

TOWN OF PLAINFIELD PLAN COMMISSION

DATE: 06-09-2026

CASE NO.: [RZ-26-019](#)

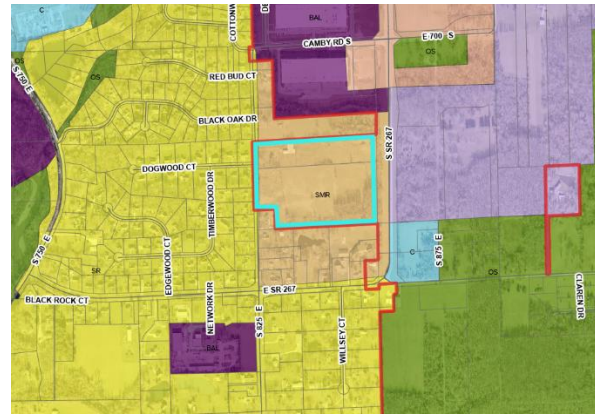
Project Page: Altura (Formerly Daum Farms)

PETITIONER: Andy Gerdom, TriCo Development

REQUESTED ACTIONS: Zone Map Amendment of approximately 28.5 +/- acres from AG: Agriculture to RF: Residential Flex.

LOCATION: Located to the south of Camby Road, immediately east of CR S 825 E and west of Quaker Boulevard

PARCEL SIZE: 28.5 +/- acres



EXISTING ZONING AND LAND USE		THRIVE! COMPREHENSIVE PLAN	
Site:	AG: Agriculture	Site:	SMR: Suburban Mixed Residential
North:	RB: Single Family	North:	SMR: Suburban Mixed Residential
South:	RB: Single Family	South:	SMR: Suburban Mixed Residential
East:	I2: Office/Warehouse/Distribution	East:	TF: Tech Flex
West:	RB: Single Family	West:	SR: Suburban Residential

PROJECT DESCRIPTION

- Requested Action:**
- Zone Map Amendment of approximately 28.5 +/- acres from AG: Agriculture to RF: Residential Flex
-
- Concurrent Actions:**
- None
-
- Future Action(s):**
- Improvement Location Permit and other required permits (*Administrative*)



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PROJECT REVIEW

PROJECT COMPLIANCE SUMMARY

Compliance unknown / needs attention

Does not comply

Review Area	Code Reference	Status	Questions / Comments		
Building Design					
Minimum Yards and Building Setbacks	14.2.D.2	Overall site setback lines shown and met. Individual building/house setbacks seemingly shown – verified with Primary Plat	Setback Side	Required	Shown
			South		
			West		
			East		
			North		
Maximum Building Height	14.2.E.2	Compliant			
Building Materials	4.21	Compliant	FAÇADE POINTS	Required	Shown
			Front (Primary)	600	800
			Rear (Primary)	600	800
			Left (Primary)	600	800
Mechanical Equipment:	4.1G	Compliant			
Building Lighting	4.9.C	Compliant			
Site Design					
Drive-Through Facilities	4.1.D	Not Applicable			
Loading Space Orientation	4.11.C.1.d	Compliant			
Outside Storage	4.16.B.9	Not Applicable			
Outdoor Seating/Dining	4.16.E	Not Applicable			
Parking Area Location	4.10.C	Compliant			
Off-Street Parking Area Cross Access Connection	4.10.D.7	Compliant			
Bicycle Parking	4.10.E	Compliant			
Parking Spaces	4.10.F	Compliant			
Site Lighting	4.9.D 5.5.C.6	Compliant			
Trash Enclosure / Trash Compactor	4.1.J	Compliant			
Pedestrian Connectivity	4.1.H	Compliant			
Landscaping					
Perimeter Yard Landscaping	4.7.C	Compliant			
Foundation Landscaping	4.7.E	Compliant			
Parking Lot Trees	4.7.F	Compliant			
Parking Lot Screening	4.7.F	Compliant			
Trash Enclosure Landscaping	4.1.J	Compliant			

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STAFF COMMENTS

PLANNING:

Single Family

Since the previous Design Review Committee review, the applicant has substantially revised the proposed single-family housing product. The previously proposed front-loaded homes have been replaced with rear alley-loaded homes (shown below), eliminating the need for front-facing garages along the primary streets within the development.

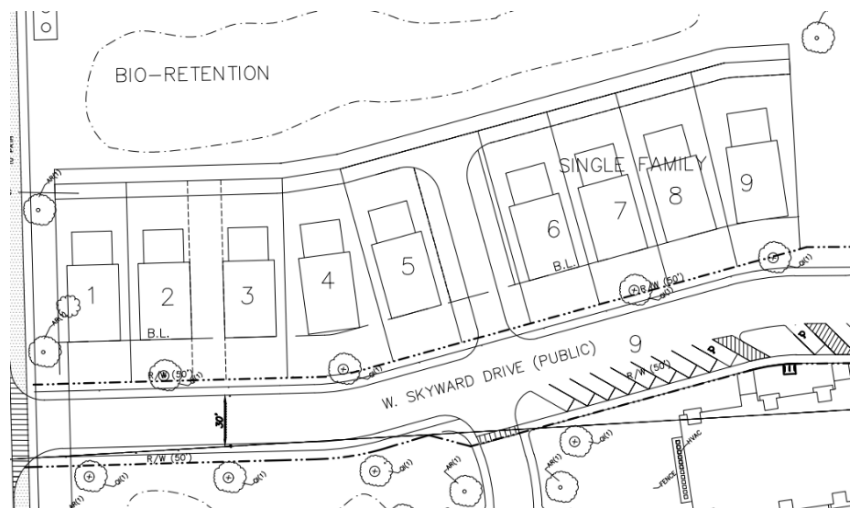
This revised approach results in a more pedestrian-oriented streetscape, allowing front elevations to place greater emphasis on features that allow for community interaction, such as front porches, rather than garage doors.

