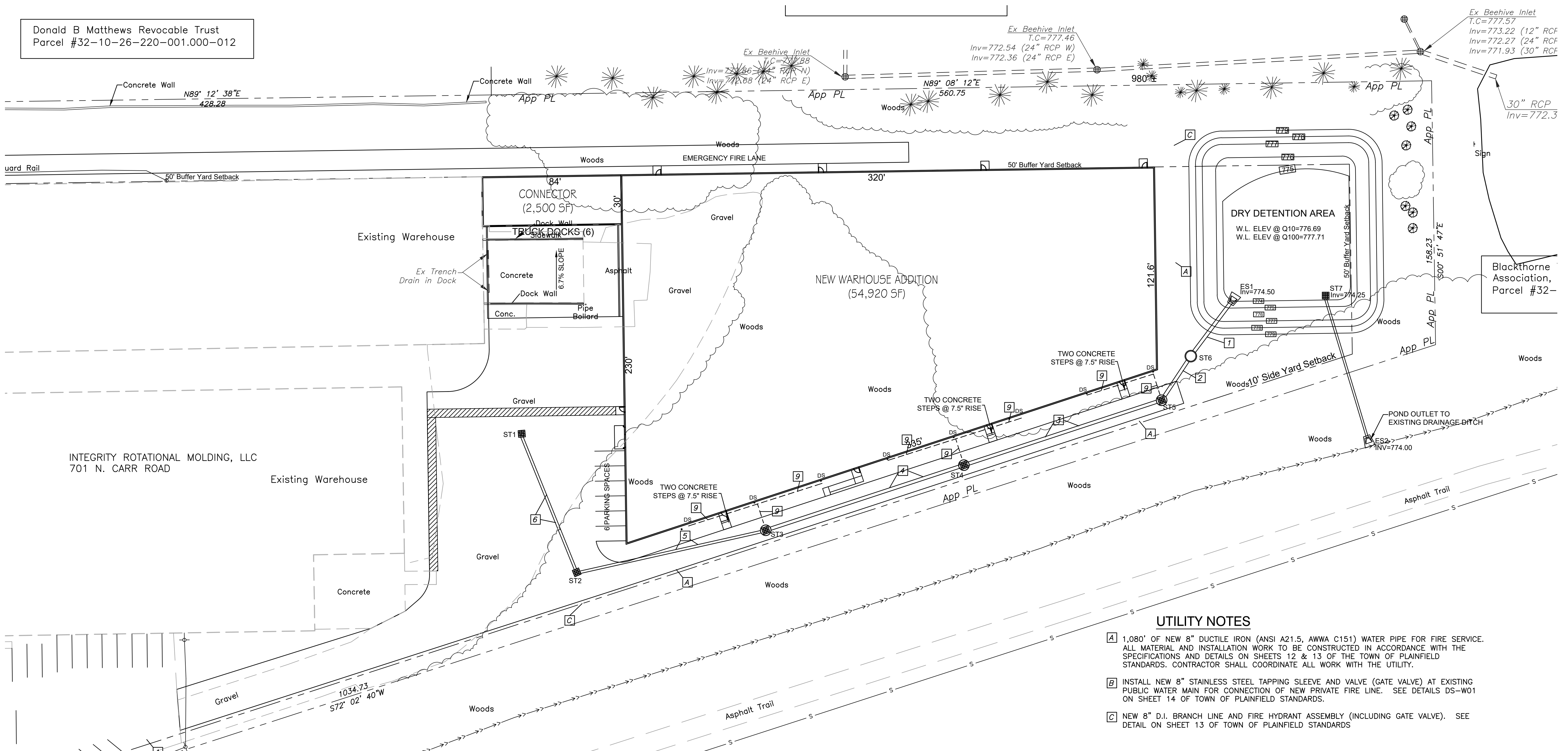
SHEET NUMBER:
C103

Project No. 26012

Donald B Matthews Revocable Trust
Parcel #32-10-26-220-001.000-012



16308 Ketton Drive
Noblesville, IN 46060
P: (317) 691-5294



UTILITY NOTES

- [A] 1,080' OF NEW 8" DUCTILE IRON (ANSI A21.5, AWWA C151) WATER PIPE FOR FIRE SERVICE. ALL MATERIAL AND INSTALLATION WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AND DETAILS ON SHEETS 12 & 13 OF THE TOWN OF PLAINFIELD STANDARDS. CONTRACTOR SHALL COORDINATE ALL WORK WITH THE UTILITY.
- [B] INSTALL NEW 8" STAINLESS STEEL TAPPING SLEEVE AND VALVE (GATE VALVE) AT EXISTING PUBLIC WATER MAIN FOR CONNECTION OF NEW PRIVATE FIRE LINE. SEE DETAILS DS-W01 ON SHEET 14 OF TOWN OF PLAINFIELD STANDARDS.
- [C] NEW 8" D.I. BRANCH LINE AND FIRE HYDRANT ASSEMBLY (INCLUDING GATE VALVE). SEE DETAIL ON SHEET 13 OF TOWN OF PLAINFIELD STANDARDS

STORM SEWER SYSTEM NOTES:

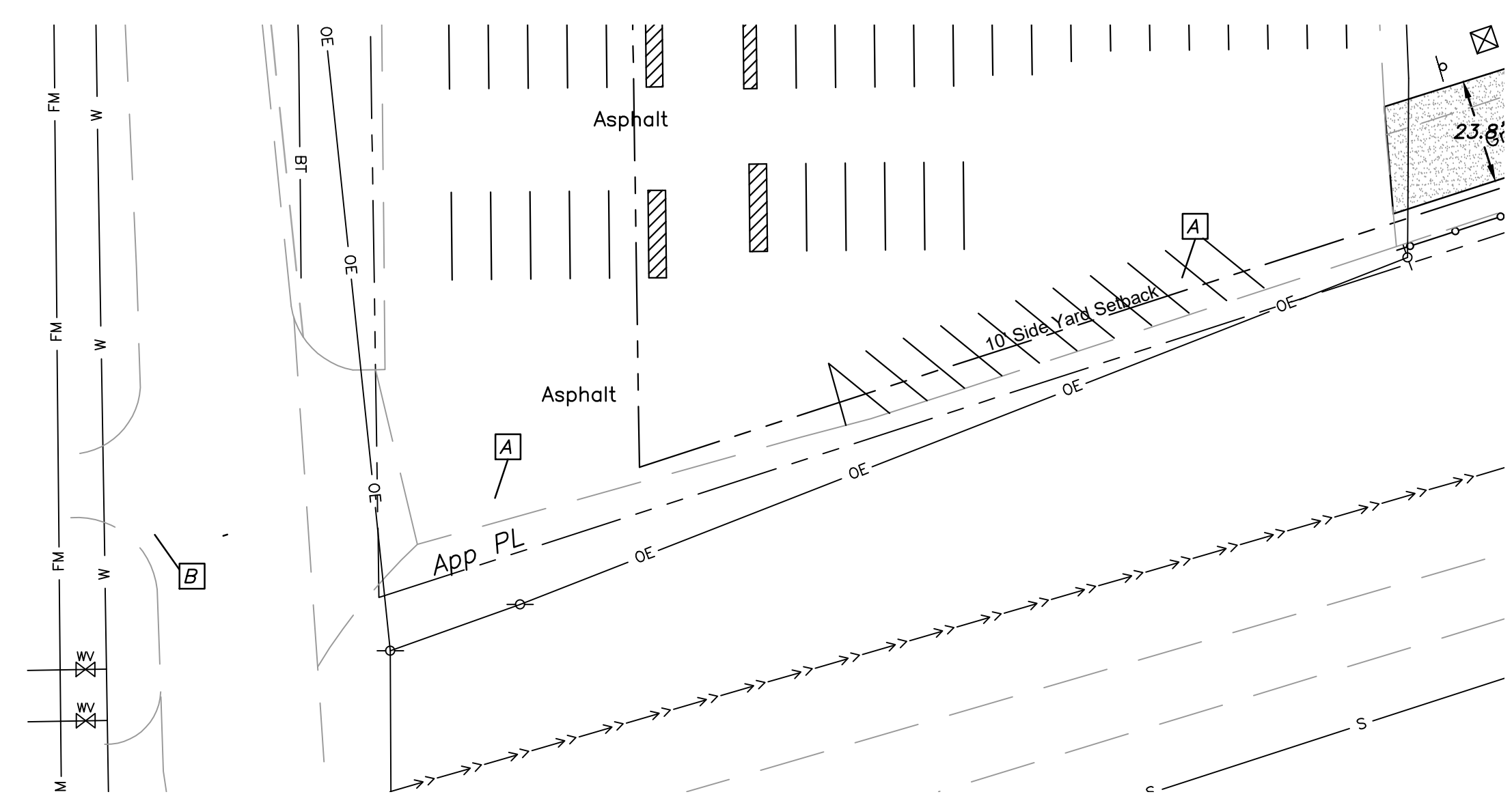
- [1] 40' OF 24" HDPE STORM SEWER @ 0.38% SLOPE WITH CONCRETE END SECTION AND RIP RAP
- [2] 26' OF 24" HDPE STORM SEWER @ 0.38% SLOPE
- [3] 122' OF 24" HDPE STORM SEWER @ 0.29% SLOPE
- [4] 122' OF 24" HDPE STORM SEWER @ 0.20% SLOPE
- [5] 114' OF 18" HDPE STORM SEWER @ 0.35% SLOPE
- [6] 86' OF 18" HDPE STORM SEWER @ 0.29% SLOPE
- [7] NEW STORMWATER QUALITY DEVICE, ADS ARCADIA MODEL AR6 IN LINE UNIT, 72" PRECAST CONCRETE STRUCTURE.
- [8] 88' OF 18" HDPE STORM SEWER @ 0.28% SLOPE
- [9] 8" HDPE CORRUGATED DRAIN PIPE CONNECTED TO ROOF DRAINS AND RUN AT 0.25% MINIMUM. PROVIDE BOOTS AND FITTINGS NECESSARY TO CONNECT DOWN SPOUTS AT GRADE. RUN DRAIN PIPES TO INLETS AS SHOWN.

STORM UTILITY NOTES

- 1) INLET CASTINGS SHALL HAVE THE WORDS "NO DUMPING, DRAINS TO STREAM" CAST IN RAISED OR RECESSED LETTERS AT A MINIMUM 1" IN HEIGHT.
- 2) STORM SEWER MANHOLE COVERS SHALL HAVE THE WORDS "STORM SEWER" CAST IN RECESSED LETTERS TWO (2) INCHES IN HEIGHT.
- 3) REFER TO TOWN OF PLAINFIELD "TOWN STANDARDS" DRAWINGS SHEETS 9-11 FOR MATERIAL SPECIFICATIONS AND DETAILS FOR PIPE BEDDING, PRECAST CONCRETE END SECTIONS, ETC. SEE SHEET C106 FOR STORM SEWER STRUCTURE DETAILS.

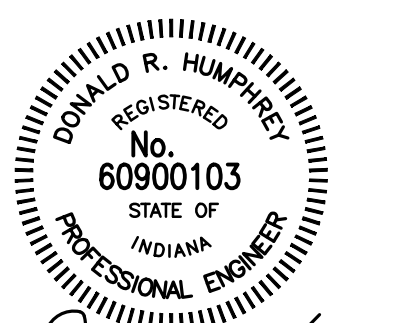
STORM STRUCTURE DATA TABLE

STR. NO.	STRUCTURE TYPE	CASTING TYPE	ELEVATIONS				CONNECT TO STRUCT.	NEENAH CASTING NO.	
			T.C.	NORTH	SOUTH	EAST			WEST
ST1	TYPE E INLET	GRATE	780.00	-	776.50	-	-	ST2	R-2561
ST2	TYPE E INLET	GRATE	779.75	776.25	-	776.25	-	ST3	R-2561
ST3	STORM MH TYPE C	GRATE	779.33	-	-	775.35	775.85	ST4	R-2595-A
ST4	STORM MH TYPE C	GRATE	779.50	-	-	775.10	775.10	ST5	R-2595-A
ST5	STORM MH TYPE C	GRATE	779.50	-	-	774.75	774.75	ST6	R-2595-A
ST6	BMP	SPECIAL	779.75	-	-	774.65	774.65	ES1	SPECIAL
ST7	TYPE E INLET	DITCH GRATE	777.75	-	773.25	-	-	ES2	R-4215-C



INTEGRITY ROTATIONAL MOLDING LLC
NEW WAREHOUSE EXPANSION PROJECT

701 North Carr Road
Plainfield, Indiana



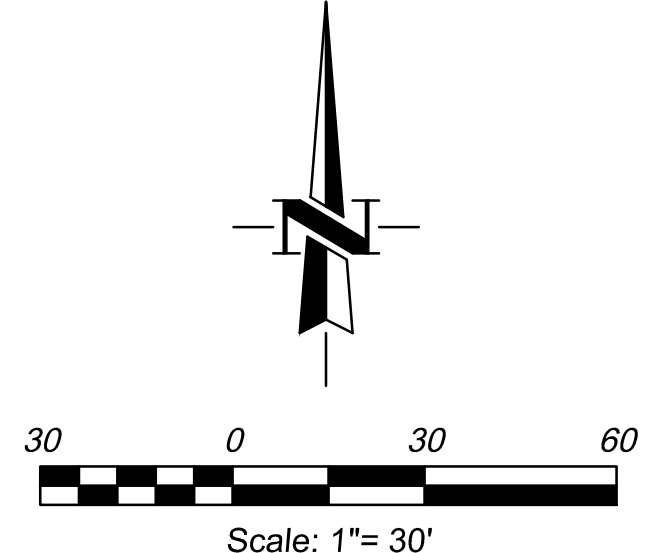
Date: 6/11/26

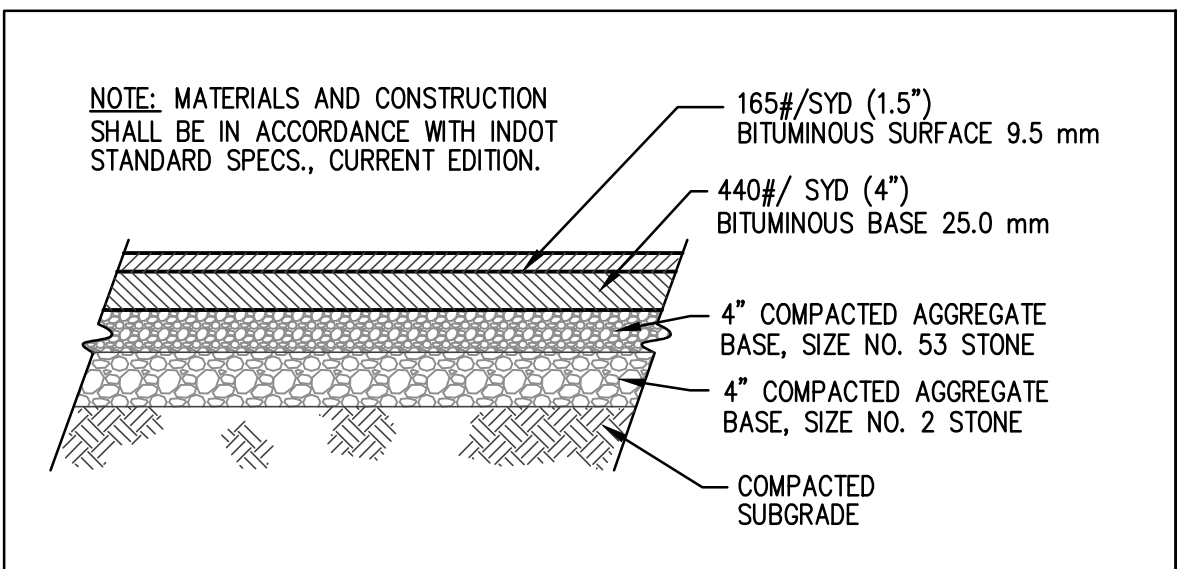
REVISIONS	
No.	Description

SHEET TITLE:
SITE UTILITY PLAN

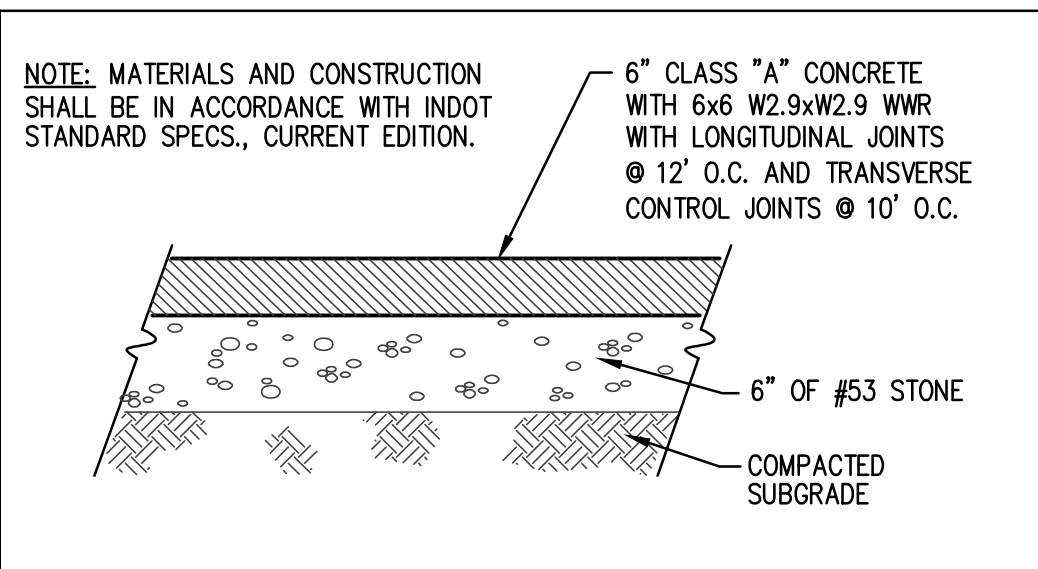
SHEET NUMBER:
C104

Project No. 26012

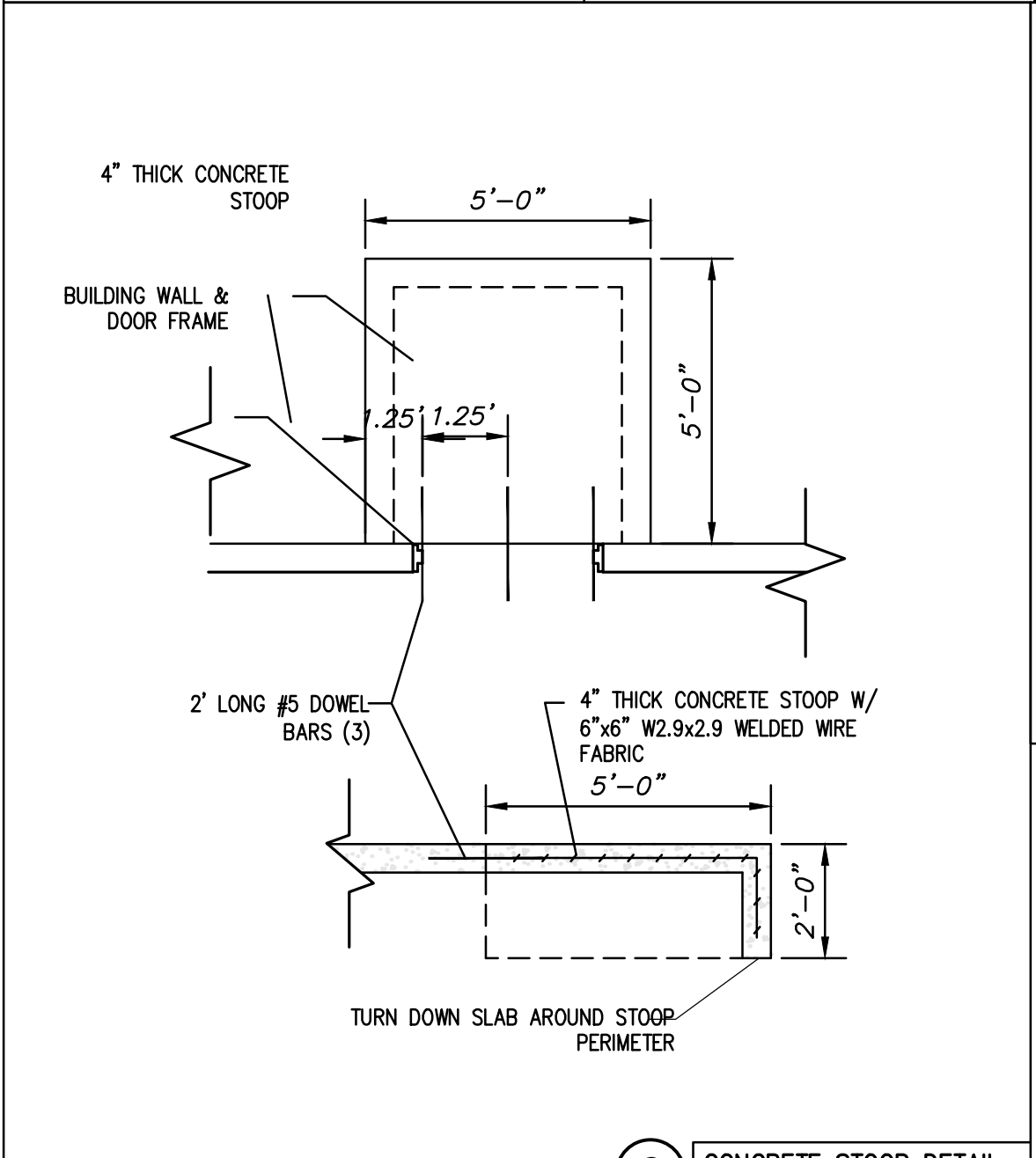




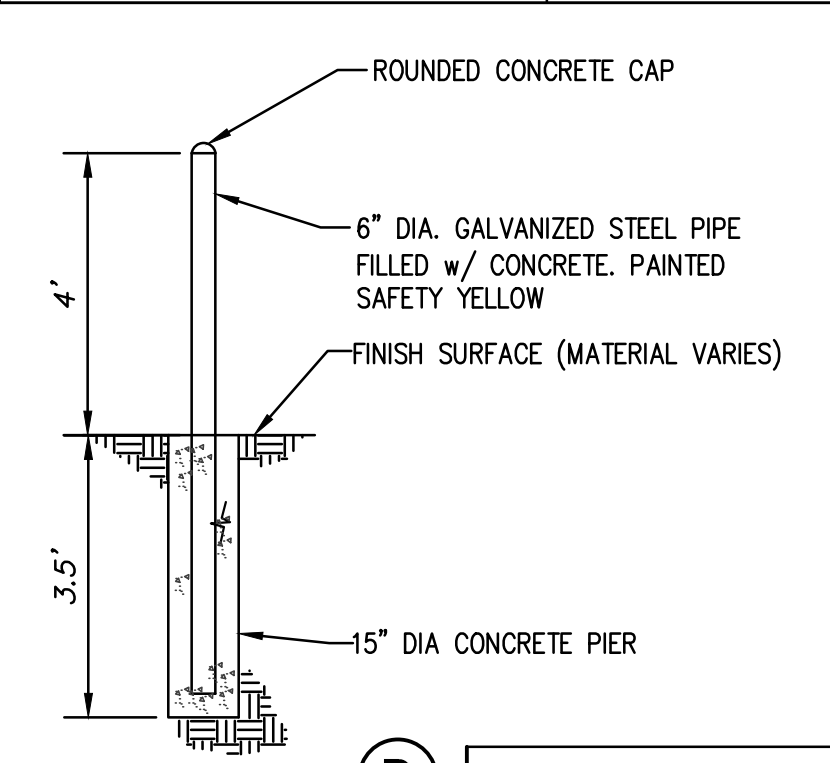
(A) BITUMINOUS ASPHALT PAVING
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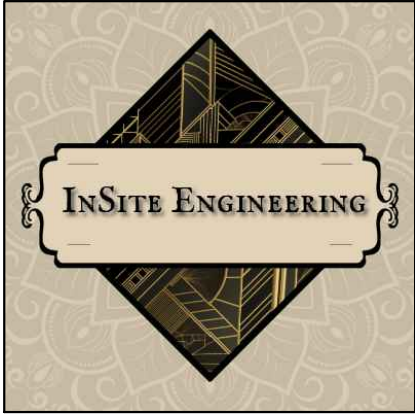
(B) 6" CONCRETE PAVEMENT
NOT TO SCALE



(C) CONCRETE STOOP DETAIL AT EXTERIOR DOOR



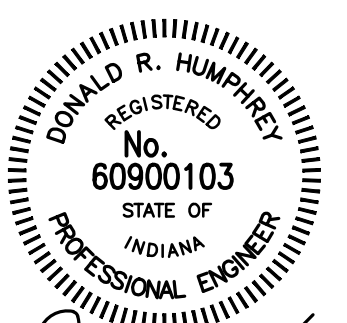
(D) PIPE BOLLARD DETAIL
NOT TO SCALE



16308 Ketton Drive
Noblesville, IN 46060
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NEW WAREHOUSE EXPANSION PROJECT

701 North Carr Road
Plainfield, Indiana



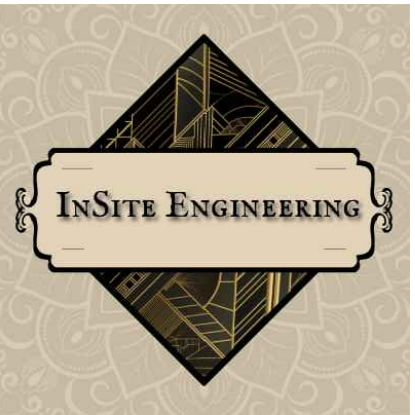
Don Humphrey
Date: 6/11/26

REVISIONS	
No.	Description

SHEET TITLE:
CIVIL/SITE DETAILS

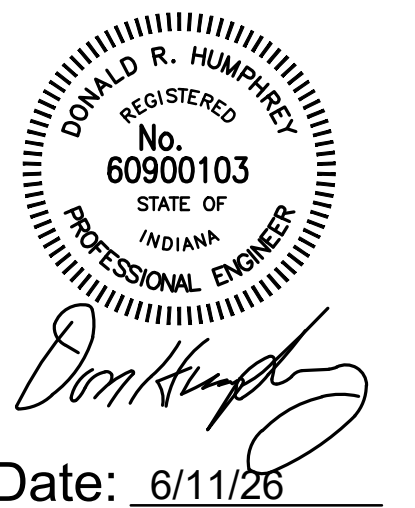
SHEET NUMBER:
C105

Project No. 26012



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INTEGRITY ROTATIONAL MOLDING LLC
NEW WAREHOUSE EXPANSION PROJECT
701 North Carr Road
Plainfield, Indiana



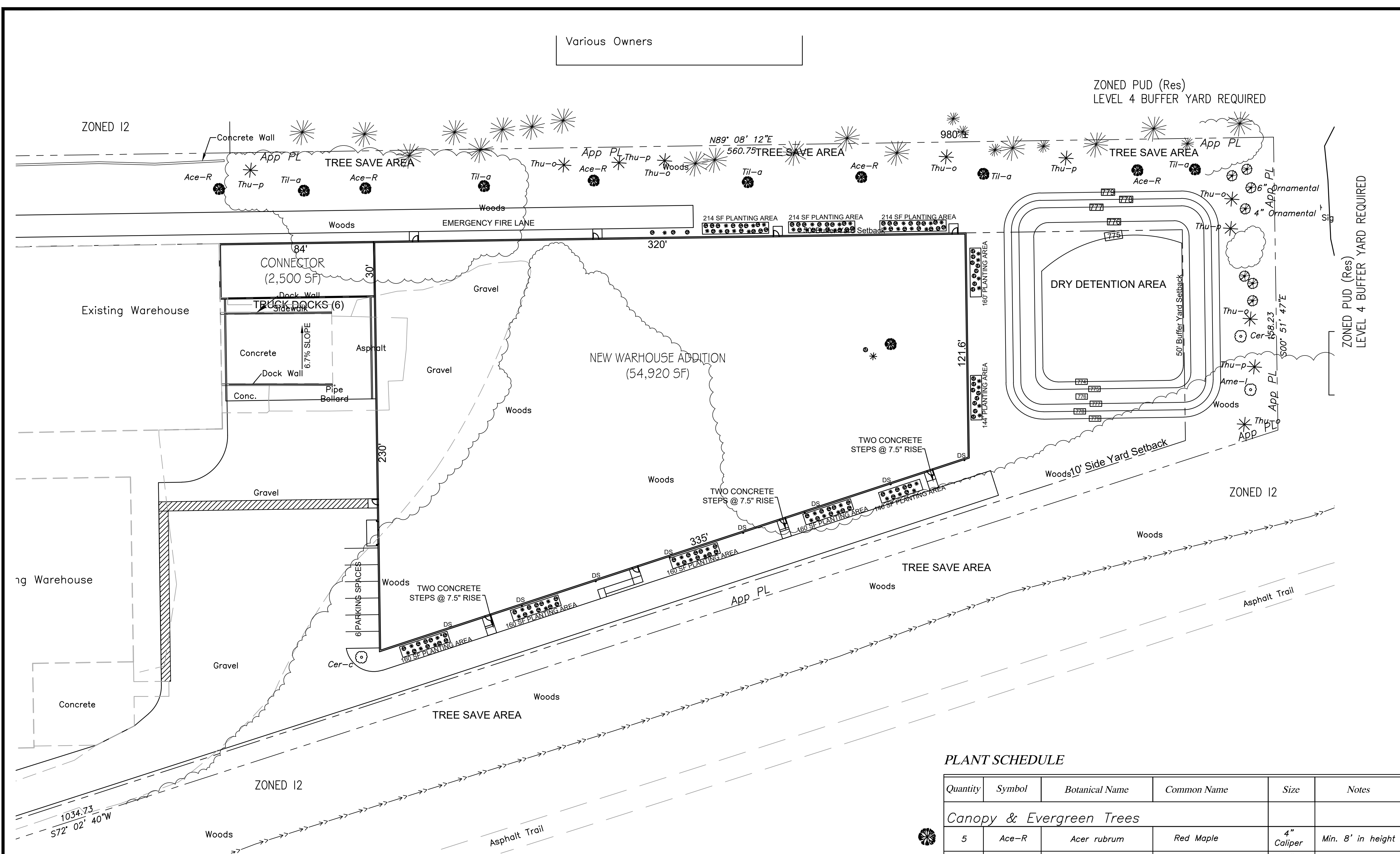
Date: 6/11/26

REVISIONS	
No.	Description

SHEET TITLE:
SITE LANDSCAPING PLAN

SHEET NUMBER:
C108

Project No. 26012



Buffer Yard Landscaping
Per Table 4.7.C.1 the adjoining PUD residential development along the north and east boundaries of the property will require a Level 4 Side and Rear Yard Buffer Yard.

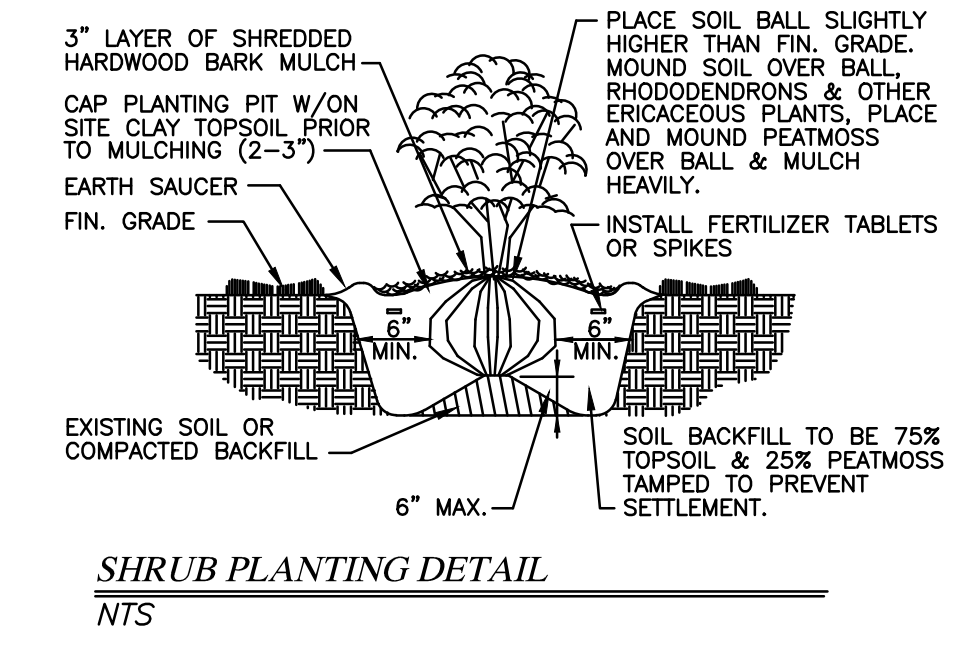
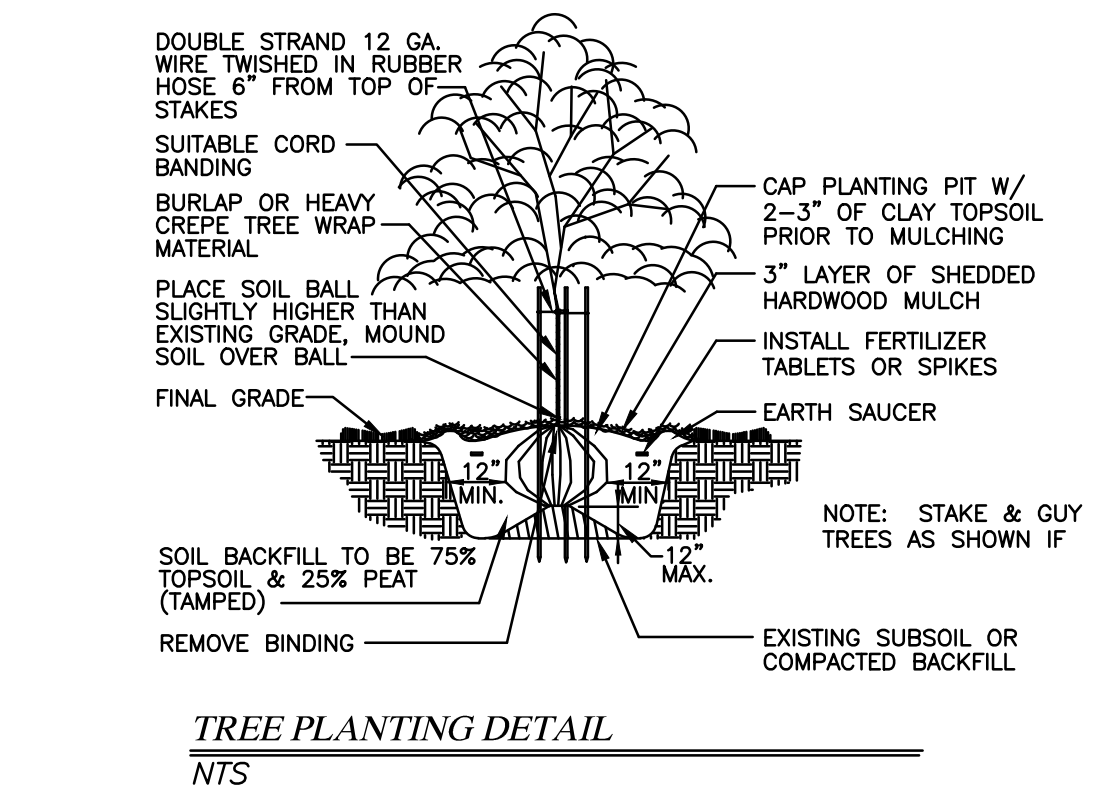
Proposed Level 4 Landscaping:
East Buffer Yard - 158 LF/100 x 4.0 PUV = 6.32 Units
5 Evergreen Trees (3.75 PUV) and 2 Ornamental trees (1.5 PUV) along with the existing trees to remain (1.5 PUV)

North Buffer Yard - 573 LF/100 x 4.0 PUV = 22.92 Units
The existing north yard is populated with mature evergreen trees greater than 12' tall as shown totalling 22.5 units although many of the trees are on the adjacent property. We are proposing to plant 10 Overstory Trees (5.0 PUV) and 6 Evergreen trees (4.5 PUV) to supplement the existing.

Foundation Plantings
Total Length of Building Wall
Front Wall (West) = N/A as its not visible from adjacent
Side Wall (North) = 320 LF - 640 SF Planting Area
Side Wall (South) = 335 LF - 670 SF Planting Area
Rear Wall (East) = 121.6 LF - 244 SF Planting Area
Required foundation plantings (Level 1) 24" Shrubs @ 0.05 PUV
Propose to plant 20 Shrub per 100' of wall length
Shrubs Provided
North Wall = 64 Shrubs
South Wall = 67 Shrubs
East Wall = 25 Shrubs

Parking Lot Landscape (Interior)
Total New Parking Spaces = 6
Landscape Requirements = 1 Deciduous Understory Tree per 15 Spaces
Trees Provided = 1 Understory

TREE REMOVAL NOTE
CONTRACTOR SHALL CLEAR AND REMOVE ALL TREES, BUSHES, AND UNDERBRUSH WITHIN THE LIMITS OF THE NEW BUILDING AND OTHER SITE IMPROVEMENTS. TREE STUMPS WITHIN THE LIMITS OF THE BUILDING ADDITION AND DETENTION POND SHALL BE COMPLETELY REMOVED. CARE WILL BE TAKEN ALONG THE NORTH AND SOUTH PROPERTY LINES TO PROTECT ALL TREES NOT REQUIRED FOR REMOVAL.



PLANT SCHEDULE

Quantity	Symbol	Botanical Name	Common Name	Size	Notes
Canopy & Evergreen Trees					
5	Ace-R	<i>Acer rubrum</i>	Red Maple	4" Caliper	Min. 8' in height
5	Til-a	<i>Tilia tomentosa</i> 'Sterling Silver'	Silver Linden 'Sterling Silver'	4" Caliper	Min. 8' in height
6	Thu-o	<i>Thuja occidentalis</i>	American Arborvitae		Min. 6' in height
5	Thu-p	<i>Thuja standish x plicata</i>	Green Giant Western Arborvitae	7 Gallon Container	Min. 6' in height
Ornamental (Understory) Trees					
1	Ame-l	<i>Amelanchier laevis</i>	Allegheny Serviceberry	2" Caliper	Min. 6' in height
2	Cer-c	<i>Cercis canadensis</i>	Eastern Redbud	2" Caliper	Min. 6' in height

Quantity	Symbol	Botanical Name	Common Name	Size	Container	Notes
Shrubs						
33	ile-v	<i>ilex verticillata</i>	Winterberry Holly	24" Min	Container	Space @ 3'-0" o.c
28	Tax-c	<i>Taxus x media</i>	Densiflora Yew	24" Min	Container	Space @ 3'-0" o.c
33	Bux-s	<i>Buxus spp.</i>	Green Velvet Boxwood	24" Min	Container	Space @ 3'-0" o.c
34	Vib-r	<i>Viburnum rafinesquianum</i>	Downy Arrowwood	24" Min	Container	Space @ 3'-0" o.c
27	Jun-c	<i>Juniperus communis</i>	Common Juniper	24" Min	Container	Space @ 3'-0" o.c

Bush species shall be interspersed within the landscaping areas to provide variety at the discretion of the landscaper.

