

PALMARY



CR101



CR201/202



HR101



HR201/202



LC101



LC201/202



NC101



NC201/202



Palmary - CR204



Palmary - FH203



Palmary - HR104



Palmary - NC207

PALMARY

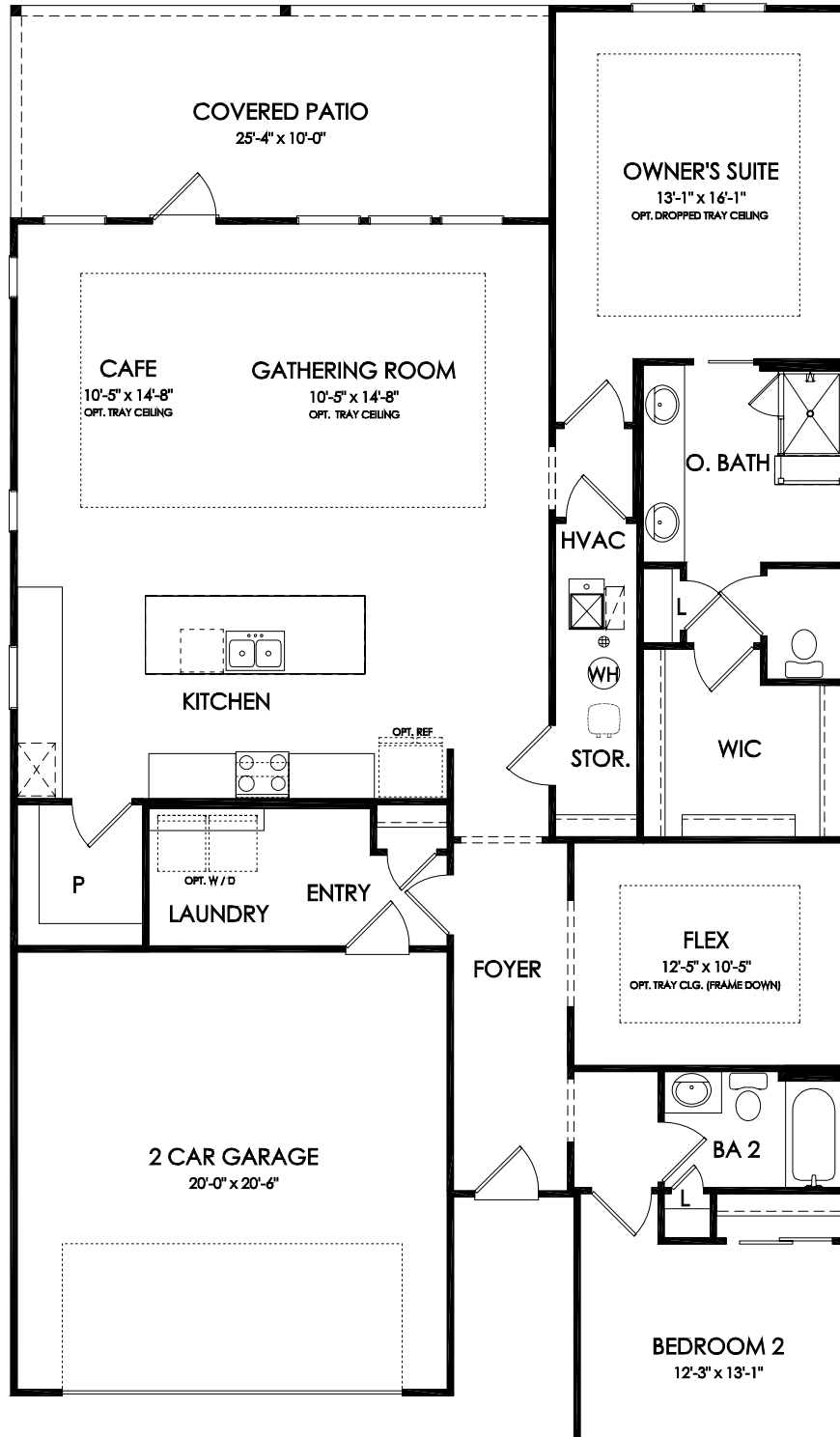
2-4 Bedrooms | 2-3 Bathrooms | 1,892+ sq. ft.
Flex Space | Walk-In Pantry | Oversized Covered Patio

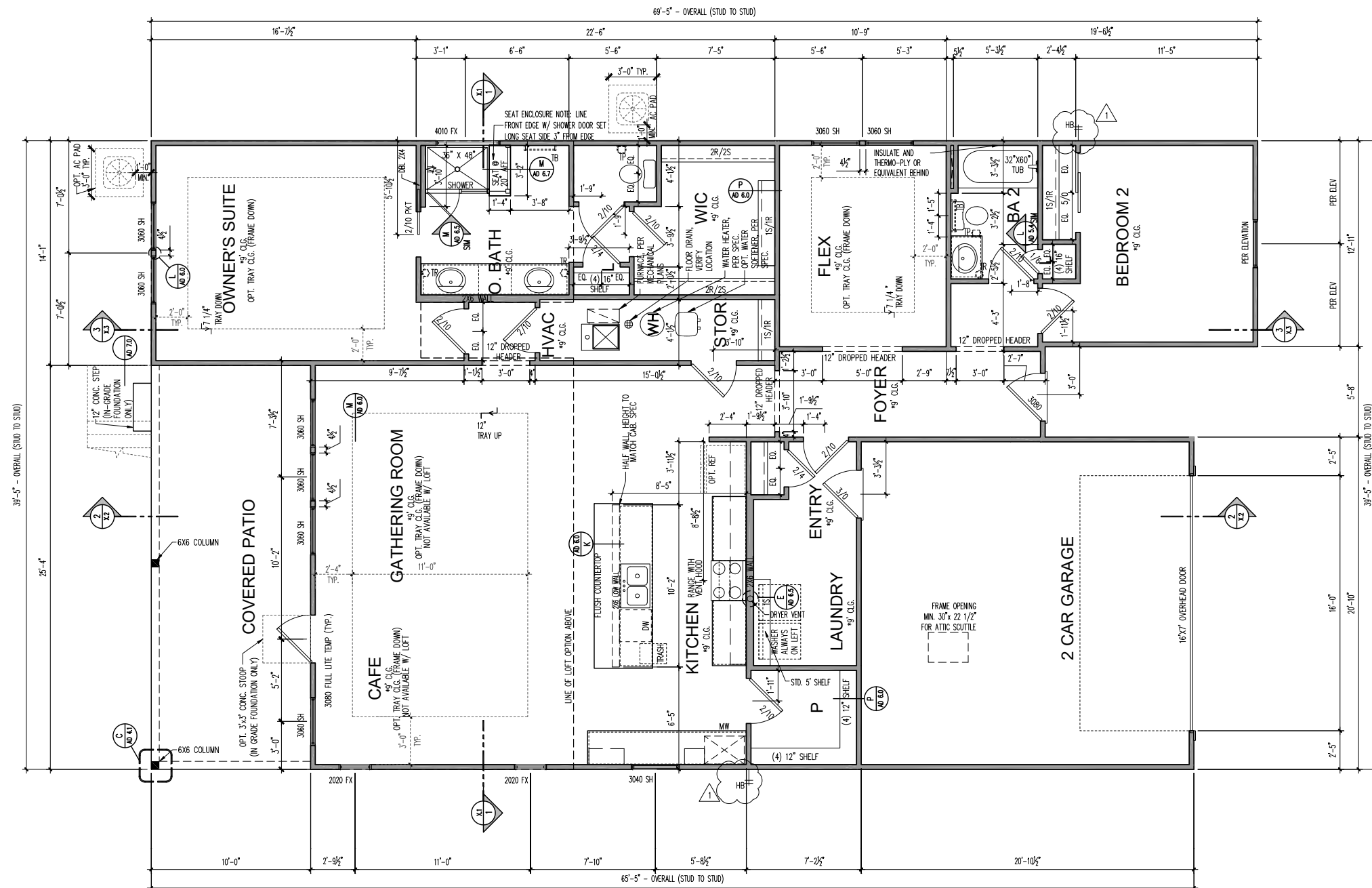


Del Webb®

PALMARY

Visit DelWebb.com for more information and to view the Interactive Floorplan.





FIRST FLOOR PLAN - 2x4 EXTERIOR WALLS
SCALE: 1/4" = 1'-0"

| ROOM NAME | AREA (SF) | LIGHT 8% | | VENT 4% | | MECH (CFM) | |
|----------------------------|-----------|----------|------|---------|------|------------|-----|
| | | REQ | ACT | REQ | ACT | REQ | ACT |
| KITCHEN / CAFE / GATHERING | 684.55 | 54.8 | 68.1 | 27.4 | 27 | 800.9 | --- |
| BATH 2 | 44.28 | --- | --- | --- | --- | 51.8 | 80 |
| OWNER'S SUITE | 231.35 | 18.5 | 13.7 | 9.3 | 5.9 | 270.7 | 300 |
| OWNER'S BATH | 85.98 | 6.9 | 2 | 3.4 | --- | 100.6 | 120 |
| BEDROOM 2 | 142.3 | 11.4 | 13.7 | 5.7 | 5.9 | --- | --- |
| BEDROOM 3 | 117 | 9.4 | 27.4 | 4.7 | 11.8 | --- | --- |
| FLEX | 132.04 | 10.6 | 27.4 | 5.3 | 11.8 | --- | --- |
| LAUNDRY | 82.69 | 6.6 | --- | 3.3 | --- | 96.7 | 100 |
| BEDROOM 4 | 168 | 13.4 | 11.1 | 6.7 | 4.7 | 196.6 | 200 |
| BATH 3 | 53.83 | --- | --- | --- | --- | 56.0 | 60 |
| LOFT | 289.12 | 23.1 | 55.5 | 11.6 | 23.5 | --- | --- |
| SUNROOM | 98.9 | 7.9 | 54.8 | 4.0 | 23.6 | --- | --- |
| BEDROOM 7 | 135.16 | 10.8 | 12.2 | 5.4 | 6.7 | --- | --- |
| BATH 7 | 45.65 | --- | --- | --- | --- | 47.5 | 60 |

* ARTIFICIAL LIGHT AND/OR MECHANICAL VENTILATION SUPPLIED
** BATH FAN REQ: LWxH OF ROOM x 0.13 = MIN. CFM RATING REQUIRED
THE TABLE ABOVE SHOWS CALCULATIONS THAT APPLY FOR ALL ELEVATIONS, U.N.O.

| SQUARE FOOTAGES | |
|------------------------------|-------------|
| BASE HOUSE - HEATED | |
| FIRST FLOOR | 1892 |
| SECOND FLOOR | 0 |
| TOTAL BASE HEATED | 1892 |
| BASE HOUSE - UNDER ROOF | |
| GARAGE - 2 CAR FRONT ENTRY | 432 |
| COVERED PATIO | 253 |
| TOTAL BASE UNDER ROOF | 2577 |
| OPTIONS | |
| SECOND FLOOR | 799 |
| BASEMENT | 1762 |



| First Floor Plan | |
|--------------------|--|
| 2x4 Exterior Walls | |

| REV # | DATE / DESCRIPTION |
|------------|--------------------|
| 04/30/2021 | PCR REVISIONS |

| PRODUCTION MANAGER |
|----------------------------------|
| Rich Storkway |
| INITIAL RELEASE DATE: 09/30/2020 |
| CURRENT RELEASE DATE: 09/30/2020 |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
NRC PLAN NUMBER
2685.300
LAWSON PLAN ID

SHEET
A1
4-1.1

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 04/30/2021 |
| 2 | PCR REVISIONS |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
 NRC PLAN NUMBER
2685.300
 LAWSON PLAN ID

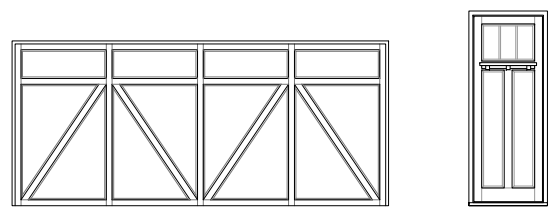
SHEET
A3-CR202
2FS.1

| ATTIC VENT SCHEDULE | | | |
|---|---------------------------------------|------------------|------------------|
| CR201 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2796 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1342 IN ² | | |
| LOW - REQUIRED (*) | 671 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 672 IN ² 24 EAWE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
| HIGH - REQUIRED (*) | 671 IN ² | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 671 IN ² 11 POTS | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 648 IN ² 38 LF | | |

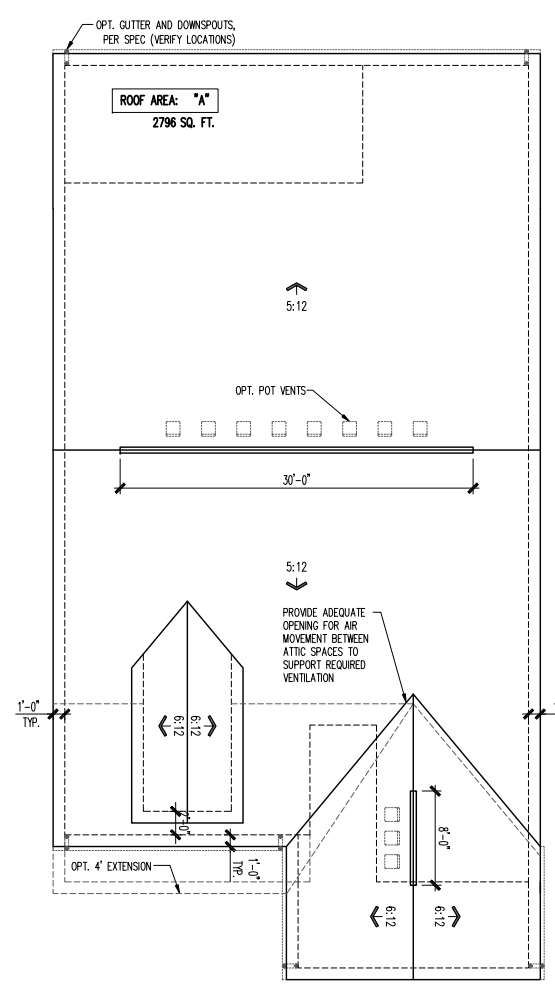
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAWE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

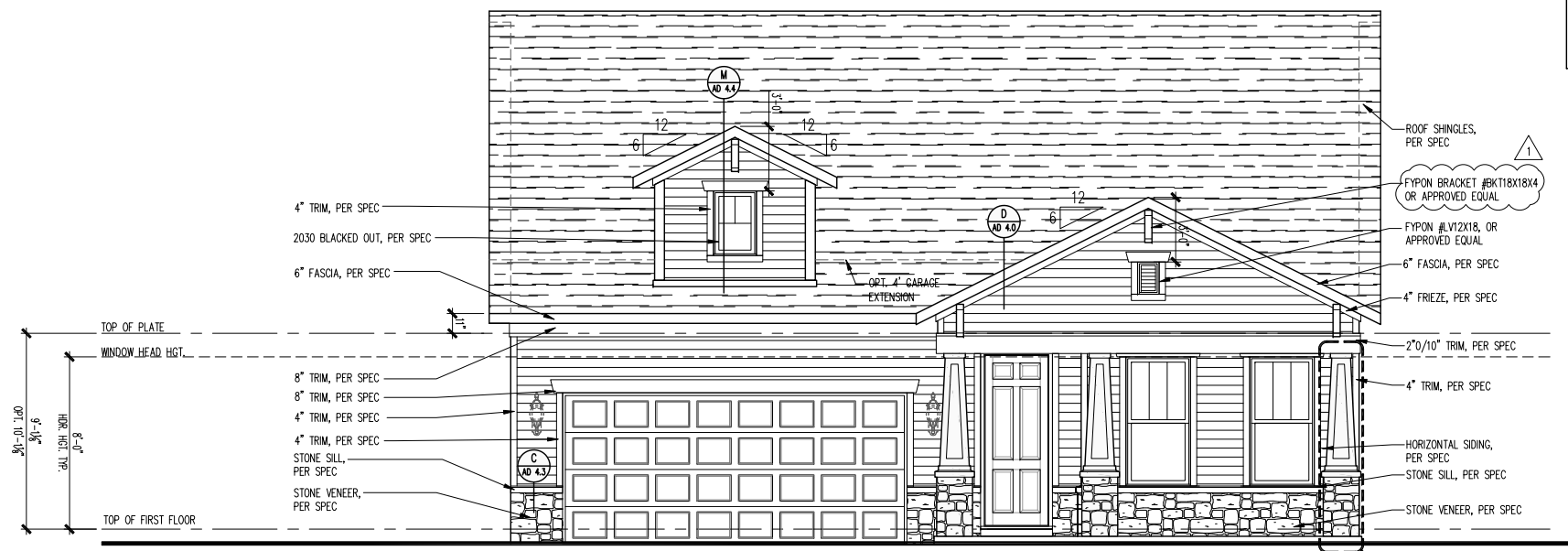
*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



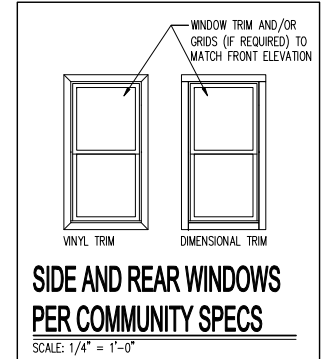
UPGRADED DOOR OPTION
 SCALE: 1/4" = 1'-0"



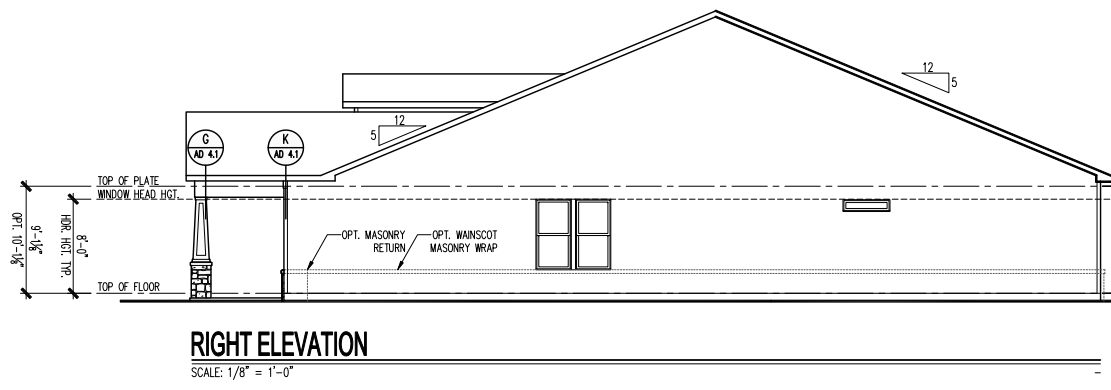
ROOF ELEVATION
 SCALE: 1/8" = 1'-0"



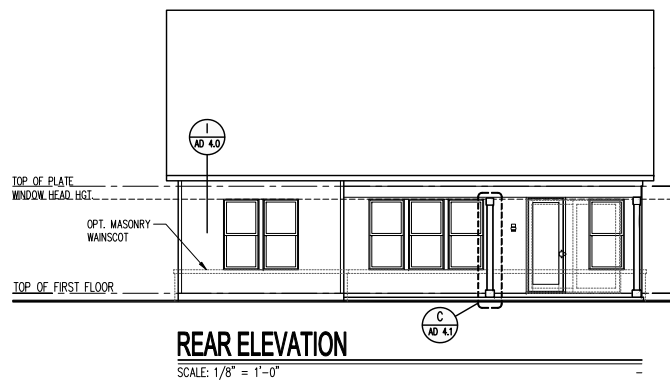
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



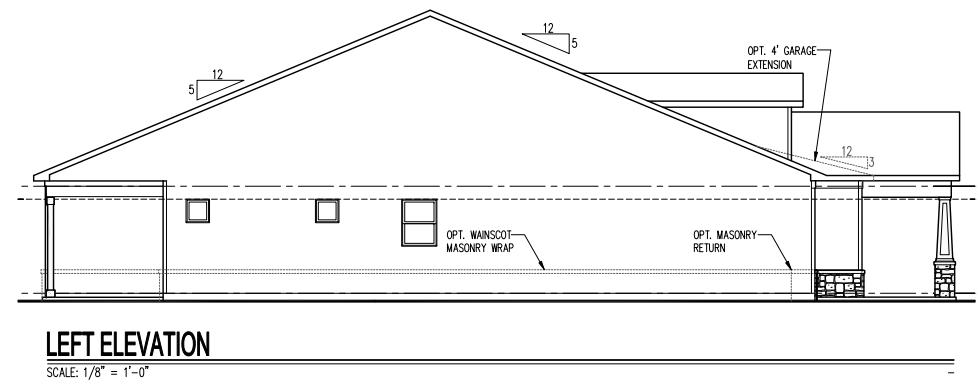
SIDE AND REAR WINDOWS PER COMMUNITY SPECS
 SCALE: 1/4" = 1'-0"



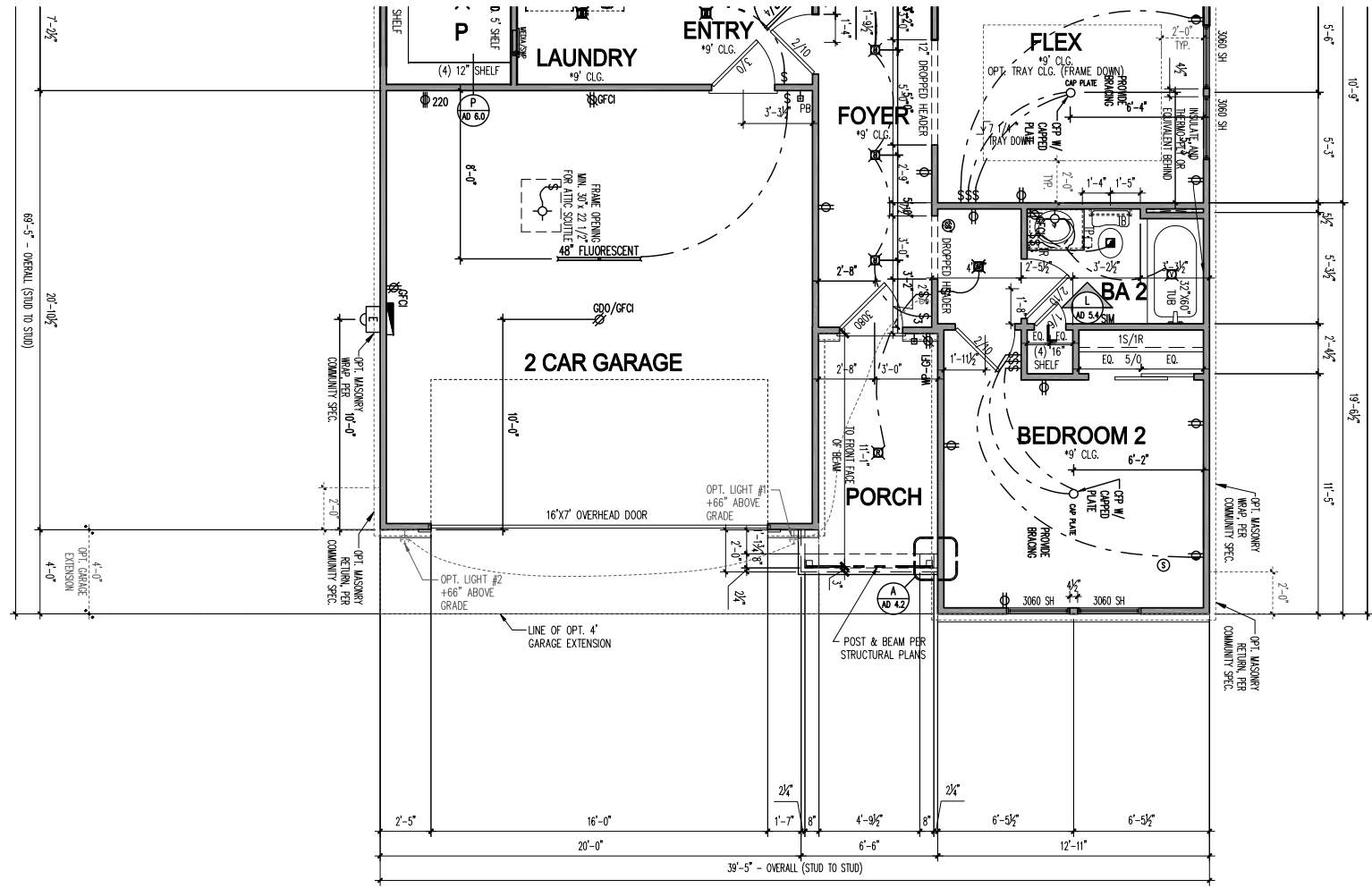
RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - 2x4 EXTERIOR WALLS
SCALE: 1/4" = 1'-0"

| ROOM NAME | AREA (SF) | LIGHT 8% | | VENT 4% | | MECH (CFM) | |
|----------------------------|-----------|----------|------|---------|------|------------|-----|
| | | REQ | ACT | REQ | ACT | REQ | ACT |
| KITCHEN / CAFE / GATHERING | 684.55 | 54.8 | 68.1 | 27.4 | 27 | 800.9 | --- |
| BATH 2 | 44.28 | --- | --- | --- | --- | 51.8 | 80 |
| OWNER'S SUITE | 231.35 | 18.5 | 13.7 | 9.3 | 5.9 | 270.7 | 300 |
| OWNER'S BATH | 85.98 | 6.9 | 2 | 3.4 | --- | 100.6 | 120 |
| BEDROOM 2 | 142.3 | 11.4 | 13.7 | 5.7 | 5.9 | --- | --- |
| BEDROOM 3 | 117 | 9.4 | 27.4 | 4.7 | 11.8 | --- | --- |
| FLEX | 132.04 | 10.6 | 27.4 | 5.3 | 11.8 | --- | --- |
| LAUNDRY | 82.69 | 6.6 | --- | 3.3 | --- | 96.7 | 100 |
| BEDROOM 4 | 168 | 13.4 | 11.1 | 6.7 | 4.7 | 196.6 | 200 |
| BATH 3 | 53.83 | --- | --- | --- | --- | 56.0 | 60 |
| LOFT | 289.12 | 23.1 | 55.5 | 11.6 | 23.5 | --- | --- |
| SUNROOM | 98.9 | 7.9 | 54.8 | 4.0 | 23.6 | --- | --- |
| BEDROOM 7 | 135.16 | 10.8 | 12.2 | 5.4 | 6.7 | --- | --- |
| BATH 7 | 45.65 | --- | --- | --- | --- | 47.5 | 60 |

* ARTIFICIAL LIGHT AND/OR MECHANICAL VENTILATION SUPPLIED
** BATH FAN REQ: LxWxH OF ROOM x 0.13 = MIN. CFM RATING REQUIRED
THE TABLE ABOVE SHOWS CALCULATIONS THAT APPLY FOR ALL ELEVATIONS, U.N.O.

| SQUARE FOOTAGES | |
|------------------------------|-------------|
| BASE HOUSE - HEATED | |
| FIRST FLOOR | 1892 |
| SECOND FLOOR | 0 |
| TOTAL BASE HEATED | 1892 |
| BASE HOUSE - UNDER ROOF | |
| GARAGE - 2 CAR FRONT ENTRY | 432 |
| COVERED PATIO | 253 |
| TOTAL BASE UNDER ROOF | 2577 |
| OPTIONS | |
| SECOND FLOOR | 799 |
| BASEMENT | 1762 |

| ELEVATION HR101 | |
|---------------------------------|-------------|
| ADDITIONAL 1ST FLOOR - HEATED | 0 |
| TOTAL 1ST FLOOR | 1892 |
| ADDITIONAL 2ND FLOOR - HEATED | 0 |
| TOTAL 2ND FLOOR | 0 |
| TOTAL ELEV. HEATED | 1892 |
| ADDITIONAL GARAGE - 2 CAR FRONT | 0 |
| TOTAL GARAGE | 432 |
| COVERED PATIO | 0 |
| TOTAL COVERED PATIO | 253 |
| FRONT PORCH | 66 |
| TOTAL ELEV. FOOTPRINT | 2643 |

North Area
1900 E. Golf Road, - Suite 300
Schaumburg, Illinois 60173



HR101
2 Car Front Entry
Partial Floor Plan - 2x4 Exterior Walls

PRODUCTION MANAGER
Rick Steffany
INITIAL RELEASE DATE:
09/30/2020
CURRENT RELEASE DATE:
09/30/2020

| REV # | DATE / DESCRIPTION |
|-------|-----------------------------|
| 1 | 04/30/2021 PCR REVISIONS |
| 2 | |
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| 8 | |
| 9 | |
| 10 | |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
NRC PLAN NUMBER
2685.300
LAWSON PLAN ID
-

SHEET
A3-HR101
2FS4.3

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS (c) Copyright Putte Home Corporation - 2021

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 04/30/2021 |
| 2 | PCR REVISIONS |
| 3 | |
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| 9 | |
| 10 | |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
 NRC PLAN NUMBER
2685.300
 LAWSON PLAN ID

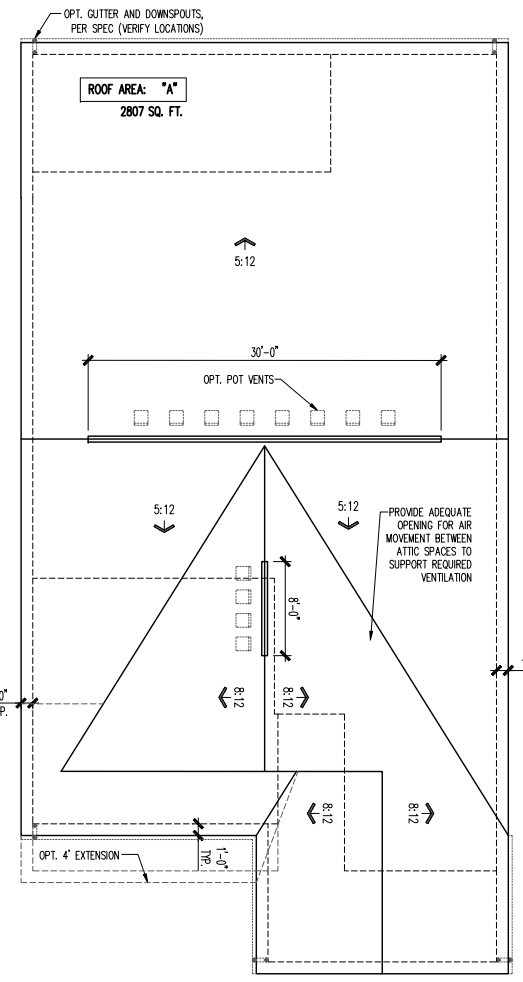
SHEET
A3-HR201
2FS.1

| ATTIC VENT SCHEDULE | | | |
|--|--|------------------|------------------|
| HR201 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2807 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1347 IN ² | | |
| LOW - REQUIRED (*) | 674 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 700 IN ² 25 EAVE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
| HIGH - REQUIRED (*) | 674 IN ² | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 732 IN ² 12 POTS | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 684 IN ² 38 LF | | |

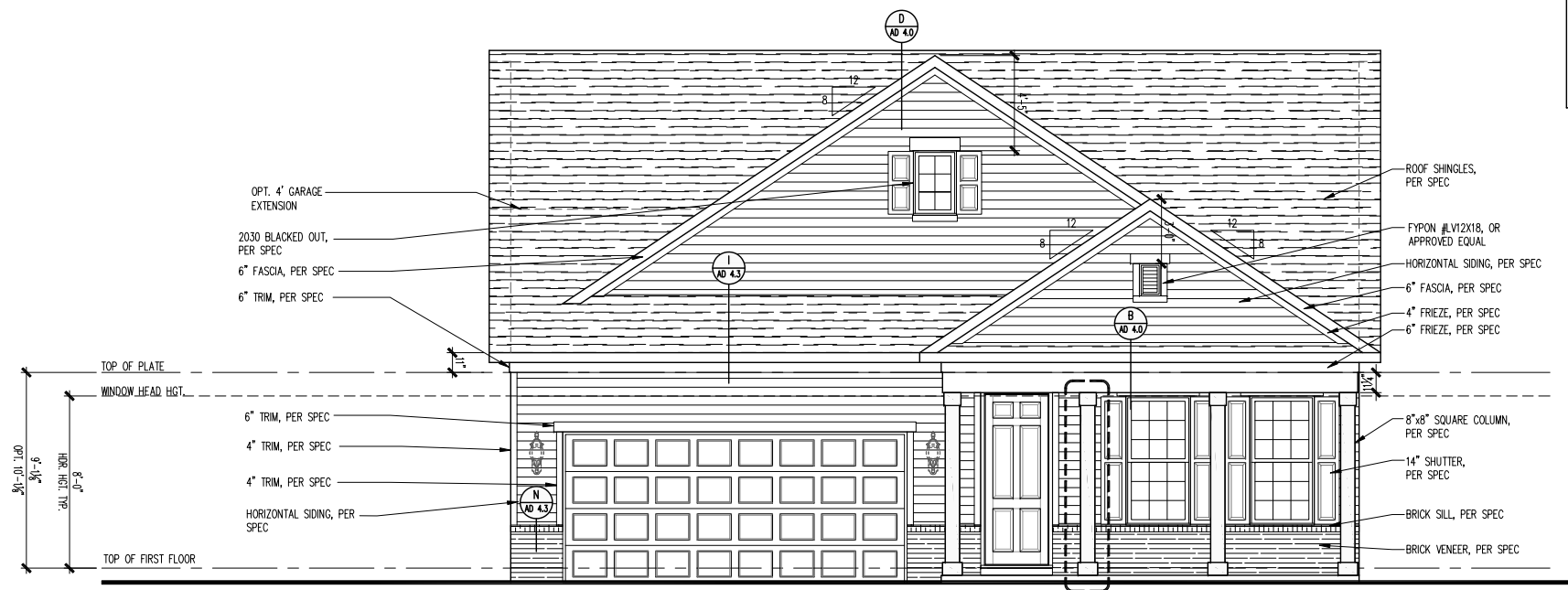
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 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

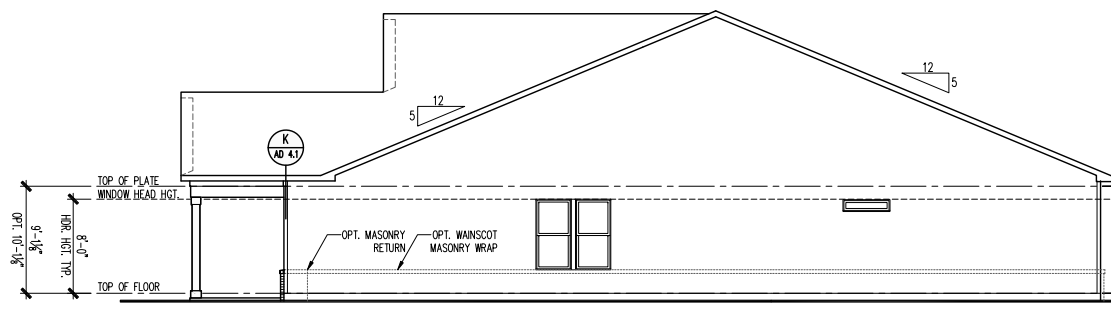
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 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



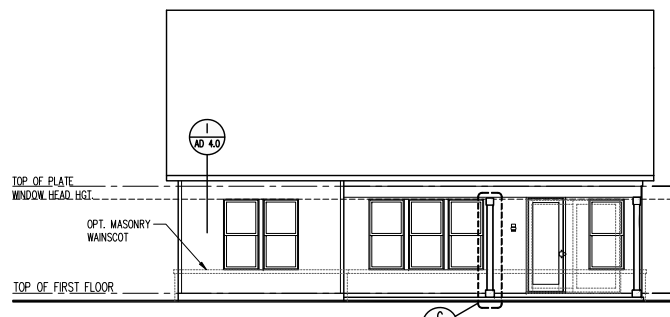
ROOF ELEVATION
 SCALE: 1/8" = 1'-0"



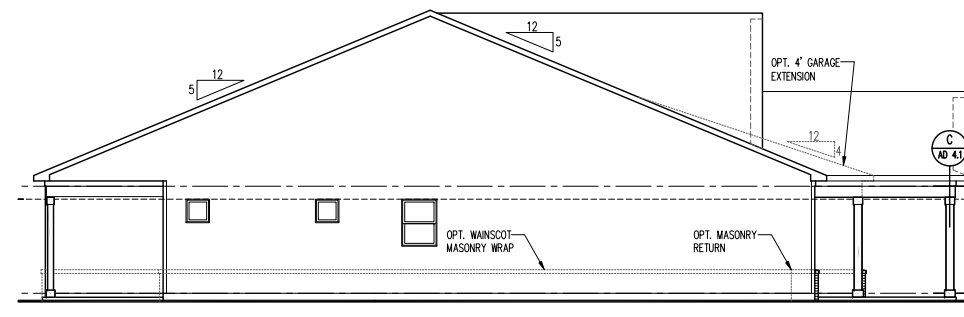
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 04/30/2021 |
| 2 | PCR REVISIONS |
| 3 | |
| 4 | |
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| 13 | |
| 14 | |
| 15 | |
| 16 | |
| 17 | |
| 18 | |
| 19 | |
| 20 | |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
 NRC PLAN NUMBER
2685.300
 LAWSON PLAN ID

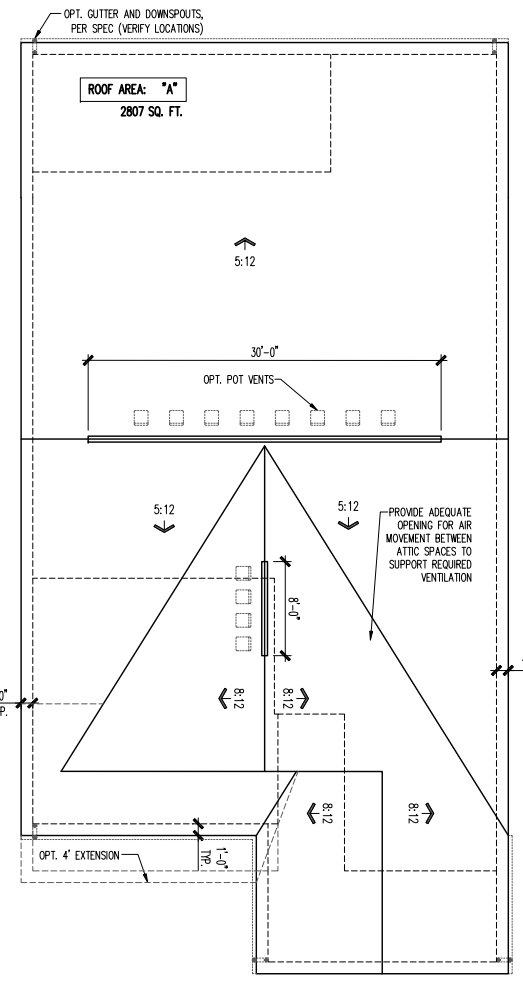
SHEET
A3-HR202
2FS.1

| ATTIC VENT SCHEDULE | | | |
|--|--|------------------|------------------|
| HR202 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2807 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1347 IN ² | | |
| LOW - REQUIRED (*) | 674 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 700 IN ² 25 EAVE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
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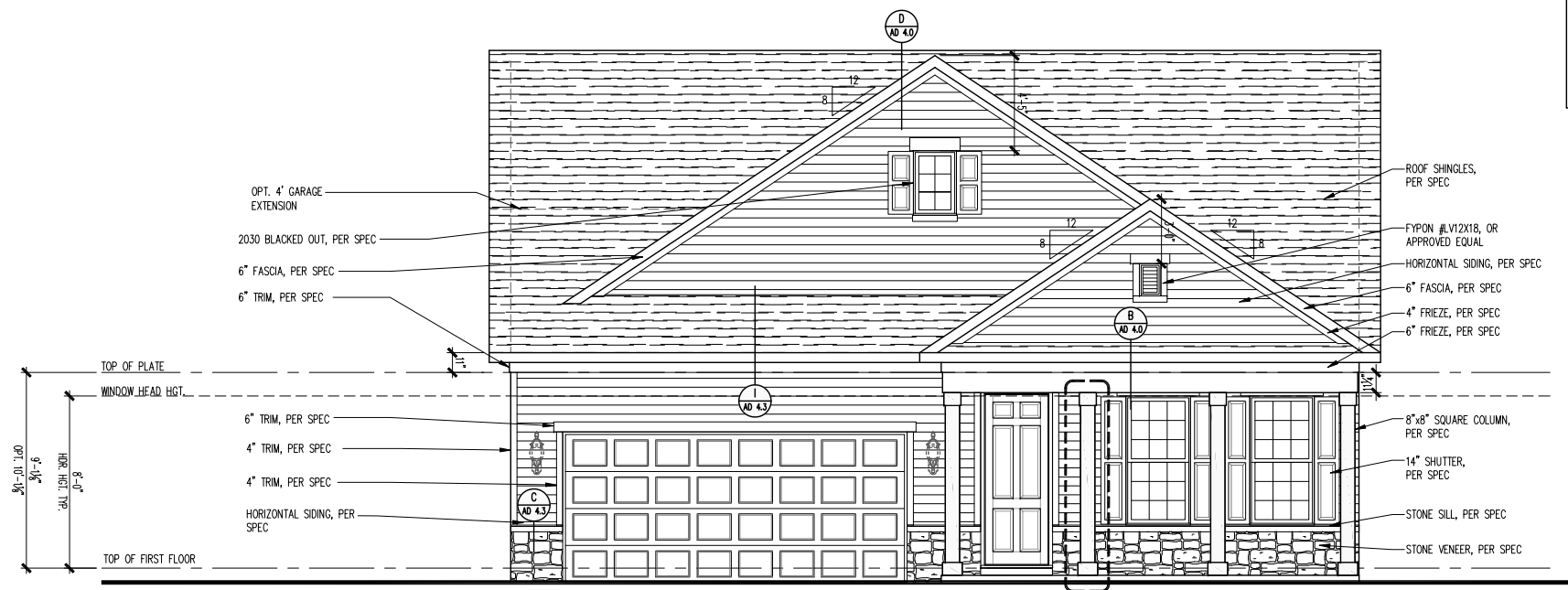
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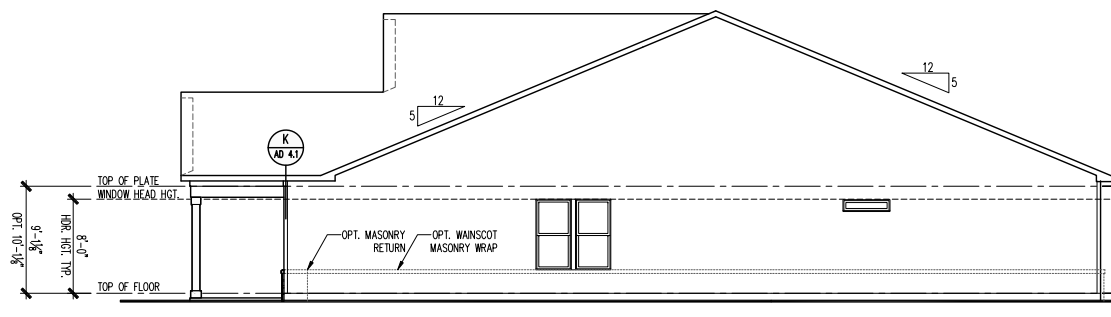
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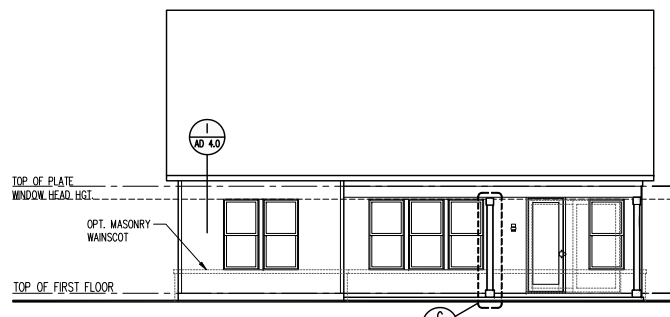
ROOF ELEVATION
 SCALE: 1/8" = 1'-0"



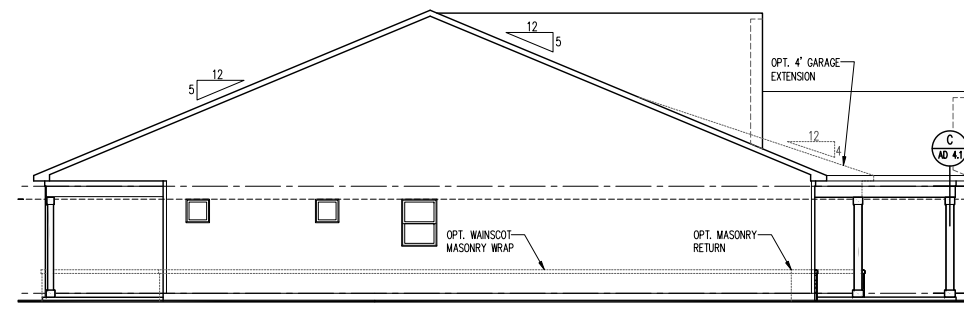
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



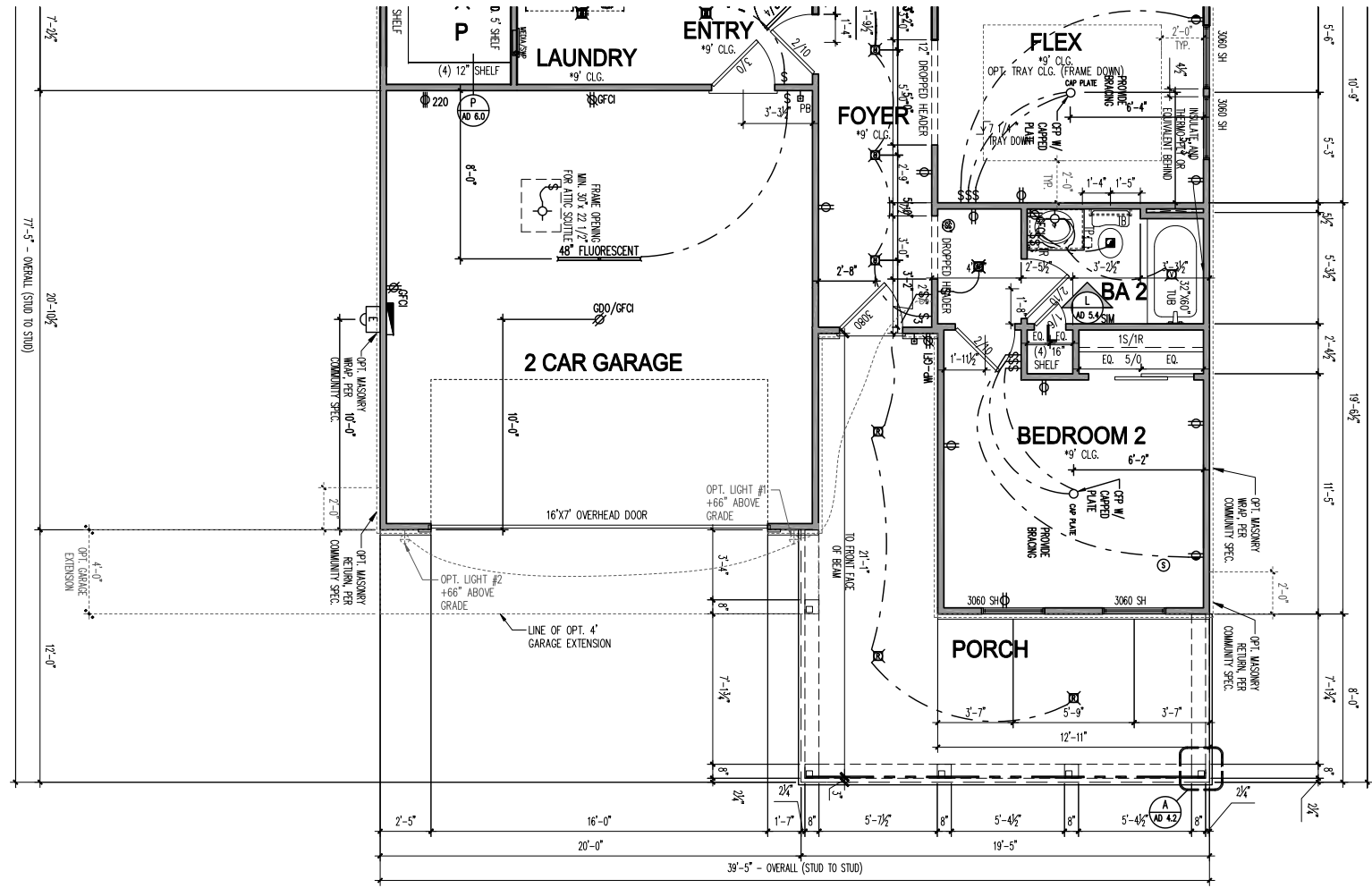
RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - 2x4 EXTERIOR WALLS
SCALE: 1/4" = 1'-0"

| ROOM NAME | AREA (SF) | LIGHT 8% | | VENT 4% | | MECH (CFM) | |
|----------------------------|-----------|----------|------|---------|------|------------|-----|
| | | REQ | ACT | REQ | ACT | REQ | ACT |
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| BATH 2 | 44.28 | --- | --- | --- | --- | 51.8 | 80 |
| OWNER'S SUITE | 231.35 | 18.5 | 13.7 | 9.3 | 5.9 | 270.7 | 300 |
| OWNER'S BATH | 85.98 | 6.9 | 2 | 3.4 | --- | 100.6 | 120 |
| BEDROOM 2 | 142.3 | 11.4 | 13.7 | 5.7 | 5.9 | --- | --- |
| BEDROOM 3 | 117 | 9.4 | 27.4 | 4.7 | 11.8 | --- | --- |
| FLEX | 132.04 | 10.6 | 27.4 | 5.3 | 11.8 | --- | --- |
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| BEDROOM 4 | 168 | 13.4 | 11.1 | 6.7 | 4.7 | 196.6 | 200 |
| BATH 3 | 53.83 | --- | --- | --- | --- | 56.0 | 60 |
| LOFT | 289.12 | 23.1 | 55.5 | 11.6 | 23.5 | --- | --- |
| SUNROOM | 98.9 | 7.9 | 54.8 | 4.0 | 23.6 | --- | --- |
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| BATH 7 | 45.65 | --- | --- | --- | --- | 47.5 | 60 |

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** BATH FAN REQ: LxWxH OF ROOM x 0.13 = MIN. CFM RATING REQUIRED
THE TABLE ABOVE SHOWS CALCULATIONS THAT APPLY FOR ALL ELEVATIONS, U.N.O.

| SQUARE FOOTAGES | |
|------------------------------|-------------|
| BASE HOUSE - HEATED | |
| FIRST FLOOR | 1892 |
| SECOND FLOOR | 0 |
| TOTAL BASE HEATED | 1892 |
| BASE HOUSE - UNDER ROOF | |
| GARAGE - 2 CAR FRONT ENTRY | 432 |
| COVERED PATIO | 253 |
| TOTAL BASE UNDER ROOF | 2577 |
| OPTIONS | |
| SECOND FLOOR | 799 |
| BASEMENT | 1762 |

| ELEVATION HR202 | |
|---------------------------------|-------------|
| ADDITIONAL 1ST FLOOR - HEATED | 0 |
| TOTAL 1ST FLOOR | 1892 |
| ADDITIONAL 2ND FLOOR - HEATED | 0 |
| TOTAL 2ND FLOOR | 0 |
| TOTAL ELEV. HEATED | 1892 |
| ADDITIONAL GARAGE - 2 CAR FRONT | 0 |
| TOTAL GARAGE | 432 |
| COVERED PATIO | 0 |
| TOTAL COVERED PATIO | 253 |
| FRONT PORCH | 234 |
| TOTAL ELEV. FOOTPRINT | 2811 |

| REV # | DATE / DESCRIPTION |
|-------|-----------------------------|
| 1 | 04/30/2021 PCR REVISIONS |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
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| 10 | |

| REV # | DATE / DESCRIPTION |
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| 9 | |
| 10 | |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
 NRC PLAN NUMBER
2685.300
 LAWSON PLAN ID

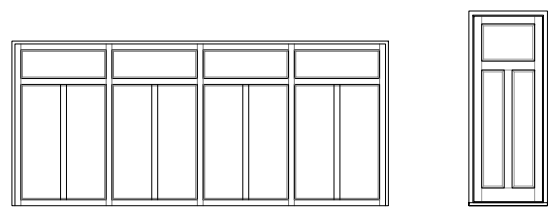
SHEET
A3-LC201
2FS.1

| ATTIC VENT SCHEDULE | | | |
|--|--|------------------|------------------|
| HR201 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2807 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1347 IN ² | | |
| LOW - REQUIRED (*) | 674 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 700 IN ² 25 EAWE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
| HIGH - REQUIRED (*) | 674 IN ² | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 732 IN ² 12 POTS | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 684 IN ² 38 LF | | |

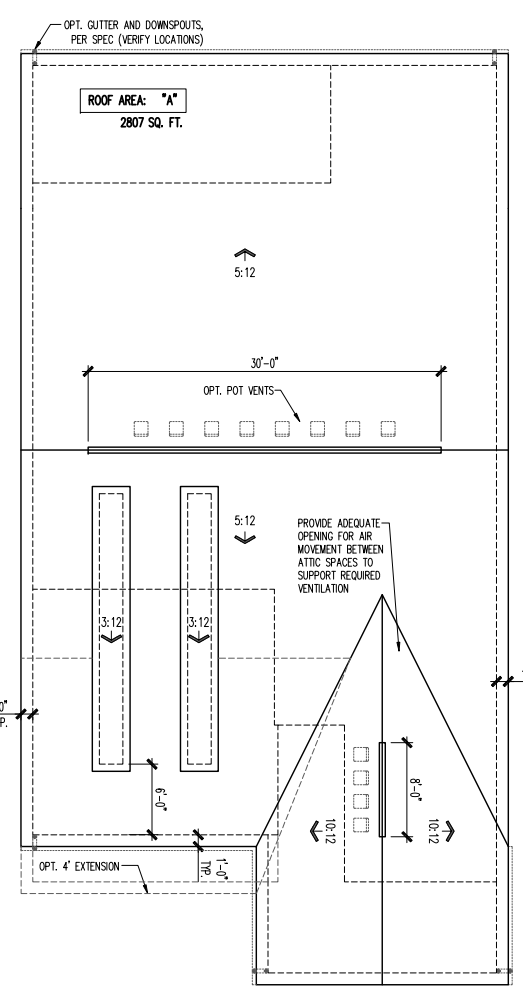
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAWE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

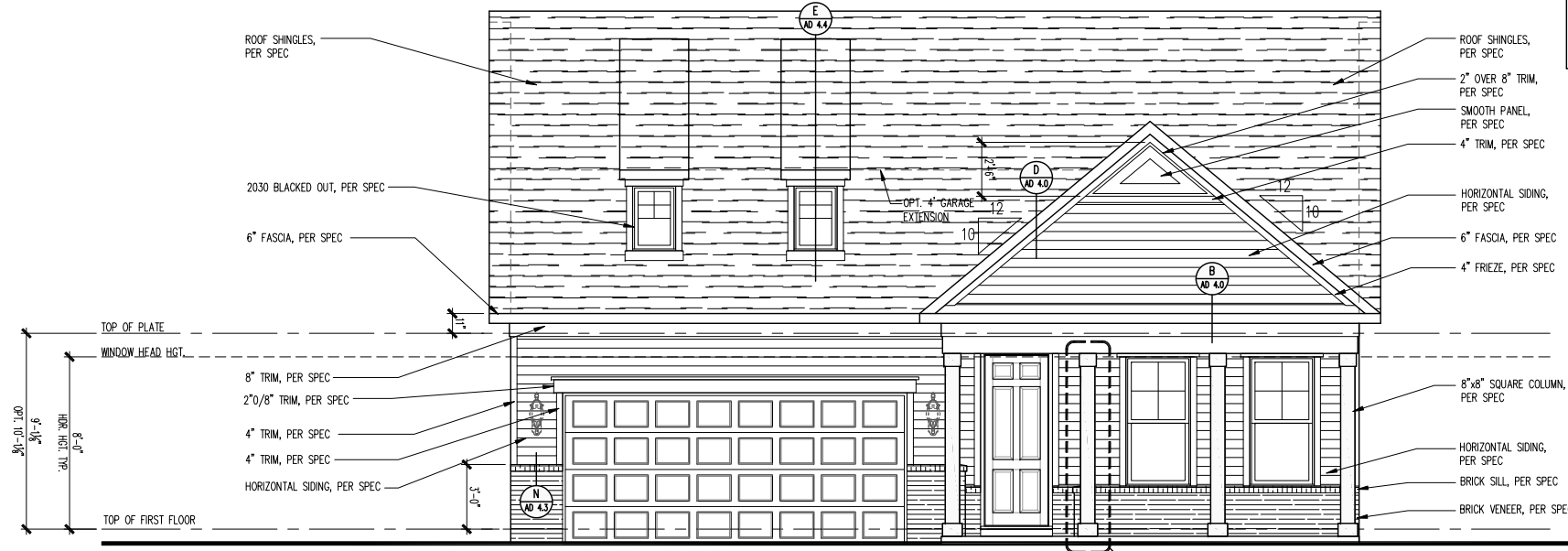
*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



UPGRADED DOOR OPTION
 SCALE: 1/4" = 1'-0"



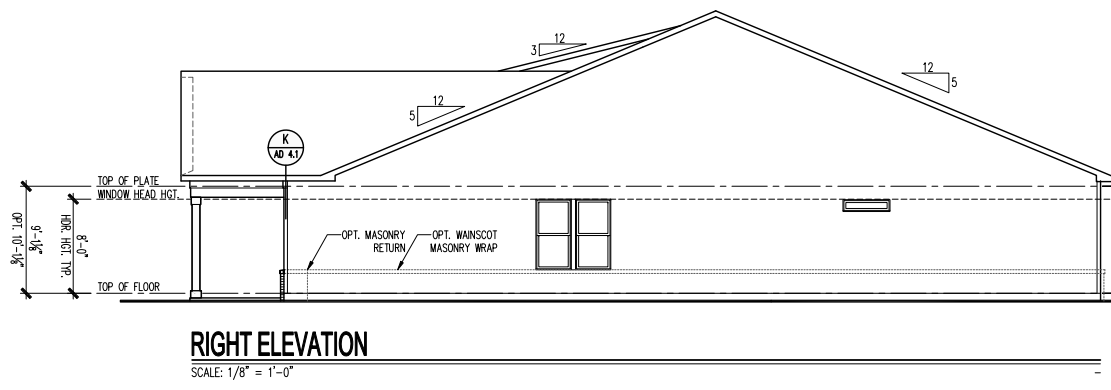
ROOF ELEVATION
 SCALE: 1/8" = 1'-0"



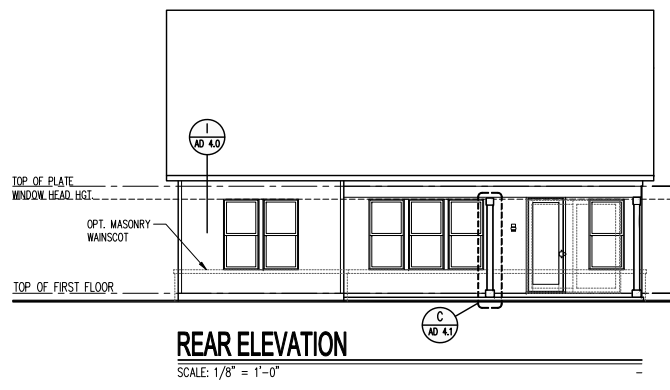
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



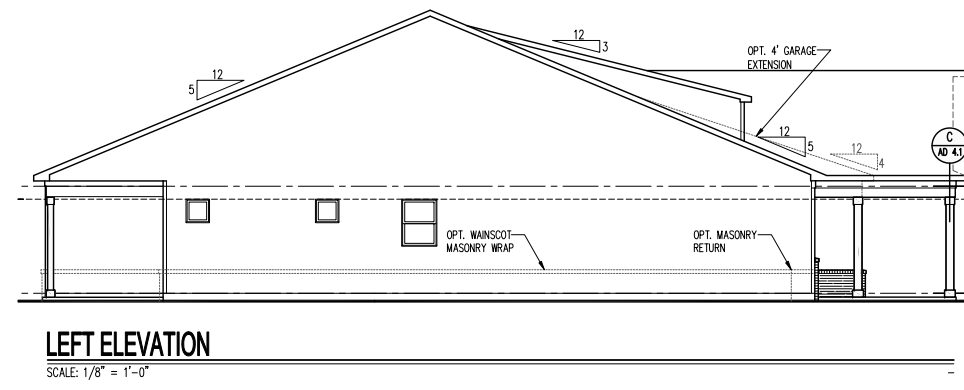
SIDE AND REAR WINDOWS PER COMMUNITY SPECS
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 04/30/2021 |
| 2 | PCR REVISIONS |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
 NRC PLAN NUMBER
2685.300
 LAWSON PLAN ID

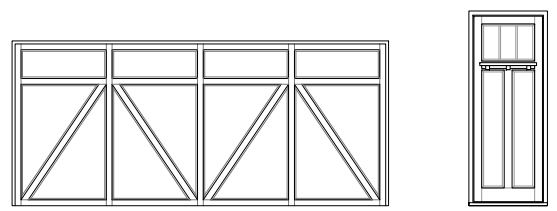
SHEET
A3-NC201
2FS.1

| ATTIC VENT SCHEDULE | | | |
|--|--|------------------|------------------|
| CR201 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2796 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1342 IN ² | | |
| LOW - REQUIRED (*) | 671 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 672 IN ² 24 EAVE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
| HIGH - REQUIRED (*) | 671 IN ² | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 671 IN ² 11 POTS | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 648 IN ² 38 LF | | |

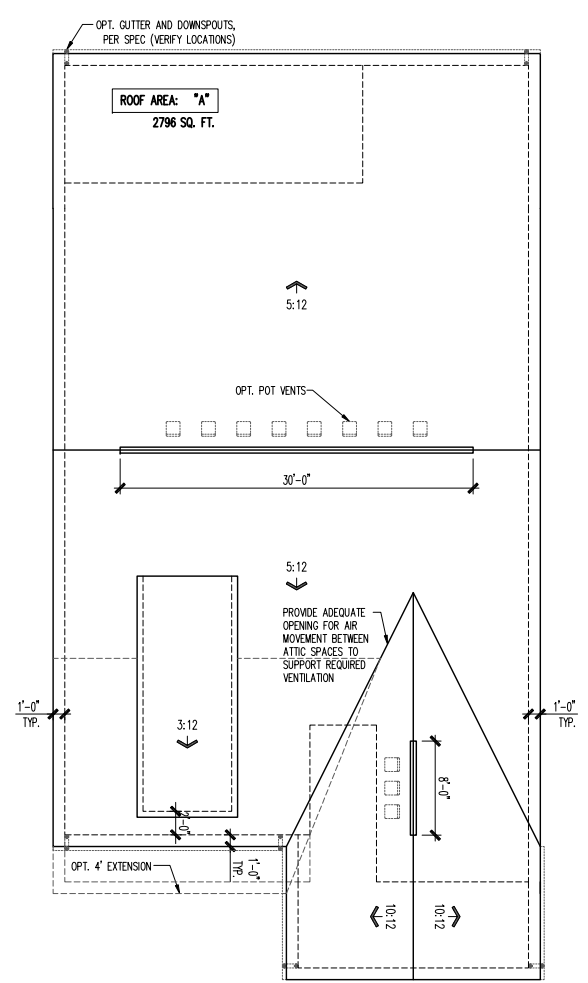
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

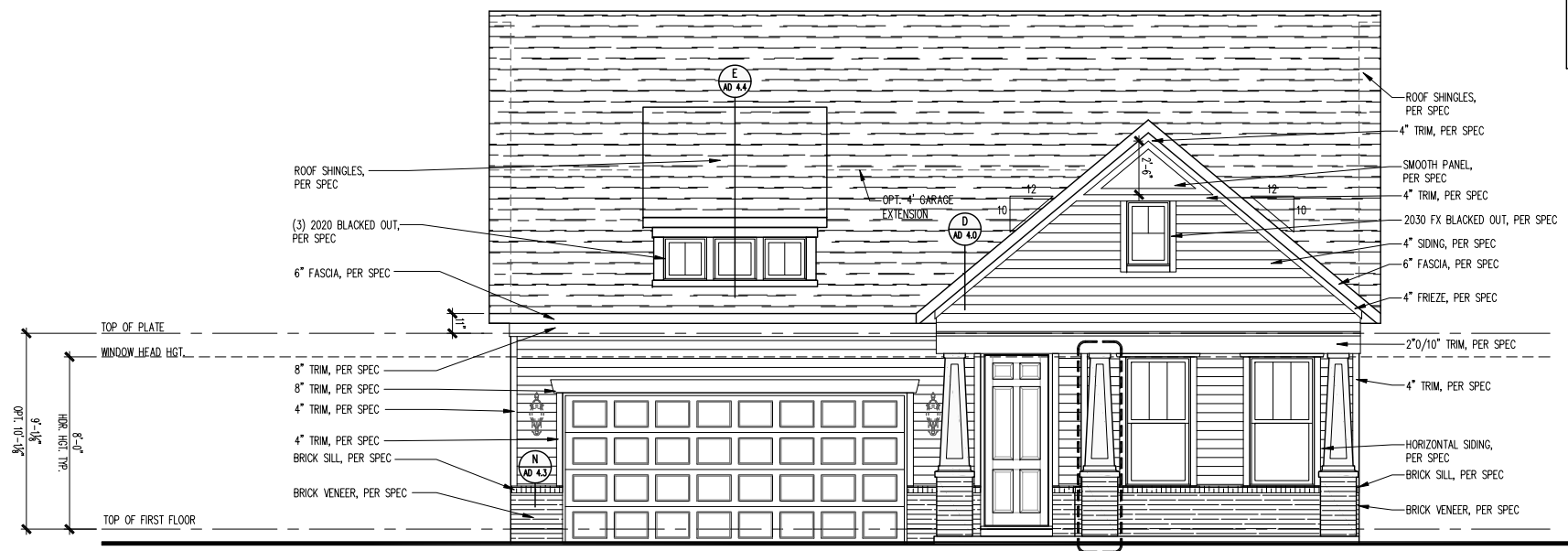
*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



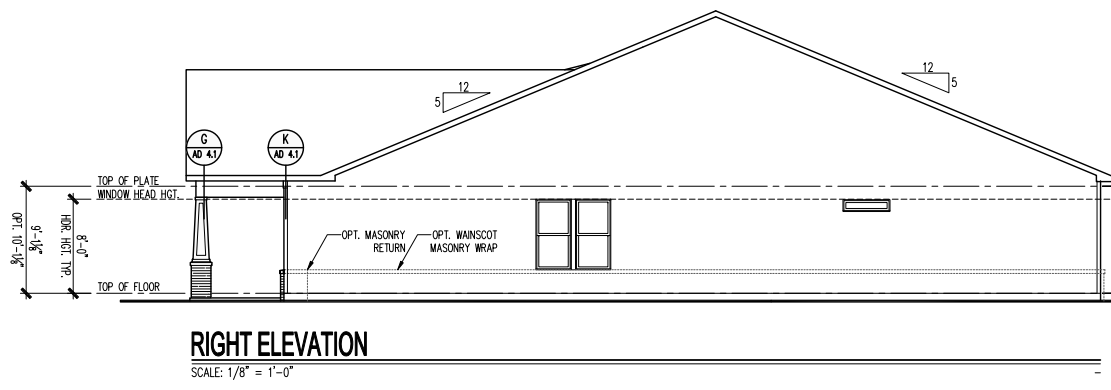
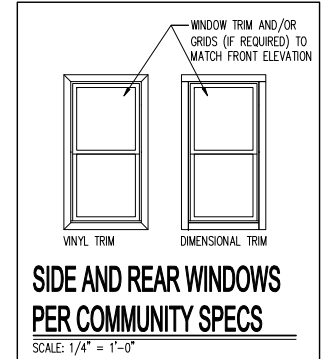
UPGRADED DOOR OPTION
 SCALE: 1/4" = 1'-0"



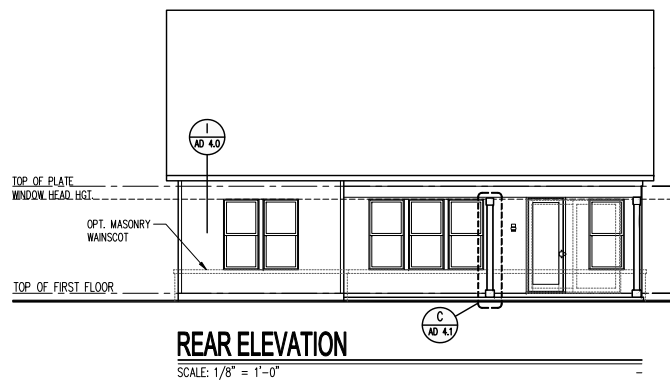
ROOF ELEVATION
 SCALE: 1/8" = 1'-0"



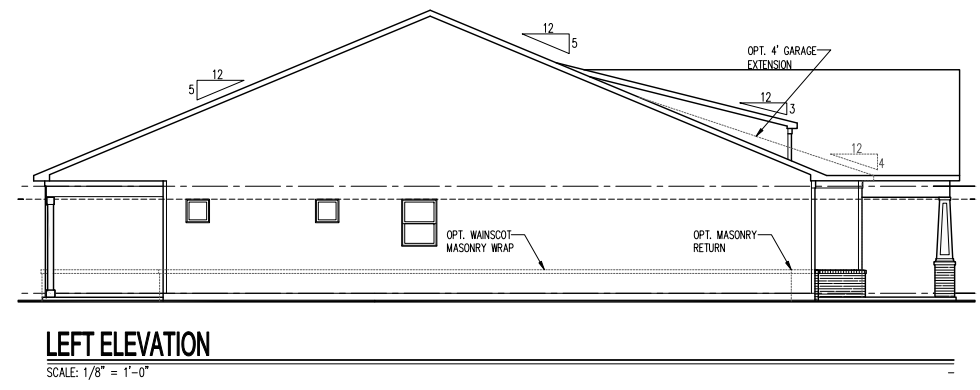
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 04/30/2021 |
| 2 | PCR REVISIONS |
| 3 | |
| 4 | |
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GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
 NRC PLAN NUMBER
2685.300
 LAWSON PLAN ID

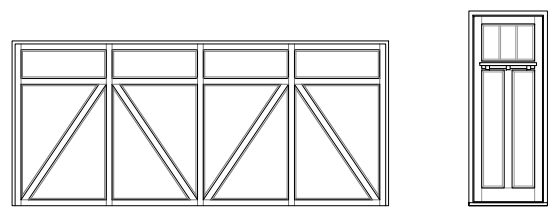
SHEET
A3-NC202
2FS.1

| ATTIC VENT SCHEDULE | | | |
|--|---------------------------------------|---------------|---------------|
| CR201 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2796 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1342 IN ² | | |
| LOW - REQUIRED (*) | 671 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 672 IN ² 24 EAVE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
| HIGH - REQUIRED (*) | 671 IN ² | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 671 IN ² 11 POTS | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 648 IN ² 38 LF | | |

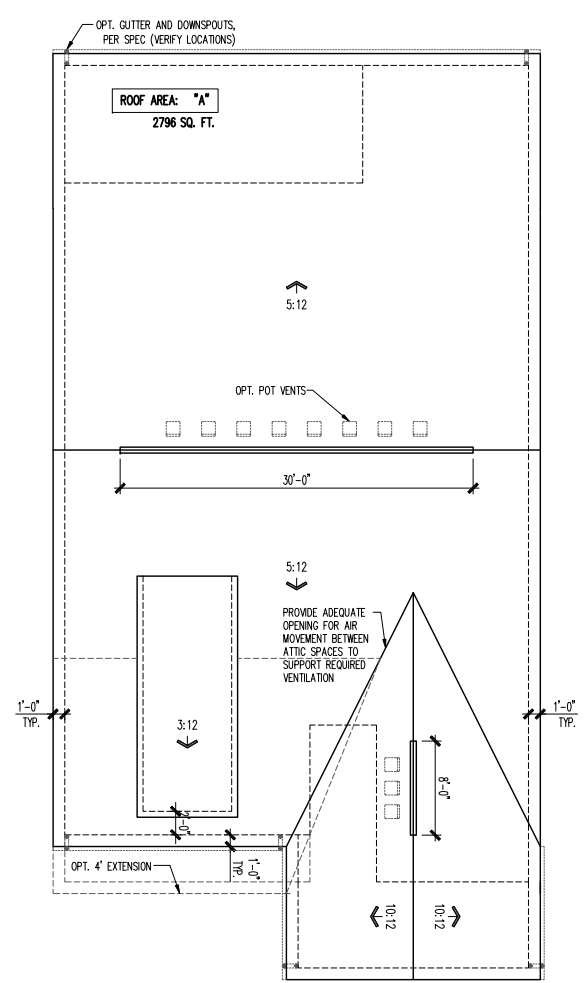
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

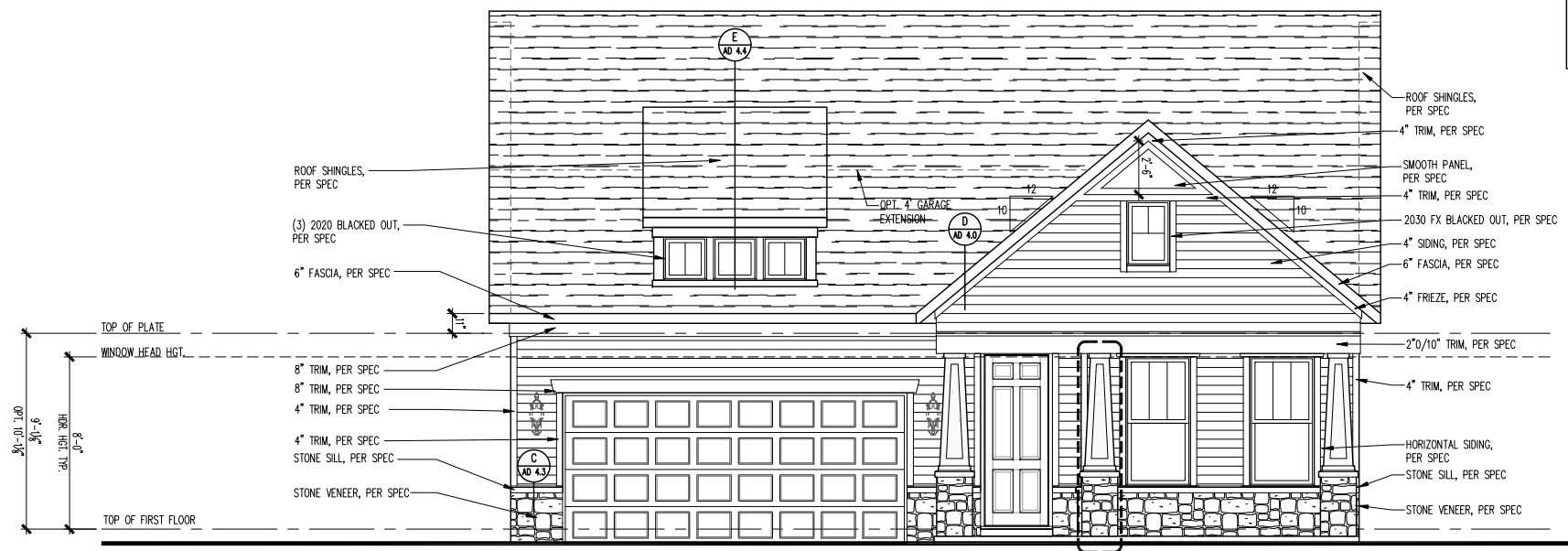
*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



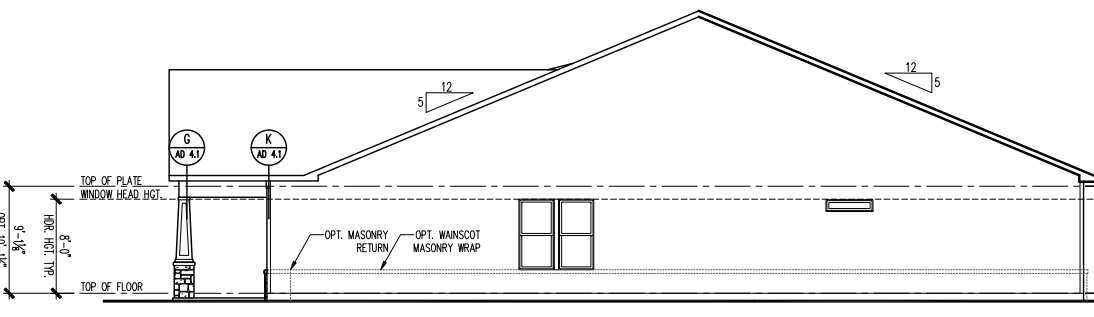
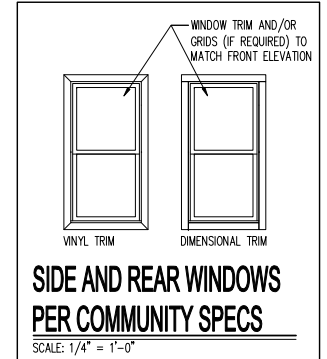
UPGRADED DOOR OPTION
 SCALE: 1/4" = 1'-0"



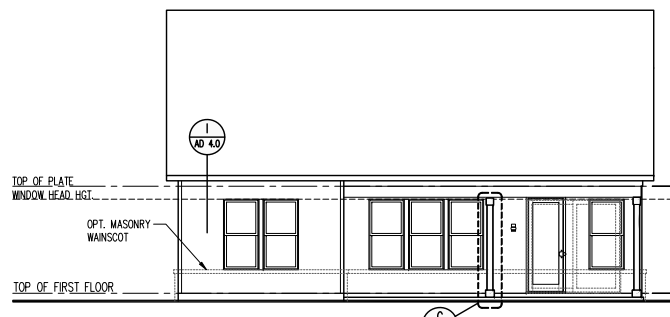
ROOF ELEVATION
 SCALE: 1/8" = 1'-0"



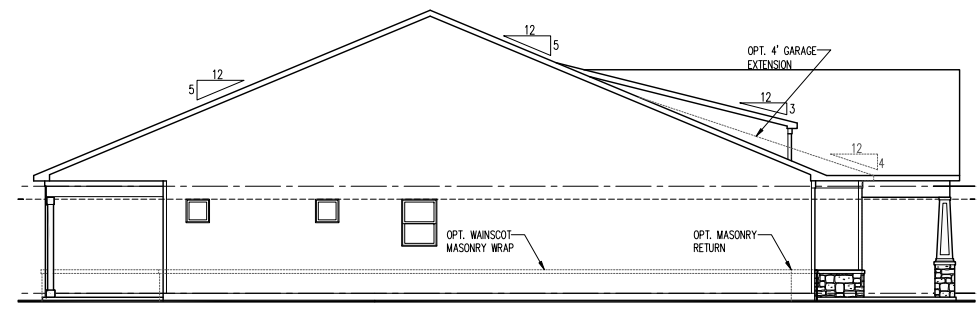
FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



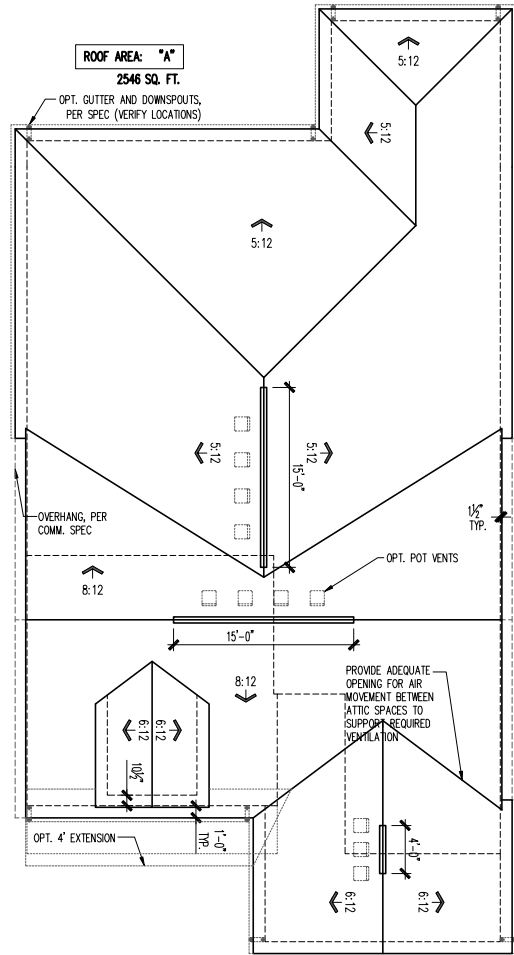
RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



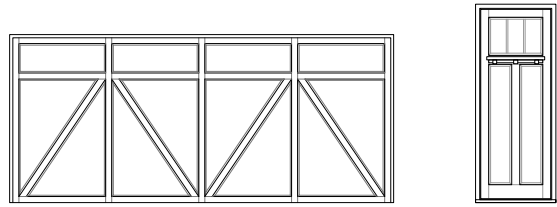
REAR ELEVATION
 SCALE: 1/8" = 1'-0"



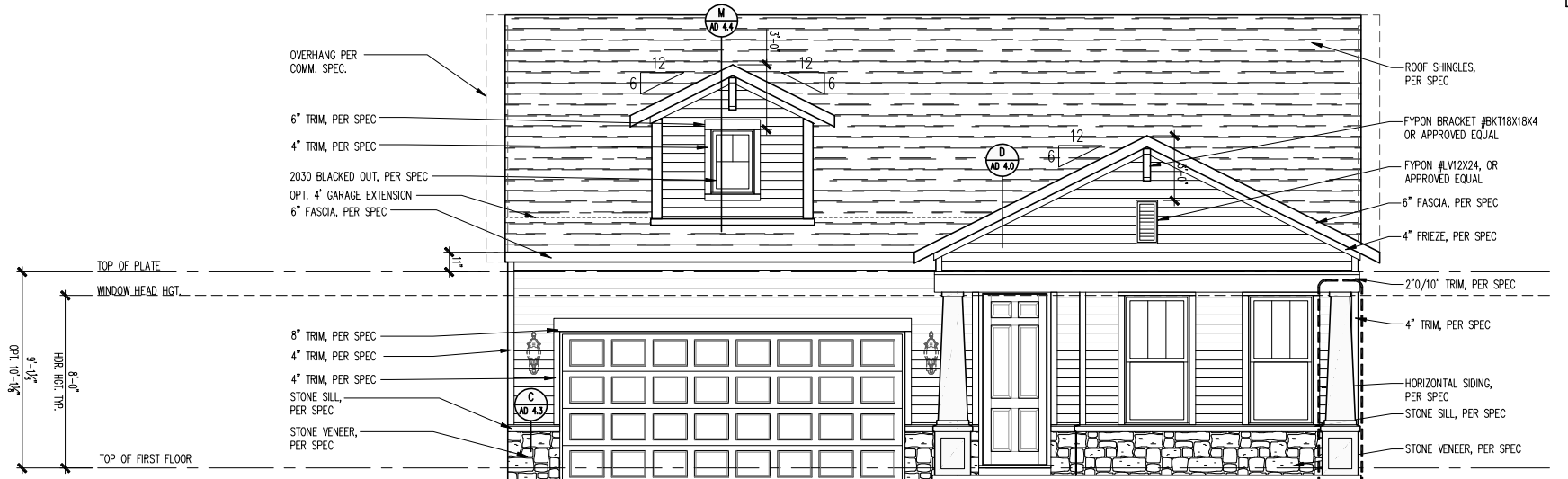
LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



ROOF ELEVATION
SCALE: 1/8" = 1'-0"



UPGRADED DOOR OPTION
SCALE: 1/4" = 1'-0"



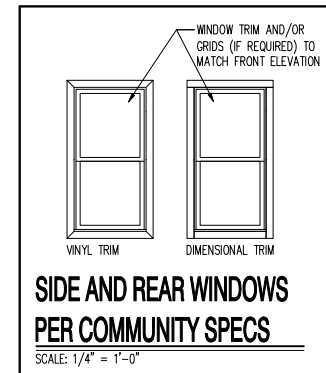
FRONT ELEVATION - CR204
SCALE: 1/4" = 1'-0"

| ATTIC VENT SCHEDULE | | | | |
|--|---------------------------------------|---------------|---------------|--|
| CR204 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' | |
| ATTIC AREA (SF) | 2546 | | | |
| TOTAL NET FREE VENTED AREA REQ. | 1222 IN ² | | | |
| LOW - REQUIRED (*) | 611 IN ² | | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 672 IN ² 24 EAVE VENTS | | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | | |
| HIGH - REQUIRED (*) | 611 IN ² | | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 671 IN ² 11 POTS | | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 612 IN ² 34 LF | | | |

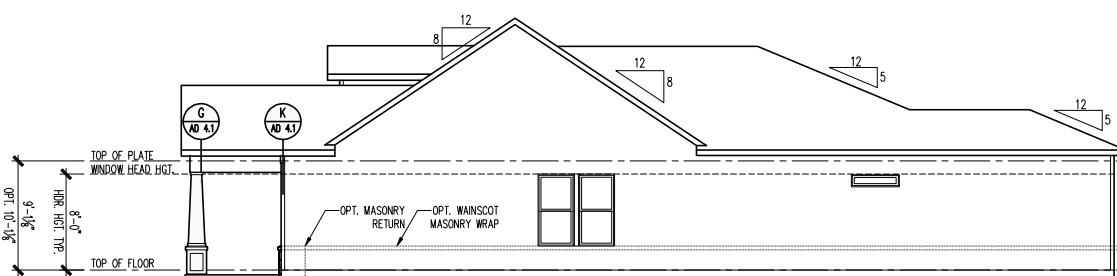
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) AREN'T PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

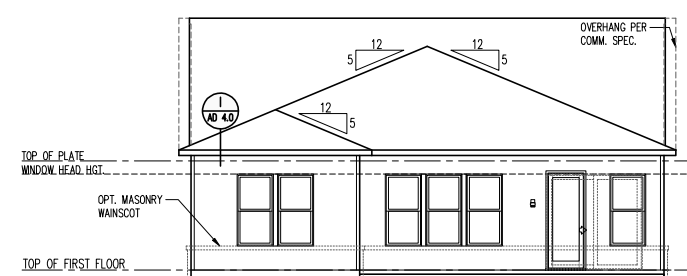
*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



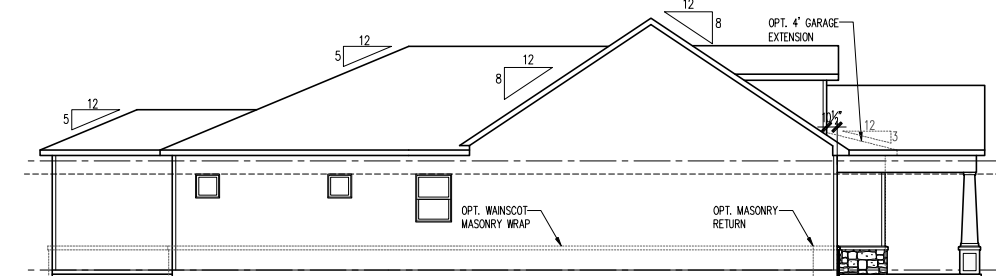
SIDE AND REAR WINDOWS PER COMMUNITY SPECS
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34" SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

North Area
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173



CR204
2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule

PRODUCTION MANAGER
Rick Storkey
INITIAL RELEASE DATE:
01/16/2023
CURRENT RELEASE DATE:
01/16/2023

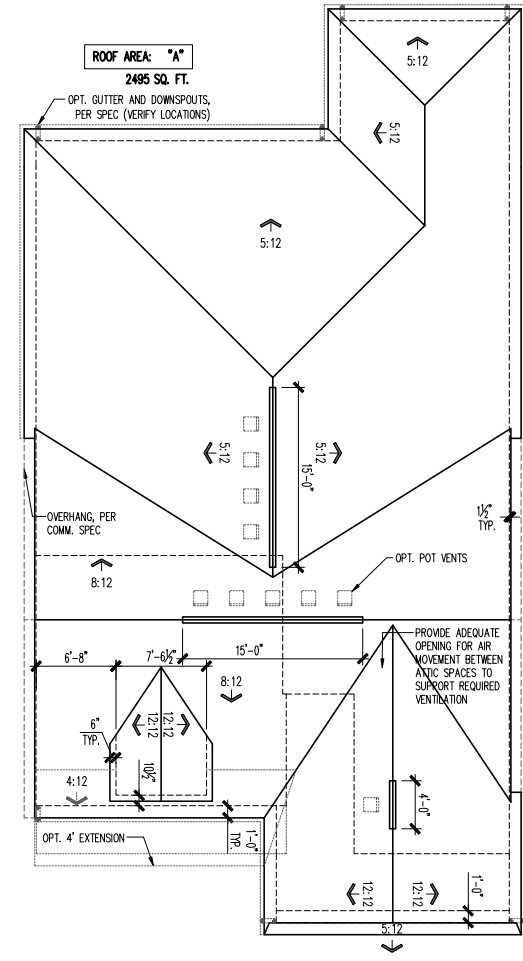
| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 01/16/2023 |
| 2 | PLAN REFRESH |
| 3 | 06/30/2023 |
| 4 | PCR UPDATES |
| 5 | |
| 6 | |
| 7 | |
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GARAGE HANDING
GARAGE LEFT

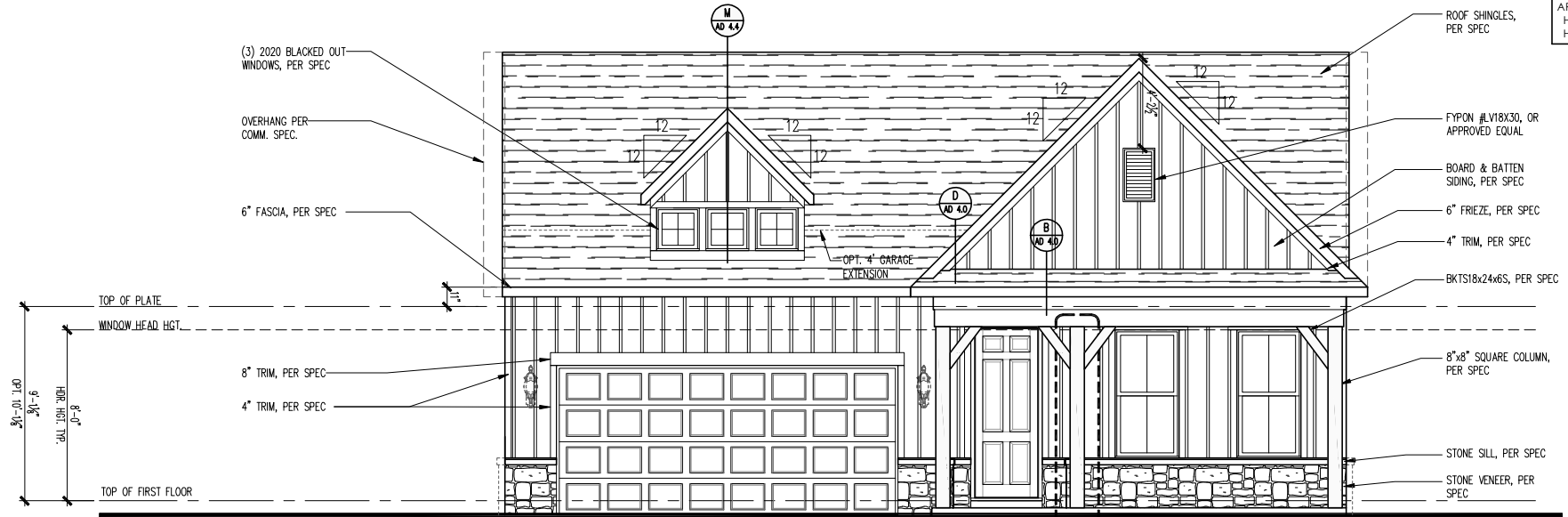
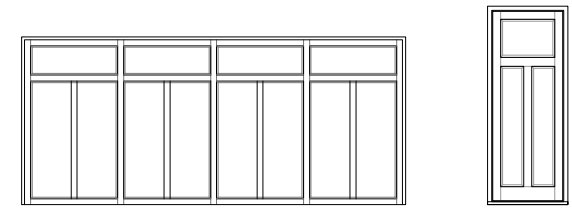
PLAN NAME
PALMARY
NPC PLAN NUMBER
2685.301
LAWSON PLAN ID
51832

SHEET
A3-CR204
2FS.1

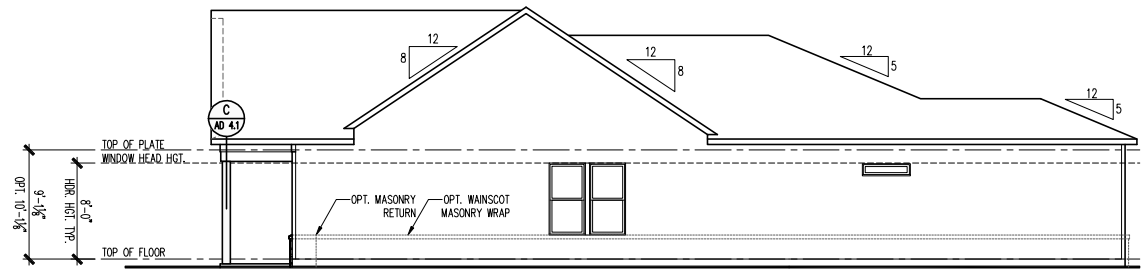
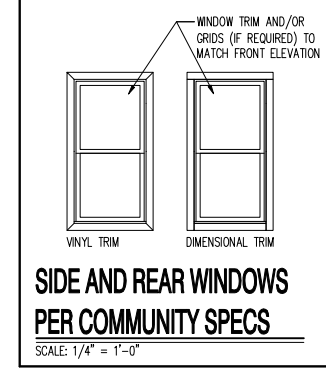
PLOTTED: August 28, 2023 / Brandon Hogan / A3-FH203 2FS.12.DWG



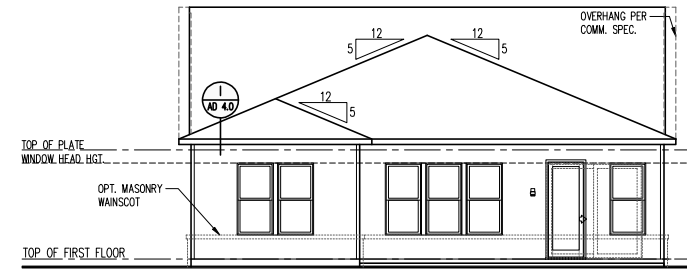
ROOF ELEVATION
SCALE: 1/8" = 1'-0"



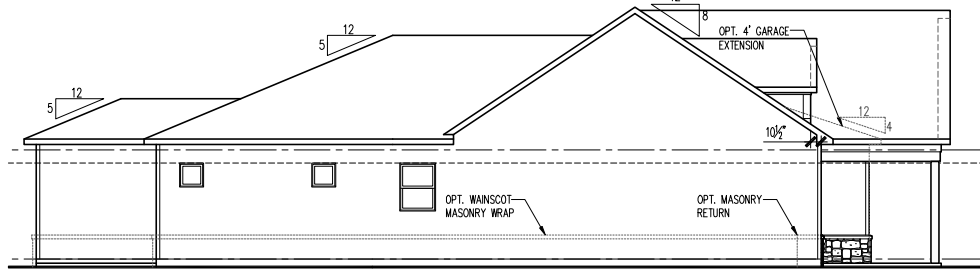
FRONT ELEVATION - FH203
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

| ATTIC VENT SCHEDULE | | | |
|--|---------------------------------------|---------------|---------------|
| FH203 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2495 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1198 IN ² | | |
| LOW - REQUIRED (**) | 599 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 700 IN ² 25 EAVE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
| HIGH - REQUIRED (**) | 599 IN ² | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 610 IN ² 10 POTS | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 612 IN ² 34 LF | | |

* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) AREN'T PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

North Area
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173



Farmhouse 203 w/ Masonry Wainscot Option
2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule

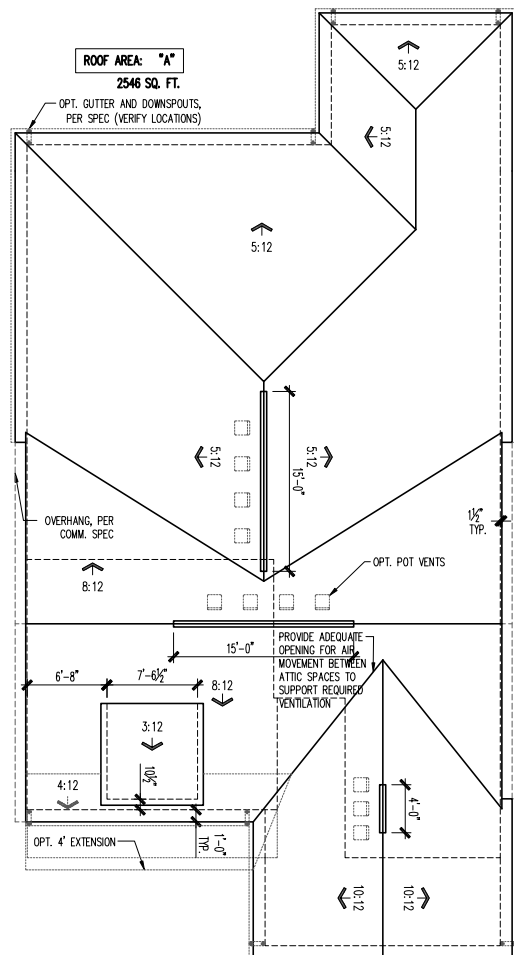
PRODUCTION MANAGER
Rick Storkey
INITIAL RELEASE DATE:
01/16/2023
CURRENT RELEASE DATE:
01/16/2023

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 01/16/2023 |
| 2 | PLAN REFRESH |
| 3 | 06/30/2023 |
| 4 | PCR UPDATES |
| 5 | |
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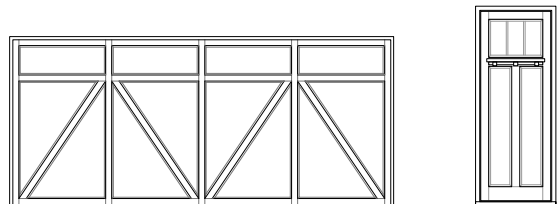
GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARY
NPC PLAN NUMBER
2685.301
LAWSON PLAN ID
51832

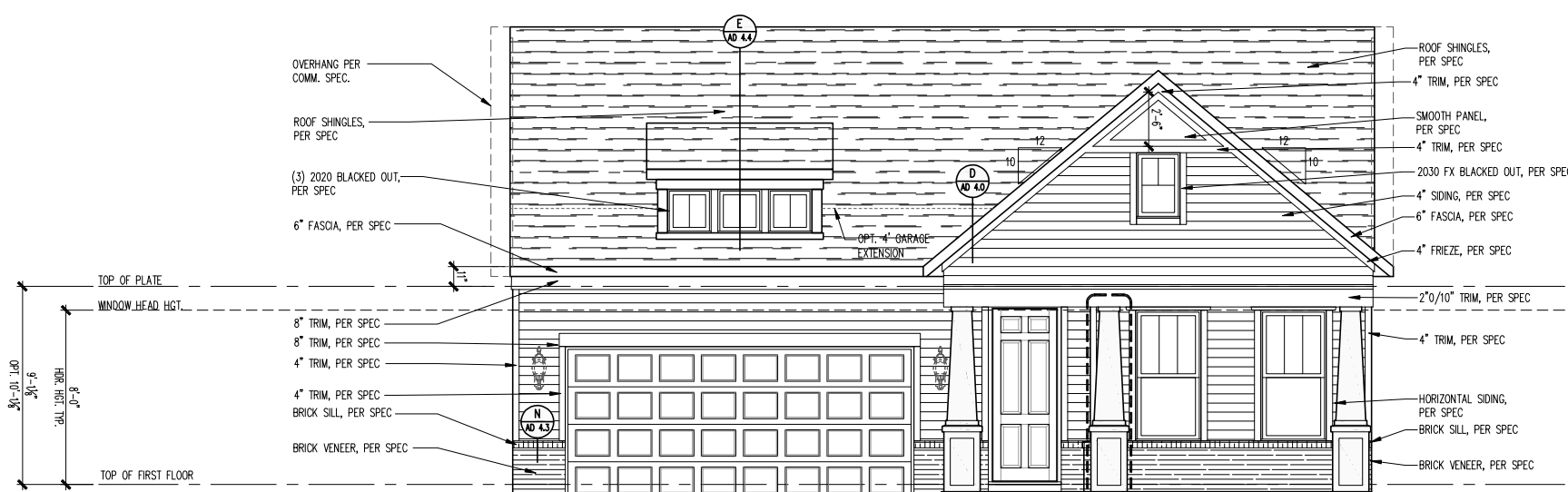
SHEET
A3-FH203
2FS.12



ROOF ELEVATION
SCALE: 1/8" = 1'-0"



UPGRADED DOOR OPTION
SCALE: 1/4" = 1'-0"



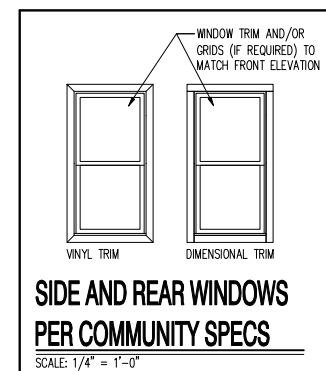
FRONT ELEVATION - NC207
SCALE: 1/4" = 1'-0"

| ATTIC VENT SCHEDULE | | | |
|--|---------------------------------------|---------------|---------------|
| NC201 2-CAR FRONT ENTRY | ROOF AREA 'A' | ROOF AREA 'B' | ROOF AREA 'C' |
| ATTIC AREA (SF) | 2546 | | |
| TOTAL NET FREE VENTED AREA REQ. | 1222 IN ² | | |
| LOW - REQUIRED (**) | 611 IN ² | | |
| LOW - ACTUAL w/ EAVE VENTS (**) | 672 IN ² 24 EAVE VENTS | | |
| LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**) | 680 IN ² 68 LINEAR FEET | | |
| HIGH - REQUIRED (**) | 611 IN ² | | |
| HIGH - ACTUAL w/ POT VENTS (***) | 671 IN ² 11 POTS | | |
| HIGH - ACTUAL w/ CONT. RIDGE VENTS (***) | 612 IN ² 34 LF | | |

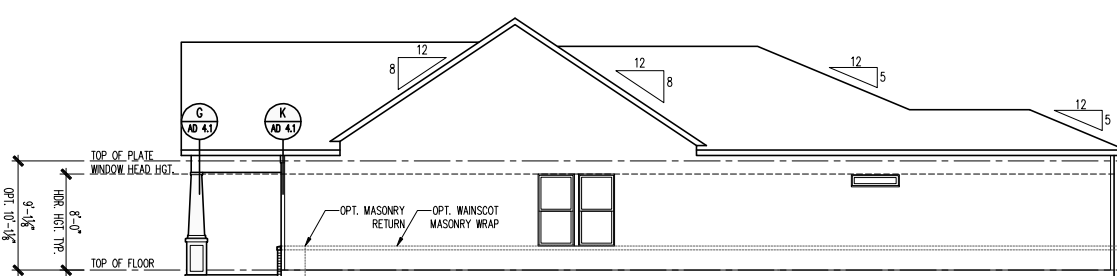
* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

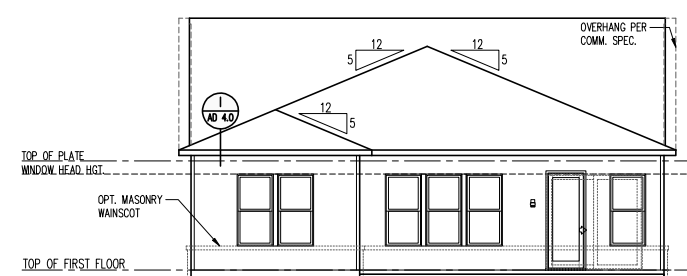
*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



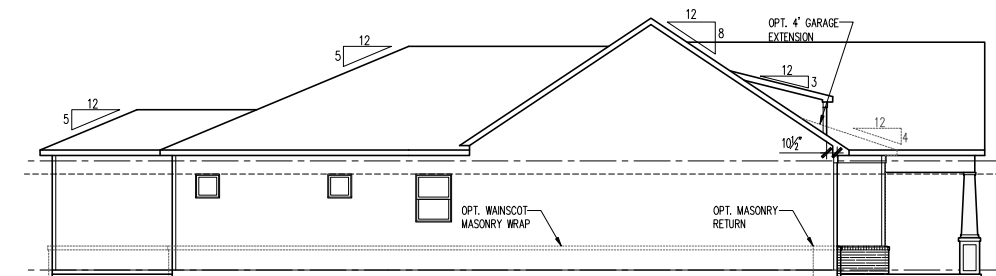
SIDE AND REAR WINDOWS PER COMMUNITY SPECS
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

North Area
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173



NC207
2 Car Front Entry
Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule

PRODUCTION MANAGER
Rick Storkey
INITIAL RELEASE DATE:
01/16/2023
CURRENT RELEASE DATE:
01/16/2023

| REV # | DATE / DESCRIPTION |
|-------|--------------------|
| 1 | 01/16/2023 |
| 2 | PLAN REFRESH |
| 3 | 06/30/2023 |
| 4 | PCR UPDATES |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |
| 11 | |
| 12 | |
| 13 | |
| 14 | |
| 15 | |
| 16 | |
| 17 | |
| 18 | |
| 19 | |
| 20 | |

GARAGE HANDING
GARAGE LEFT

PLAN NAME
PALMARRY
NPC PLAN NUMBER
2685.301
LAWSON PLAN ID
51832

SHEET
A3-NC207
2FS.1