As presented, the revised single-family product addresses staff's previous concerns regarding garage-dominant residential design and represents a development pattern more consistent with the walkable character envisioned for the community.



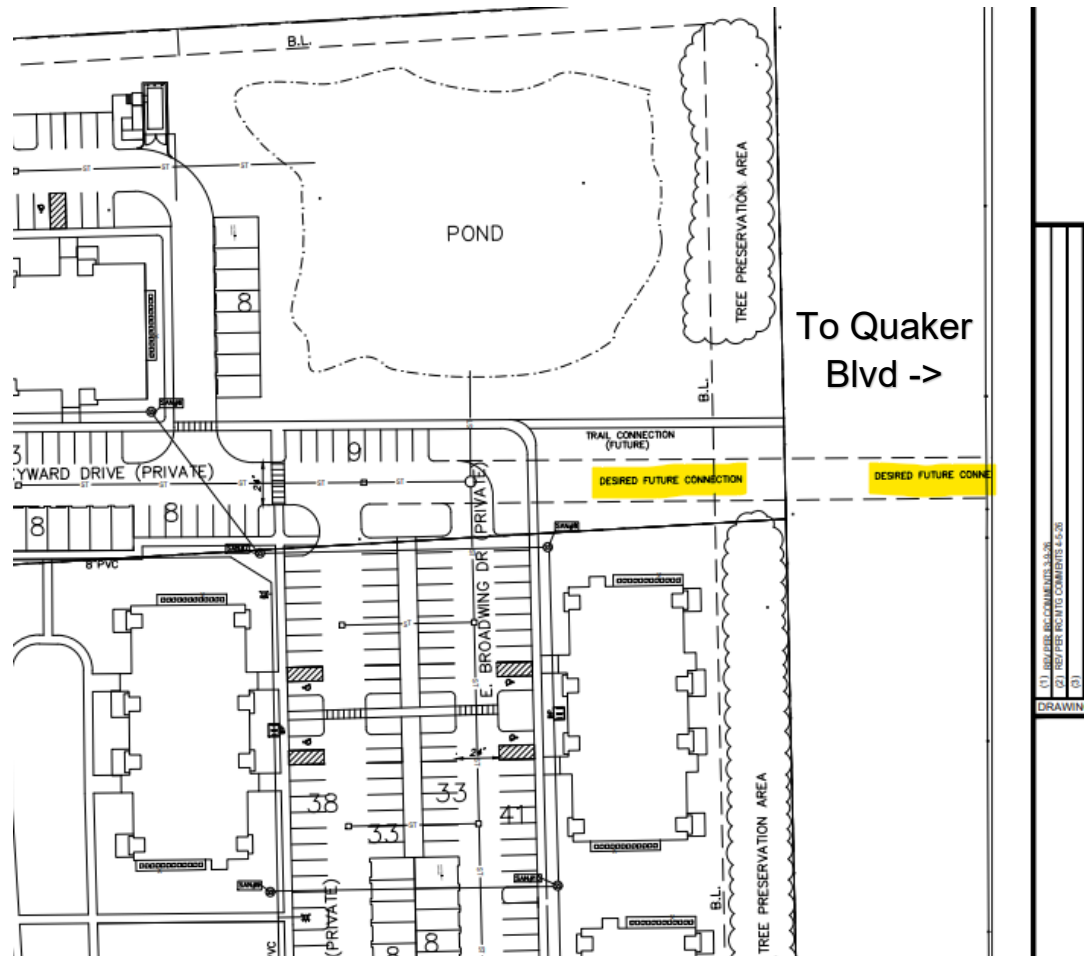
Site Design

The overall site layout remains largely unchanged from the version previously reviewed by the Design Review Committee. The most notable revision is the addition of rear alleys and associated access points to serve the proposed single-family homes. These changes support the revised rear alley-loaded housing product while maintaining the overall circulation pattern and pedestrian connectivity reviewed by the Committee.



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Additionally, the applicant has indicated a desired future connection from the proposed development to Quaker Boulevard in their new site plans. While no connection is proposed at this time, the location has been identified to preserve the opportunity for future connectivity.



Landscaping

The applicant has made substantial revisions to the landscape plan since the previous Design Review Committee review. Additional street trees have been incorporated throughout the single-family portion of the development. Landscaping has also been expanded along S CR 825 E, and the applicant has provided tree preservation areas identifying portions of the site's existing vegetation that are intended to remain. The revised plan also includes a considerably greater number of proposed trees throughout the development.

While the revised plan addresses many of staff's concerns, limited buffering remains along portions of the development perimeter. Staff's primary remaining concern relates to the southwest corner of the site, where additional screening, buffering, or fencing may be warranted.

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TRANSPORTATION:

UTILITIES: