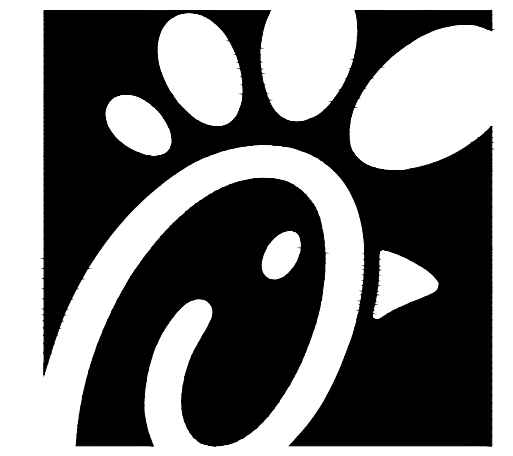


SITE PLANS FOR
CHICK-FIL-A PLAINFIELD
 6102 CAMBRIDGE WAY
 TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA
 FSR#05219



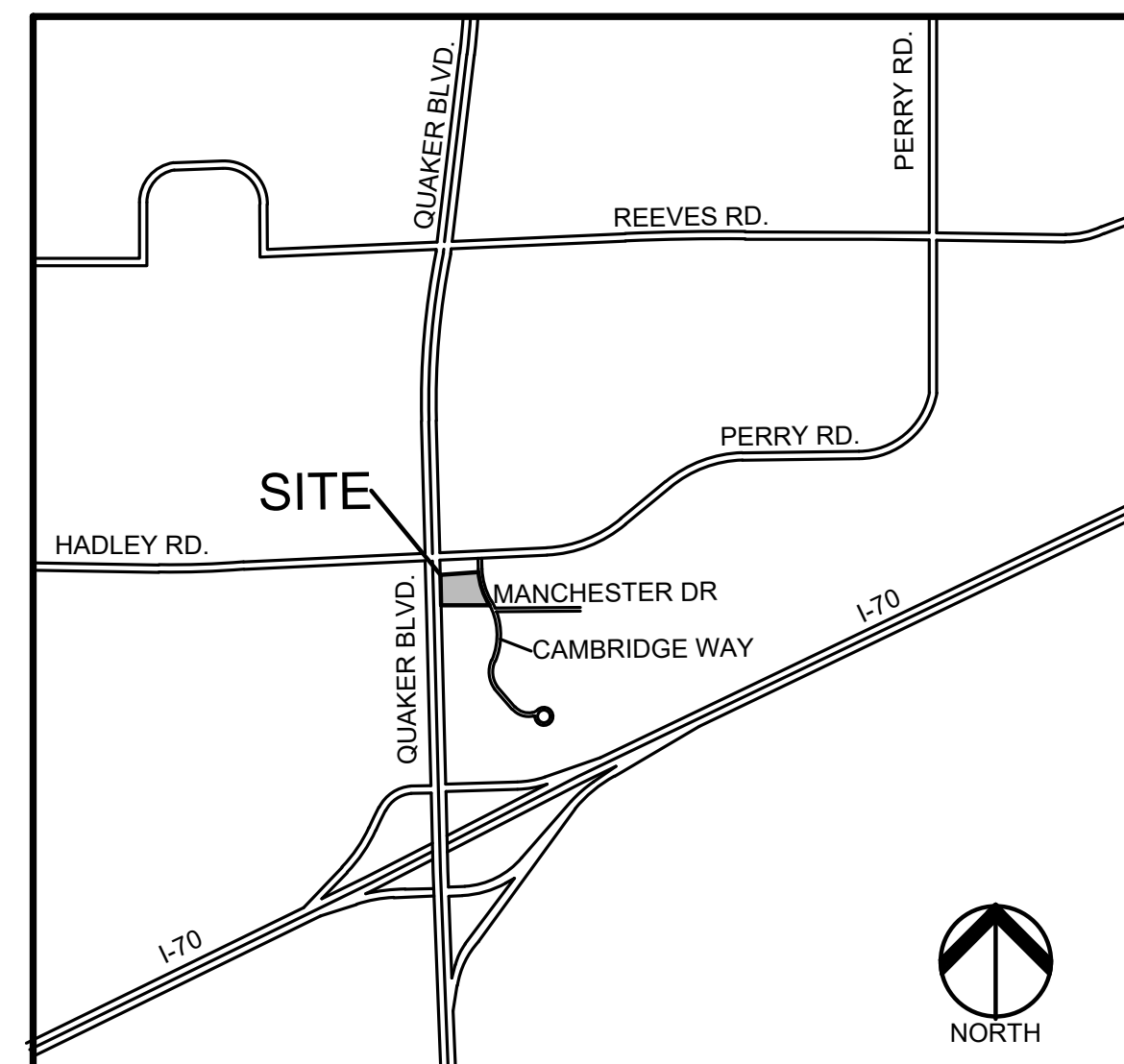
Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

LAND DESCRIPTION
 LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 86 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

BENCHMARK INFORMATION
 ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 28 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

NARRATIVE:
 PROPOSED CONSTRUCTION OF A RESTAURANT WITH A DRIVE-THRU WINDOW AND OUTDOOR SEATING.
 REFER TO SITE DATA TABLE ON C-200 FOR MORE DETAIL RELATED TO PARKING, STACKING, ZONING, ETC.



LOCATION MAP
NO SCALE

INDEX OF DRAWINGS	
NUMBER	TITLE
C-000	COVER SHEET
C-100	TOPOGRAPHIC SURVEY
C-101	PRELIMINARY DEMOLITION PLAN
C-200	PRELIMINARY SITE PLAN
C-201	WB-62 TRUCK TURNING PLAN
C-202	FIRE TRUCK TURNING PLAN
C-203	GARBAGE TRUCK TURNING PLAN
C-300	PRELIMINARY GRADING PLAN
C-301	PRELIMINARY STORM SEWER PLAN
C-302	PRELIMINARY DRAINAGE MAP
PS-100	PRELIMINARY PLUMBING SITE PLAN
C-400	CFA STANDARD DETAILS (1)
C-401	CFA STANDARD DETAILS (2)
C-402	CFA STANDARD DETAILS (3)
C-403	CFA STANDARD DETAILS (4)
C-500	CONSTRUCTION DETAILS
3 OF 27	TOWN OF PLAINFIELD PAVEMENT, CURB & SIDEWALK DETAILS AND NOTES
LANDSCAPE PLANS	
L-100	PRELIMINARY LANDSCAPE PLAN
L-101	LANDSCAPE DETAILS

DESIGN TEAM

<p>APPLICANT</p> <p>CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GEORGIA, 30349-2998 CONTACT: JUSTIN LURK PHONE: 573.268.0957 EMAIL: JUSTIN.LURK@CFACORP.COM</p>	<p>CIVIL ENGINEER</p> <p>PEA GROUP 2430 ROCHESTER COURT, STE. 110 TROY, MI 48063-1872 CONTACT: LESLIE ACCARDO PHONE: 248.509.7258 EMAIL: LACCARDO@PEAGROUP.COM REGISTERED ENGINEER: DAVID HUNTER LICENSE: 10809333</p>	<p>LANDSCAPE ARCHITECT</p> <p>PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM</p>
<p>OWNER/ DEVELOPER</p> <p>ALRIG USA 30200 TELEGRAPH RD, SUITE 205 BINGHAM FARMS, MI 48025 CONTACT: JORDAN CHAPMAN PHONE: 248.646.9999 EMAIL: JORDAN@ALRIGUSA.COM</p>	<p>ARCHITECT</p> <p>CHIPMAN DESIGN ARCHITECTURE 1350 EAST TOUHY AVE., FIRST FLOOR EAST DES PLAINES, IL 60018 CONTACT: CRYSTAL BARRAZA PHONE: 847.298.6900 EMAIL: CBARRAZA@CHIPMAN-DESIGN.COM</p>	

UTILITY CONTACTS

<p>ELECTRICAL SERVICE</p> <p>DUKE ENERGY 100 MILLCREEK RD, NOBLESVILLE, IN 46060 CONTACT: RUEBEN DILLON PHONE: 317.745.1006 EMAIL: RUEBEN.DILLION@DUKE-ENERGY.COM</p>	<p>SANITARY SEWER SERVICE</p> <p>BUTLER, FAIRMAN & SEUFERT, INC. 8450 WESTFIELD BLVD, SUITE 300 INDIANAPOLIS, IN 46240 CONTACT: KIM HILL PHONE: 317.363.1968 EMAIL: KHILL@BFSSENGR.COM</p>	<p>WATER SERVICE</p> <p>BUTLER, FAIRMAN & SEUFERT, INC. 8450 WESTFIELD BLVD, SUITE 300 INDIANAPOLIS, IN 46240 CONTACT: KIM HILL PHONE: 317.363.1968 EMAIL: KHILL@BFSSENGR.COM</p>
<p>GAS SERVICE</p> <p>VECTREN 1630 NORTH MERIDIAN INDIANAPOLIS, IN 46202 CONTACT: GERRY JONES PHONE: 317.718.3604 EMAIL: G.JONES@VECTREN.COM</p>	<p>STORM SEWER SERVICE</p> <p>BUTLER, FAIRMAN & SEUFERT, INC. 8450 WESTFIELD BLVD, SUITE 300 INDIANAPOLIS, IN 46240 CONTACT: KIM HILL PHONE: 317.363.1968 EMAIL: KHILL@BFSSENGR.COM</p>	



REVISIONS	
DESCRIPTION	DATE
SITE PLAN APPROVAL	2/10/2023
SITE PLAN APPROVAL	03/28/2023
SITE PLAN APPROVAL	04/14/2023



t: 844.813.2949
 www.peagroup.com



CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
DRAWN BY	AJM

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SHEET
COVER SHEET

SHEET NUMBER

C-000

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

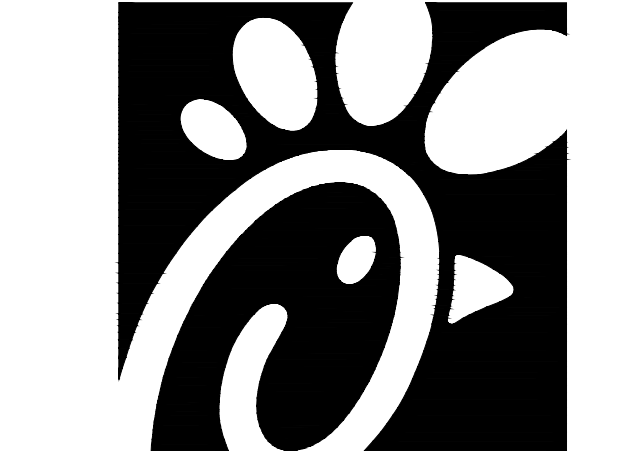
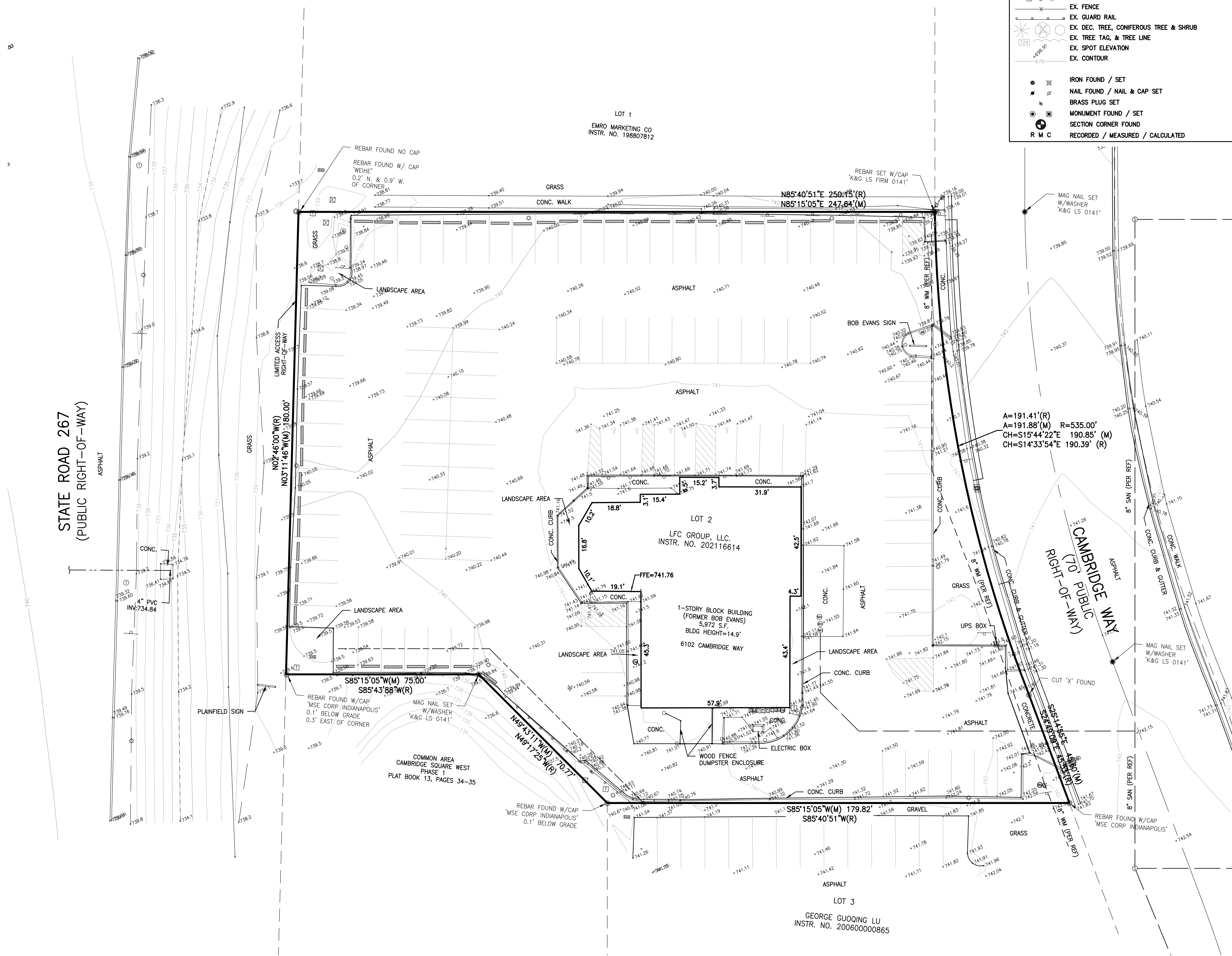
LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

LEGEND:

- OH-ELEC-W-C- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG, & TREE LINE
- EX. SPOT ELEVATION
- EX. CONTOUR

- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- RECORDED / MEASURED / CALCULATED

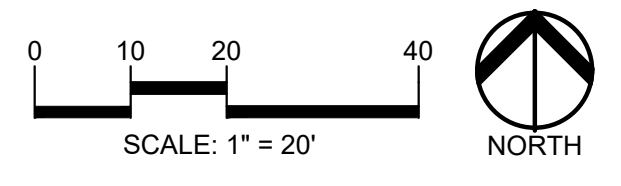


Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

PEA GROUP

t: 844.813.2949
 www.peagroup.com



CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
DRAWN BY	AJM

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SHEET TOPOGRAPHIC SURVEY

SHEET NUMBER **C-100**

File Path
 3/15/2023
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BENCHMARK INFORMATION

ORIGINATING BENCHMARK
L-61 (PID: KA0040)
1.2 MILES SOUTHEAST FROM PLAINFIELD

ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

GENERAL DEMOLITION NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
 - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
 - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
 - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
 - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
 - REFER TO LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.
 - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
 - ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
 - REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

KEY NOTES:

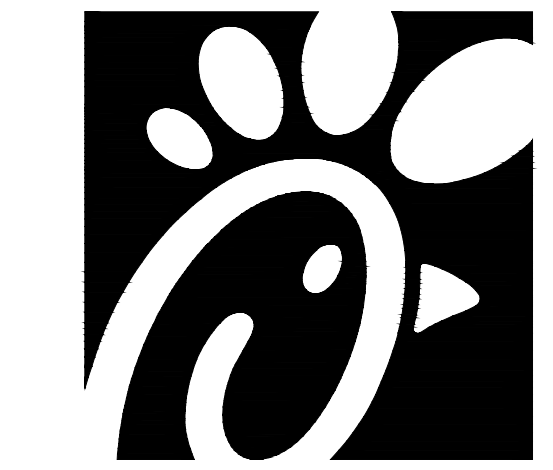
- (P1) PROTECT TREE (REFER TO LANDSCAPE PLANS FOR DETAILS)
- (P2) PROTECT UTILITY STRUCTURE
- (P3) PROTECT LIGHT POLE
- (P4) PROTECT UTILITY POLE
- (P5) PROTECT SIGN
- (P6) PROTECT MAILBOX
- (R1) REMOVE ASPHALT PAVEMENT
- (R2) REMOVE CONCRETE PAVEMENT/ SIDEWALK
- (R3) REMOVE TREE
- (R4) REMOVE PARKING BLOCKS
- (R5) REMOVE LIGHT POLE
- (R6) REMOVE CONCRETE CURB AND GUTTER
- (R7) REMOVE SIGN
- (R8) REMOVE UTILITY STRUCTURE
- (R9) REMOVE FIRE HYDRANT
- (R10) REMOVE UTILITY LINE
- (R11) REMOVE STRUCTURE (SEE BUILDING DEMOLITION NOTE)
- (R12) REMOVE LANDSCAPING
- (R13) REMOVE GUARD POST
- (R14) SAWCUT EXISTING PAVEMENT
- (R15) REMOVE TRANSFORMER
- (R16) REMOVE DUMPSTER ENCLOSURE
- (R17) REMOVE PYLON SIGN
- (R18) REMOVE BOLLARD

DEMOLITION LEGEND:

- ITEM TO BE PROTECTED: [Symbol]
- ITEM TO BE REMOVED: [Symbol]
- CURB REMOVAL: [Symbol]
- CONCRETE PAVEMENT AND SIDEWALK REMOVAL: [Symbol]
- AREA OR ITEMS TO BE REMOVED: [Symbol]
- UTILITY REMOVAL: [Symbol]
- ASPHALT REMOVAL: [Symbol]
- TREE REMOVAL: [Symbol]
- SAWCUT LINE: [Symbol]
- LANDSCAPE REMOVAL: [Symbol]

BUILDING DEMOLITION:

REMOVE EXISTING BUILDING AND ALL ASSOCIATED FOOTINGS, FOUNDATIONS, SLABS, UTILITY LEADS ETC. CONTRACTOR TO ENSURE THAT ALL UTILITIES ARE OUT OF SERVICE PRIOR TO START OF REMOVALS. COORDINATE ALL UTILITY REMOVALS WITH THE APPROPRIATE UTILITY COMPANY. BACKFILL ALL FOOTING/FOUNDATION EXCAVATIONS WITH IN.D.O.T GRANULAR MATERIAL COMPACTED TO 95% MAX DRY UNIT WEIGHT (ASTM D-1557).

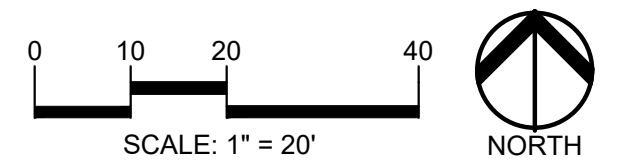


Chick-fil-A

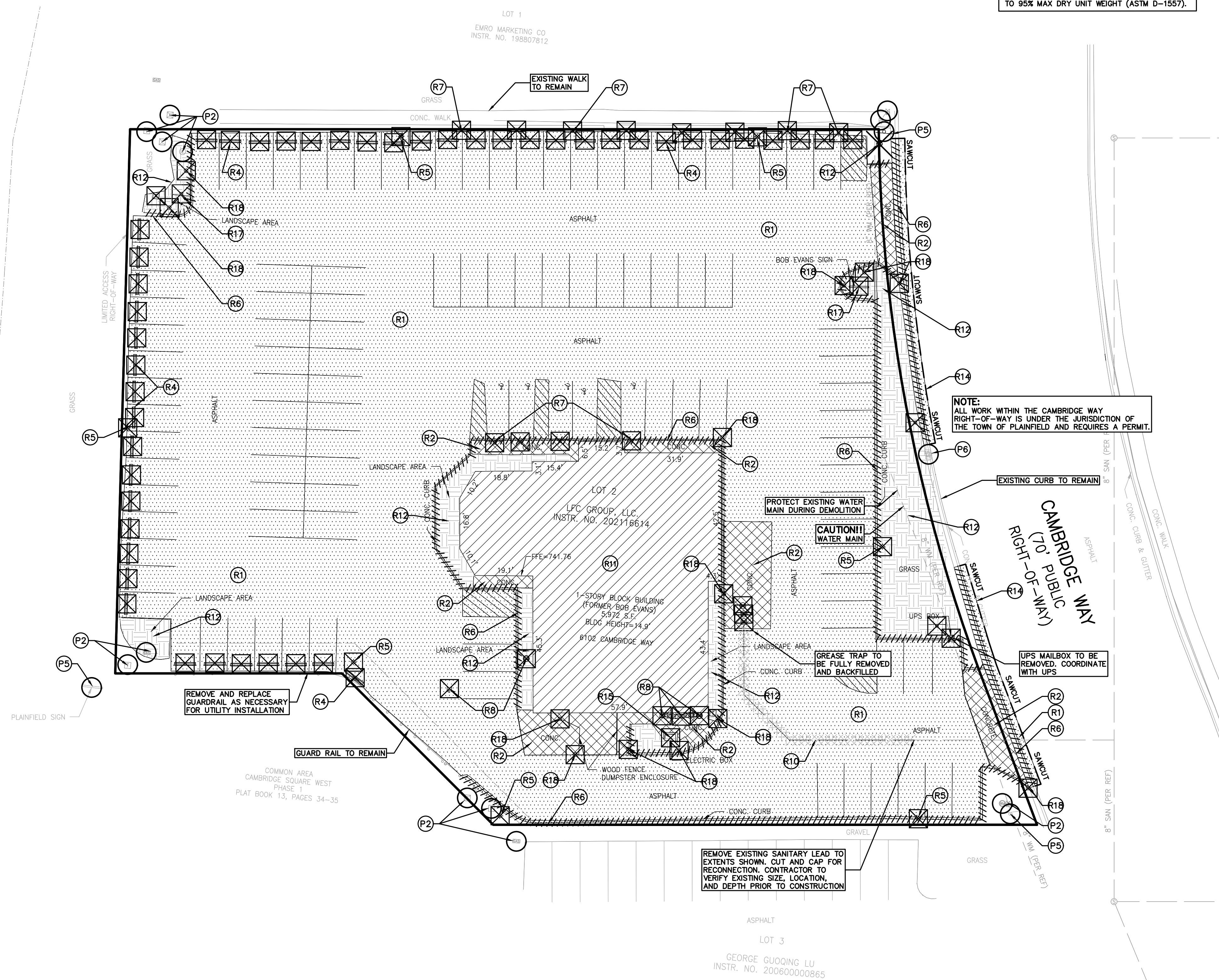
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



t: 844.813.2949
www.peagroup.com



STATE ROAD 267
(PUBLIC RIGHT-OF-WAY)



CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2022-1054
PRINTED FOR SPA
DATE APRIL 14, 2023
DRAWN BY AJM

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SHEET PRELIMINARY DEMOLITION PLAN

C-101

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
L-61 (PID: KA0040)
1.2 MILES SOUTHEAST FROM PLAINFIELD

ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1846 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

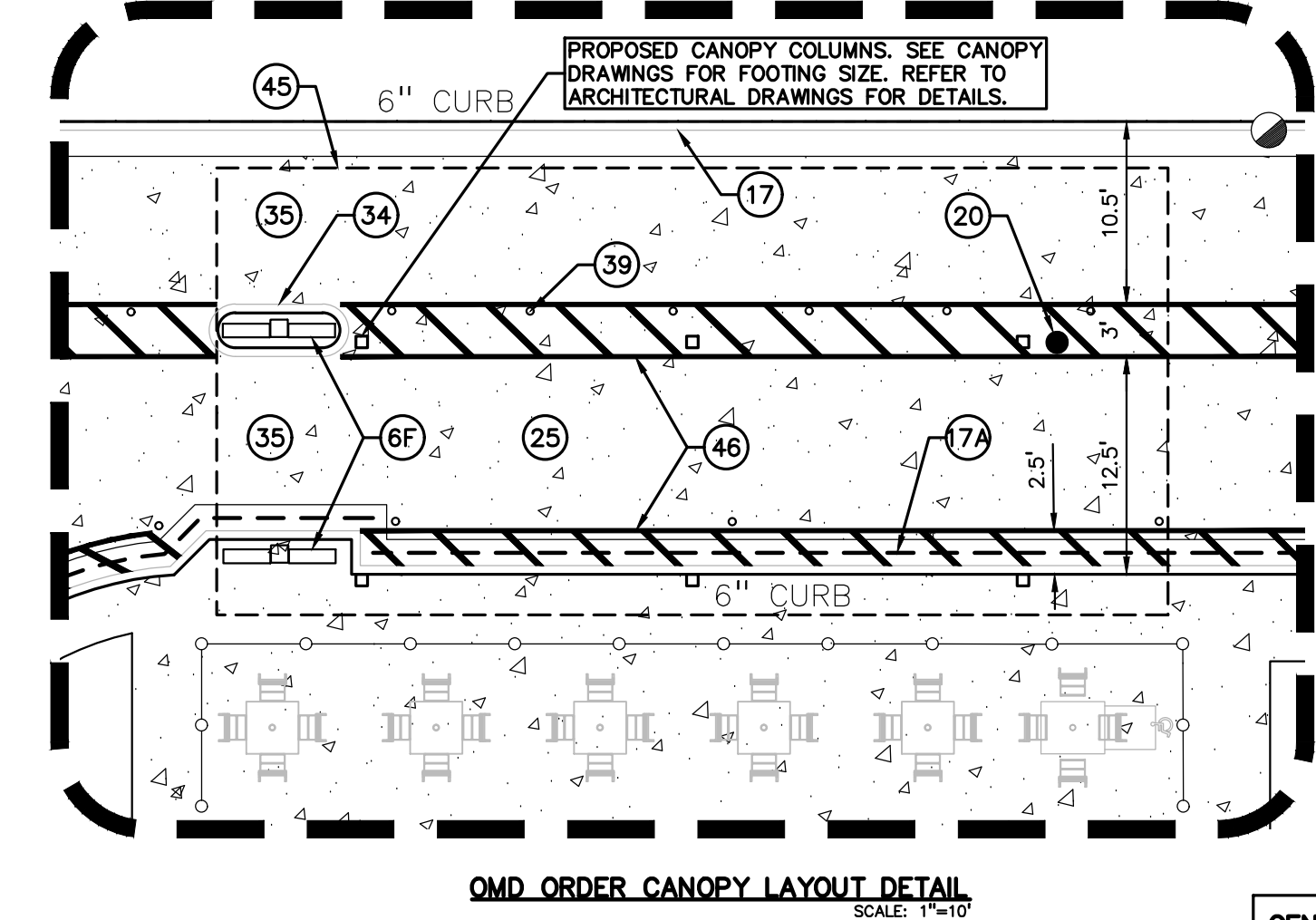
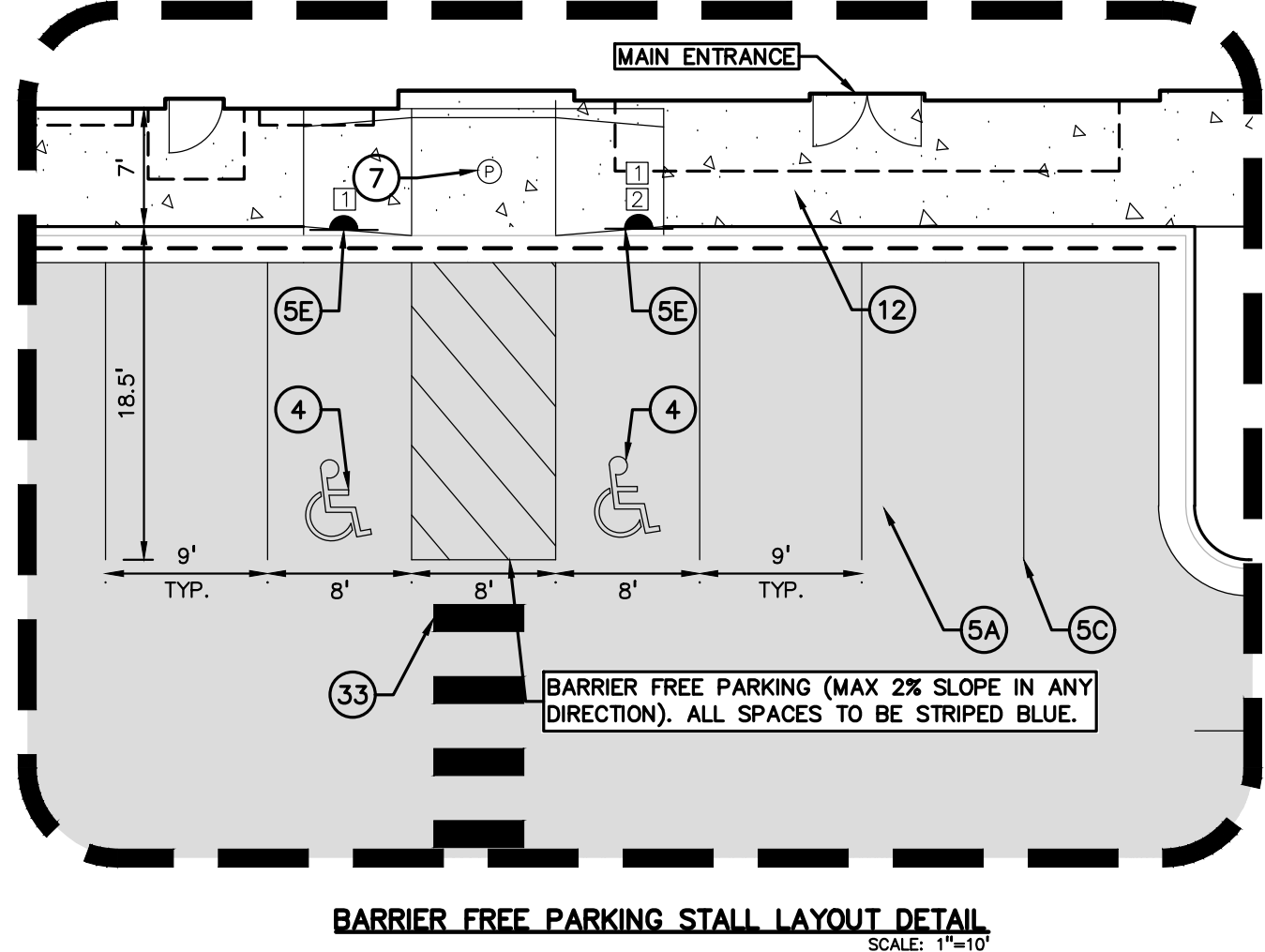
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- KEY NOTES:**
- 1 DIRECTIONAL ARROW (DETAIL #1, C-400 & DETAIL #6, C-402)
 - 2 DRIVE-THRU GRAPHICS (DETAIL #2, C-400)
 - 3 STOP LINE GRAPHICS (DETAIL #2, C-400)
 - 4 PAINTED BARRIER FREE PARKING SYMBOL
 - 5A STANDARD PARKING STALL (9'x18') PER CODE (DETAIL #3, C-400)
 - 5B STANDARD 60 DEGREE PARKING STALL (DETAIL #4, C-400)
 - 5C 4" SOLID WHITE STRIPING
 - 5D 4" SOLID YELLOW STRIPING
 - 5E BOLLARD MOUNTED SIGN (DETAIL #5, C-400)
 - 6 DIRECTIONAL SIGNAGE (DETAIL #7 & #8, C-400)
 - 7 ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION. (SEE SIGN LEGEND)
 - 8A CHICK-FIL-A Pylon SIGN, SEE SIGNAGE PACKAGE
 - 8B WALL MOUNTED "CHICK-FIL-A" SIGN, SEE SIGNAGE PACKAGE
 - 8C CHICK-FIL-A Exit SIGN, SEE SIGNAGE PACKAGE
 - 8D CHICK-FIL-A MONUMENT SIGN, SEE SIGNAGE PACKAGE
 - 8E CLEARANCE BAR (DETAIL #10, C-403), SEE SIGNAGE PACKAGE
 - 8F MENU ORDER BOARDS, SEE SIGNAGE PACKAGE
 - 8G FLAGPOLE, 50', SEE SIGNAGE PACKAGE
 - 7 SIDEWALK ADA COMPLIANT RAMP (SEE RAMP LEGEND) (DETAIL #3, C-401)
 - 8 HANDICAP RAMP W/ FLARED SIDES (IN SIDEWALKS) (DETAIL #9, C-403)
 - 8A HANDICAP RAMP W/ SHORT FLARED SIDES (DETAIL #1, C-401)
 - 9 RETURNED CURB HANDICAP RAMP
 - 10 UTILITY STRUCTURE RIM, TYP.
 - 11 TYPICAL CONCRETE SIDEWALK, 5' MIN. (DETAIL #9, C-400)
 - 12 SIDEWALK W/ CURB & GUTTER (DETAIL #10, C-400)
 - 12A INTEGRAL CURB & 7" WIDE SIDEWALK
 - 13 DRIVE-THRU PLAN (DETAIL #8, C-403)
 - 14 DRIVE-THRU ISOMETRIC (DETAIL #9, C-403)
 - 15 SOLID PLASTIC WHEEL STOP (DETAIL #6, C-404)
 - 16 GRAVEL DRAINAGE STRIP
 - 17 24" CONCRETE CURB & GUTTER (DETAIL #11, C-400)
 - 17A 24" CONCRETE CURB & REVERSE GUTTER (DETAIL #11, C-400)
 - 18 ROLL-OVER/MOUNTABLE CURB (DETAIL #11, C-403)
 - 19 REFUSE ENCLOSURE FOUNDATION (DETAIL #2, C-403)

- 20 CONCRETE BOLLARD (DETAIL #5, C-402)
- 21 TYPICAL PAVEMENT SECTION (REFER TO PAVING PLAN LEGEND)
- 21A PAVEMENT EDGE DETAIL (DETAIL #11, C-401)
- 21B CONCRETE APRON SECTION
- 22 ALUMINUM HANDRAIL (DETAIL #6, C-402)
- 23 TYPICAL STAIR HANDRAIL (DETAIL #6, C-402)
- 24 CONCRETE APRON @ TRASH ENCLOSURE (DETAIL #12, C-401)
- 25 CONCRETE PAVING @ DRIVE-THRU LANE (DETAIL #2, C-402)
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT (DETAIL #16, C-404)
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONTRACTION JOINT (DETAIL #7, C-401)
- 28 CONTRACTION JOINT (DETAIL #6, C-401)
- 29 MEVED CONTRACTION JOINT (DETAIL #6, C-401)
- 30 LONGITUDINAL GUT JUMP (DETAIL #1, C-402)
- 31 EXPANSION JOINT (DETAIL #6, C-401)
- 32 DRIVE-THRU DIRECTIONAL GRAPHICS
- 33 CROSSWALK DETAIL (DETAIL #7, C-402)
- 34 DRIVE-THRU ORDER POINT ISLAND CURB (DETAIL #7, C-403)
- 35 MENU BOARD LOOP DETECTION SYSTEM (DETAIL #5 & #6, C-403)
- 36 ENTRY DOOR FROST SLAB (DETAIL #1, C-403)
- 37 GREASE TRAP
- 38 PROPOSED TRANSFORMER
- 39 MAGNETIC LANE DELINEATORS
- 40 LANDSCAPE AREA (REFER TO LANDSCAPE PLANS FOR DETAILS)
- 41 TYPICAL LOCATION FOR OUTDOOR TABLES (SEE EQUIPMENT SCHEDULE)
- 42 SIDEWALK FOR CASH PAYMENT ZONE
- 43 CONCRETE SPILLWAY
- 44 BIKE RACK
- 45 ORDER MENU DELIVERY CANOPY (REFER TO ARCH. PLAN FOR DETAILS)
- 46 DRIVE-THRU LANE STRIPING
- 47 FACE-TO-FACE DRIVE-THRU CANOPY SYSTEMS (REFER TO ARCH. PLANS FOR DETAILS)
- 48 DETAIL-M GUTTER PAN
- 49 RETAINING WALL
- 50 SITE LIGHTING (REFER TO PHOTOMETRIC PLAN)
- 51 ROLL CURB AND GUTTER (REFER TO TOWN OF PLAINFIELD DETAIL SHEET 03)

SIGN LEGEND:

1		DENOTES "RESERVED PARKING" 24" X 30" (TYP.) DETAIL #6, C-400	4		DENOTES "STOP" 30" X 30" (TYP.) DETAIL #6, C-400
2		DENOTES "VAN ACCESSIBLE" 18" X 12" (TYP.) DETAIL #6, C-400	5		DENOTES "PEDESTRIAN CROSSWALK" 24" X 30" (TYP.) DETAIL #7, C-400
3		DENOTES "DO NOT ENTER" 18" X 18" (TYP.) DETAIL #7, C-400			



PAVING PLAN LEGEND:

CONCRETE PAVEMENT (DETAIL #12, C-400)	
ASPHALT PAVEMENT (DETAIL #3, C-402)	
CONCRETE CURB AND GUTTER (DETAIL #11, C-400)	
REVERSE GUTTER PAN (DETAIL #11, C-400)	
PARKING SPACE COUNTS	

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP "TYPE R"	
SIDEWALK RAMP "TYPE RF"	
SIDEWALK RAMP "TYPE D"	
SIDEWALK RAMP "TYPE P"	
CURB CUT ONLY (NO RAMP)	

REFER TO CHICK-FIL-A STANDARD RAMP DETAILS ON SHEET C-401 AND INDIANA DETAILS ON SHEET C-500

GENERAL NOTES:

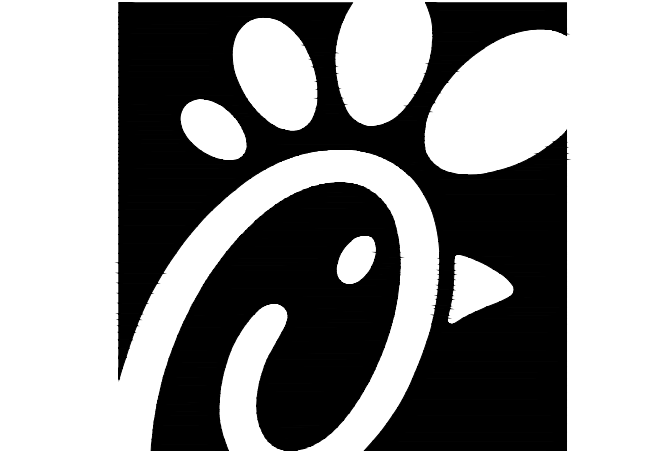
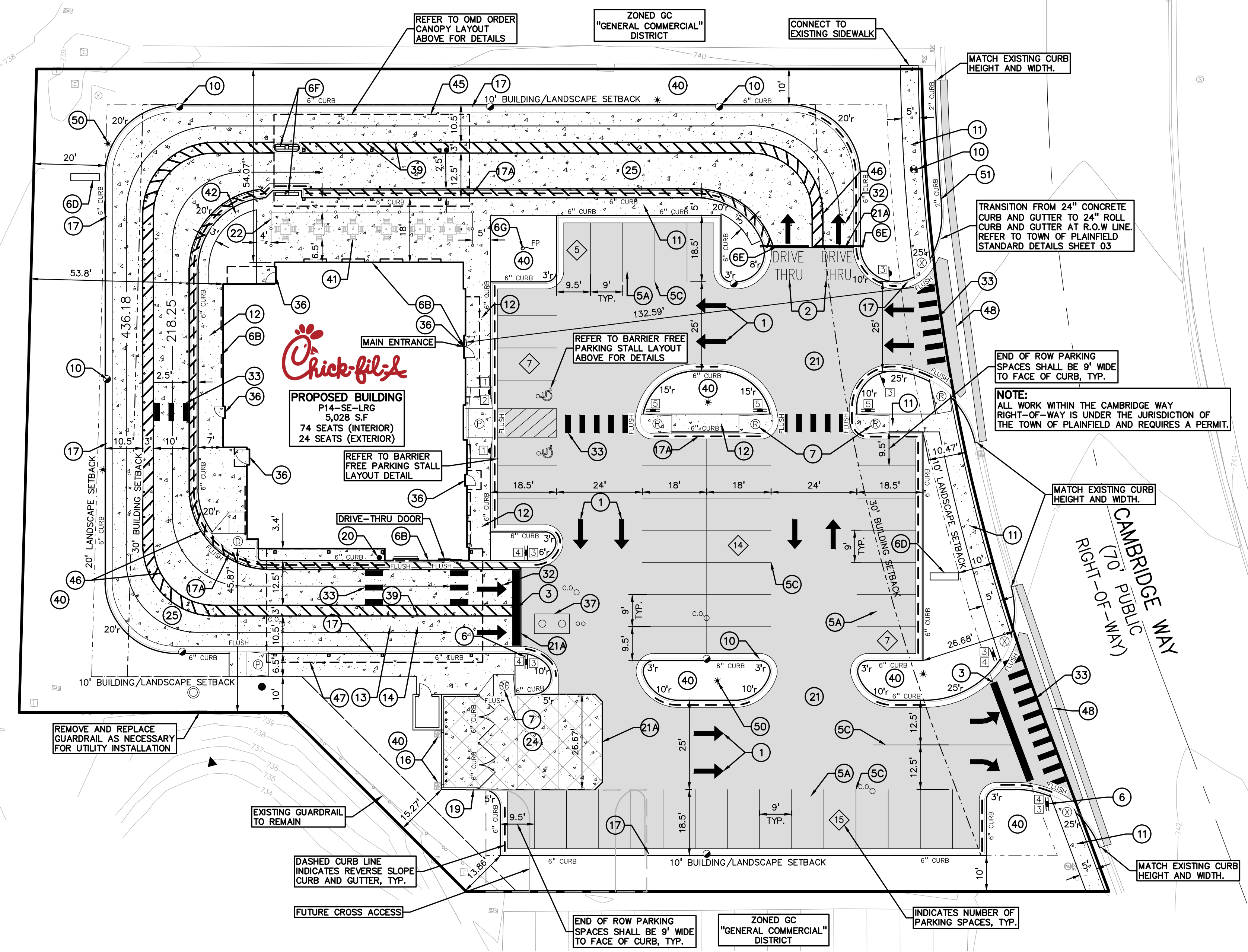
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEETS C-400 THROUGH C-403 FOR ON-SITE PAVING DETAILS.

SITE DATA TABLE:

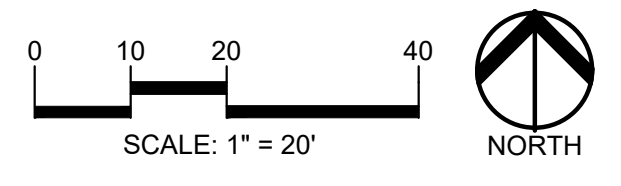
SITE AREA: 1.30 ACRES (56,844 SQ.FT.) NET AND GROSS		
ZONING: GC (GENERAL COMMERCIAL)		
PROPOSED USE: RESTAURANT (5,028 S.F.)		
BUILDING INFORMATION:		
MAXIMUM ALLOWABLE BUILDING HEIGHT = 75 FEET		
PROPOSED BUILDING HEIGHT = 21 FEET		
BUILDING FOOTPRINT AREA = 5,028 SQ.FT.		
BUILDING LOT COVERAGE = 5,028 / 56,844 = 8.8%		
BUILDING SETBACK REQUIREMENTS:		
FRONT (EAST/WEST):	REQUIRED: 30'/30'	PROPOSED: 132.59'/53.90'
SIDE (NORTH):	10'	54.07'
REAR (SOUTH):	10'	45.87'
LANDSCAPE SETBACK REQUIREMENTS:		
FRONT (EAST/WEST):	REQUIRED: 10'/20'	PROPOSED: 10.47'/20'
SIDE (NORTH):	10'	10'
REAR (SOUTH):	10'	10'
PARKING CALCULATIONS:		
RESTAURANT REQUIRED PARKING = 1 SPACE PER 5 SEATS		
PROPOSED SEATS = 98 SEATS		
PARKING REQUIRED = 98/5 = 20 SPACES REQUIRED		
PARKING PROVIDED = 48 SPACES INCLUDING 2 BARRIER FREE SPACES		
STACKING SPACES REQUIRED = 5 SPACES PRIOR TO ORDERING STATION AND AT LEAST ONE AFTER EXITING LAST PICK UP WINDOW		
STACKING SPACES PROVIDED = 43 (9'x20') STACKING SPACES PROVIDED		

STATE ROAD 267
(PUBLIC RIGHT-OF-WAY)



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

PEA GROUP
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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2022-1054
PRINTED FOR SPA
DATE APRIL 14, 2023
DRAWN BY AJM

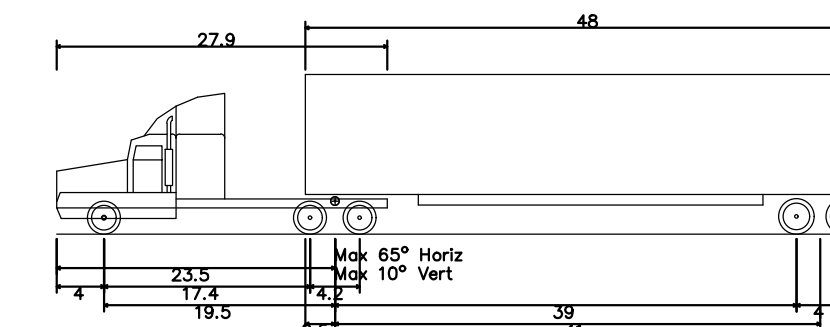
PRELIMINARY SITE PLAN
SHEET NUMBER
C-200

BENCHMARK INFORMATION

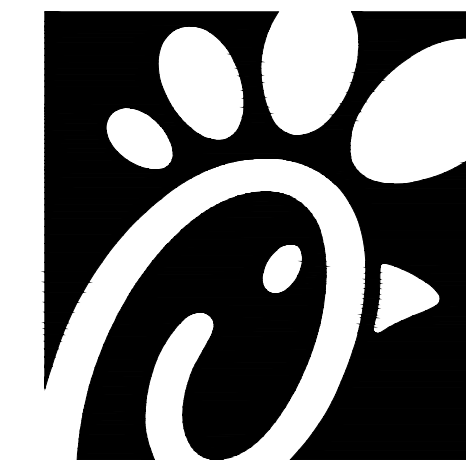
ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.



WB-62 - Interstate Semi-Trailer
 Overall Length 69.00ft
 Overall Width 8.50ft
 Overall Body Height 13.50ft
 Min Body Ground Clearance 1.33ft
 Max Track Width 8.50ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 28.40

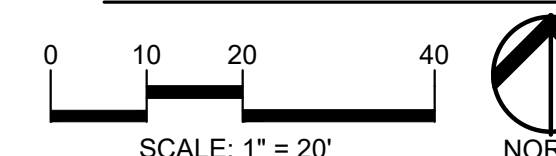


Chick-fil-A

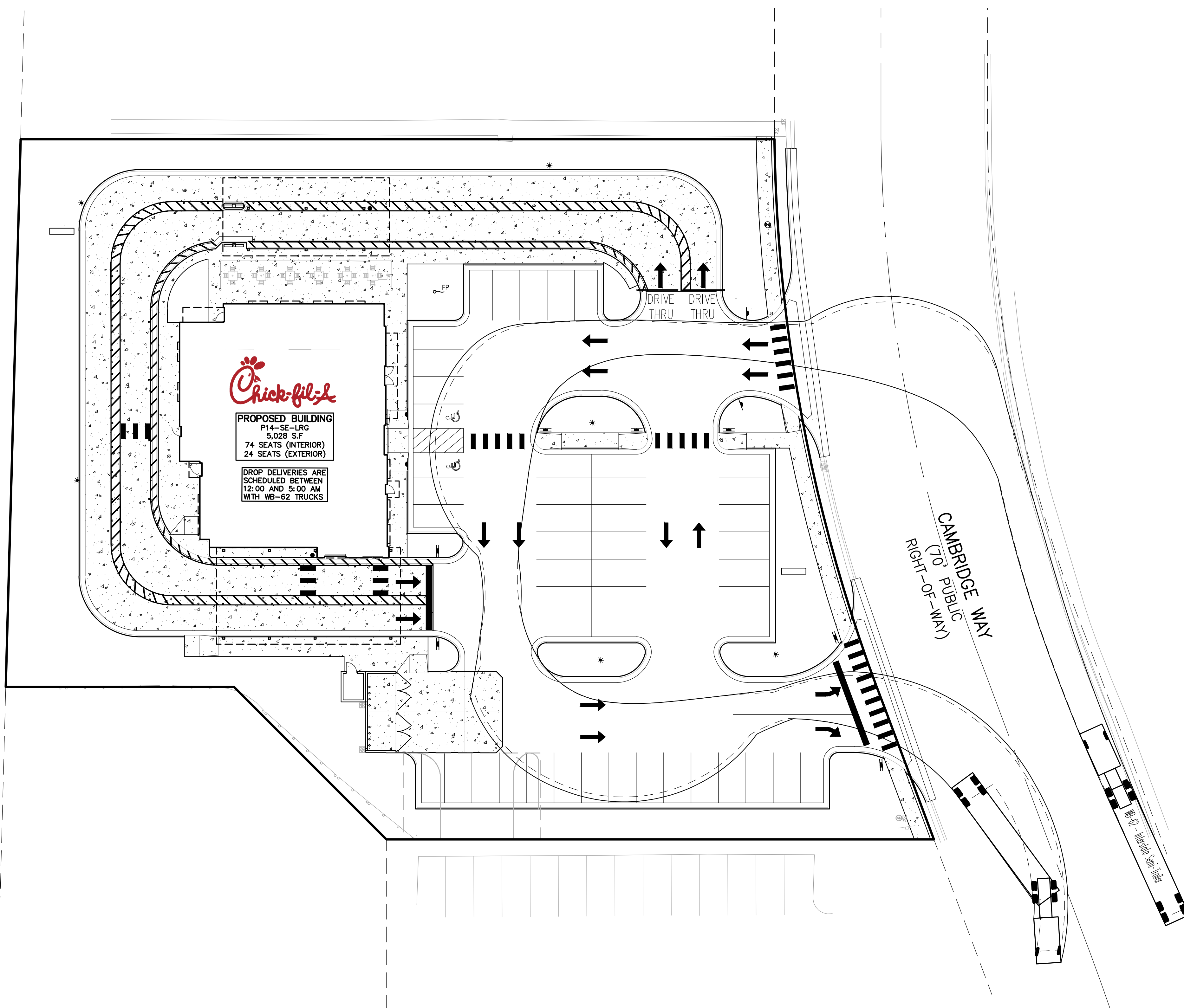
Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

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STATE ROAD 267
 (PUBLIC RIGHT-OF-WAY)



Chick-fil-A
 PROPOSED BUILDING
 P14-SE-LRG
 5,029 SF
 74 SEATS (INTERIOR)
 24 SEATS (EXTERIOR)
 DROP DELIVERIES ARE
 SCHEDULED BETWEEN
 12:00 AND 5:00 AM
 WITH WB-62 TRUCKS

CAMBRIDGE WAY
 (70' PUBLIC
 RIGHT-OF-WAY)

CHICK-FIL-A
 PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2022-1054
 PRINTED FOR SPA
 DATE APRIL 14, 2023
 DRAWN BY AJM

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SHEET
 WB-62 TRUCK
 TURNING PLAN

SHEET NUMBER

C-201

BENCHMARK INFORMATION

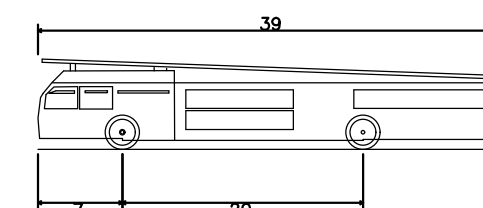
ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD

ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.



Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.006°
 Max Wheel Angle 45.00°



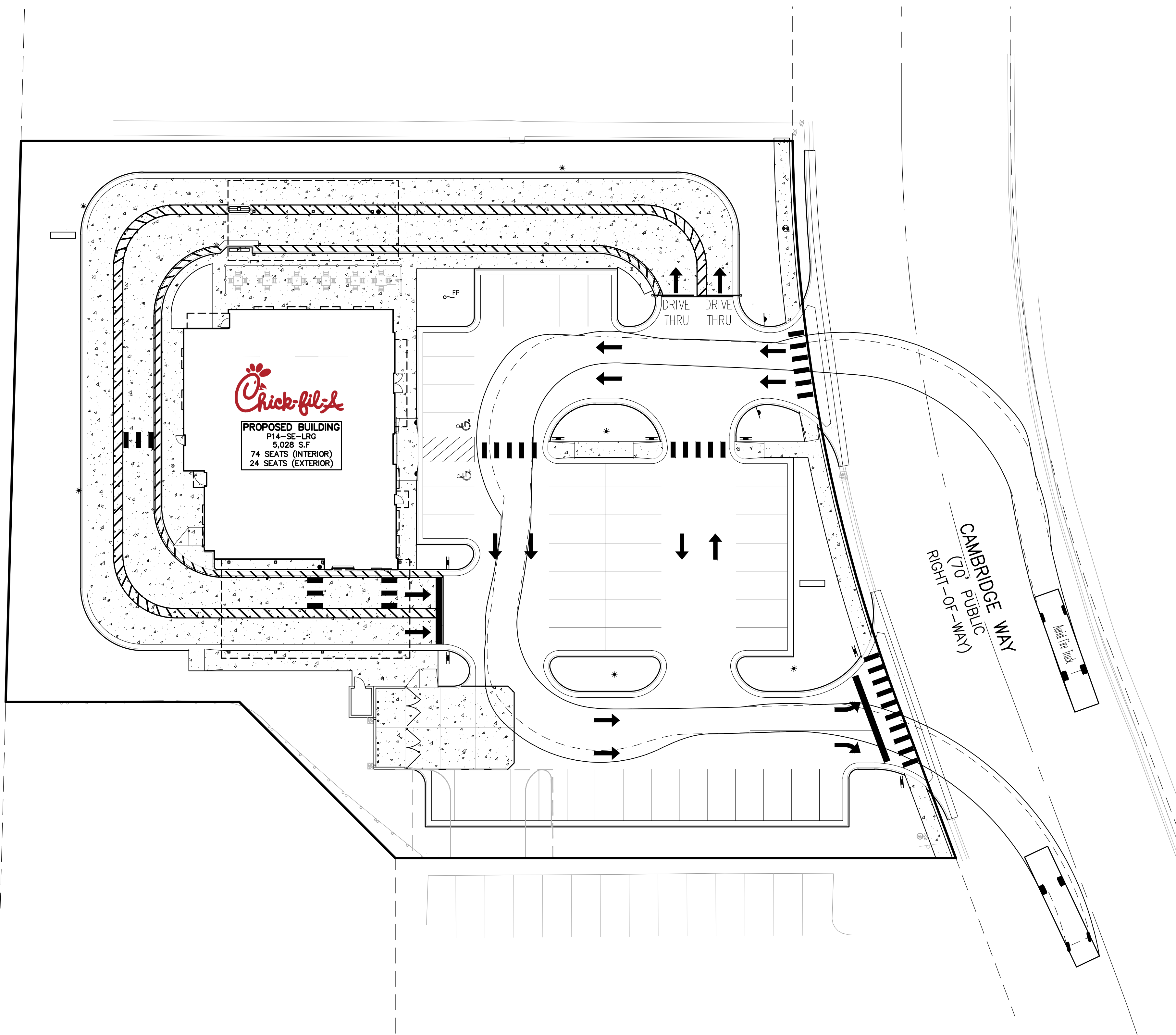
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STATE ROAD 267
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File Path
 3/15/2021
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CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
DRAWN BY	AJM

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SHEET
FIRE TRUCK TURNING PLAN

SHEET NUMBER

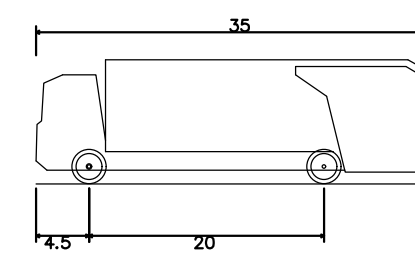
C-202

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.



Rear-Load Garbage Truck
 Overall Length 35
 Overall Width 8.575ft
 Overall Body Height 10.546ft
 Min Body Ground Clearance 1.000ft
 Track Width 8.575ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft

35.000ft
 8.575ft
 10.546ft
 1.000ft
 8.575ft
 6.00s
 29.300ft



Chick-fil-A

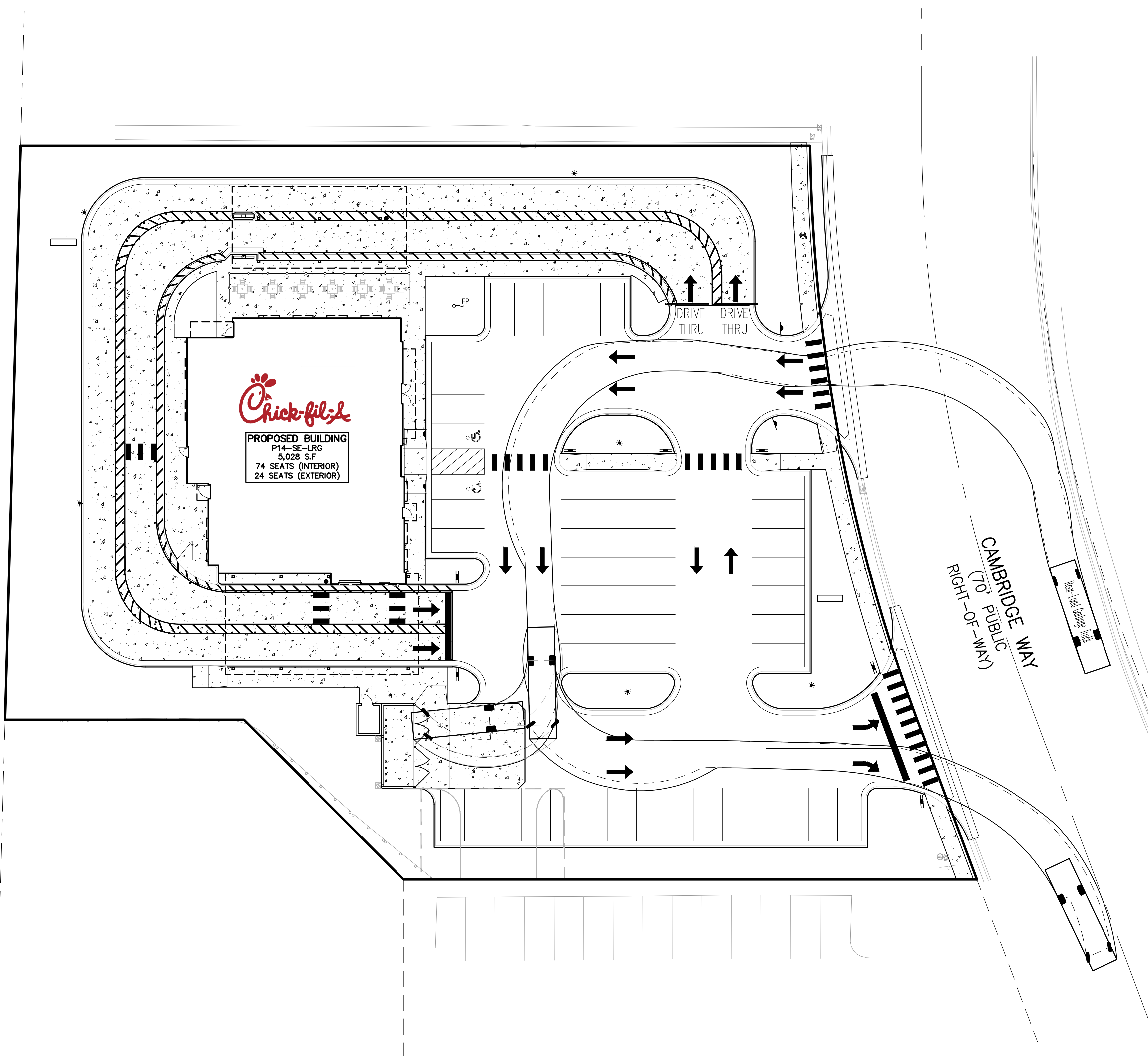
Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



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STATE ROAD 267
 (PUBLIC RIGHT-OF-WAY)



CHICK-FIL-A
 PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
DRAWN BY	AJM

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SHEET
 GARBAGE TRUCK
 TURNING PLAN

SHEET NUMBER

C-203

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

SIDEWALK RAMP LEGEND:

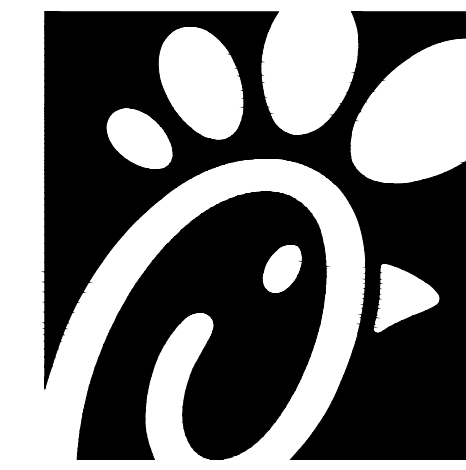
- SIDEWALK RAMP 'TYPE R' (Symbol: R in a circle)
 - SIDEWALK RAMP 'TYPE RF' (Symbol: RF in a circle)
 - SIDEWALK RAMP 'TYPE D' (Symbol: D in a circle)
 - SIDEWALK RAMP 'TYPE P' (Symbol: P in a circle)
 - CURB CUT ONLY (NO RAMP) (Symbol: X in a circle)
- REFER TO CHICK-FIL-A STANDARD RAMP DETAILS ON SHEET C-401 AND INDIANA DETAILS ON SHEET C-500

GRADING LEGEND:

- EXISTING SPOT ELEVATION (Symbol: 622.50)
- PROPOSED SPOT ELEVATION (Symbol: 670)
- EXISTING CONTOUR (Symbol: 622)
- PROPOSED CONTOUR (Symbol: 622)
- PROPOSED REVERSE GUTTER PAN (Symbol: ---)
- PROPOSED RIDGE LINE (Symbol: ---)
- PROPOSED SWALE/DITCH (Symbol: ---)

ABBREVIATIONS

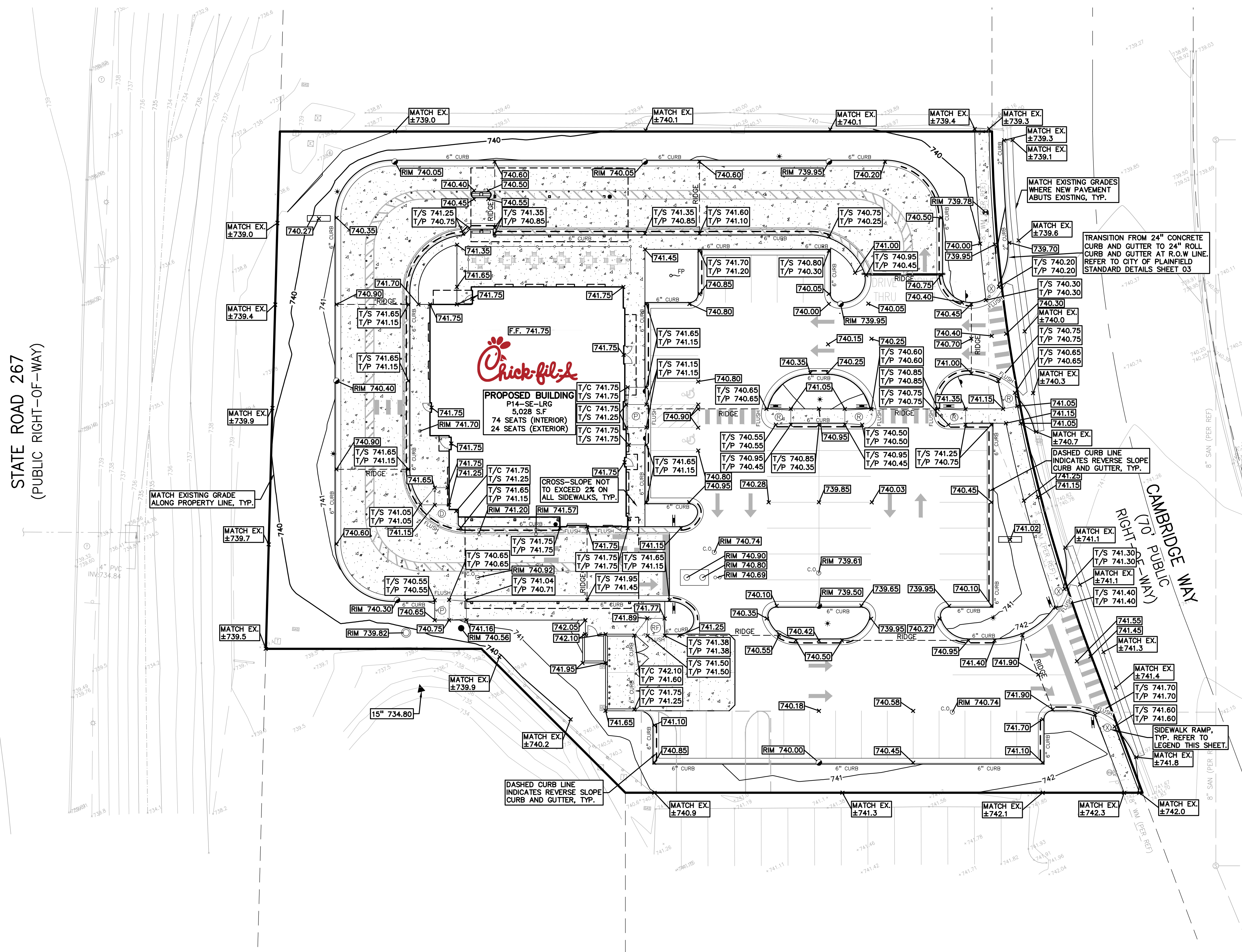
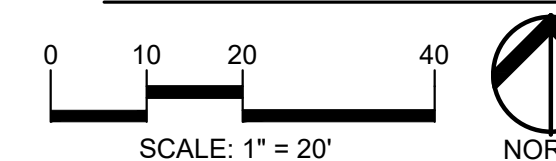
- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- G = GUTTER GRADE
- F.G. = FINISH GRADE
- RIM = RIM ELEVATION



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CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
DRAWN BY	AJM

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SHEET PRELIMINARY GRADING PLAN

SHEET NUMBER **C-300**

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
L-61 (PID: KA0040)
1.2 MILES SOUTHEAST FROM PLAINFIELD
ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1846 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF PLAINFIELD AND HENDRICKS COUNTY.
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
6. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

STORM SEWER NOTES:

1. ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE HP STORM WITH WATERTIGHT BELL-AND SPIGOT JOINTS UNLESS SPECIFIED OTHERWISE.
2. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26.
4. JOINTS FOR P.V.C. PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.

END SECTIONS	
1	END SECTION 15" 734.80

STORM STRUCTURES	
WOU	2 (6' DIA./4' SUMP) RIM = 739.82 15" N 734.86 15" S 734.86
CB	3 (6' DIA./2' SUMP) RIM = 740.30 12" E 735.35 12" N 735.10 12" S 734.90
CB	4 (4' DIA./2' SUMP) RIM = 740.40 12" N 735.35 12" S 735.35
CB	5 (4' DIA./2' SUMP) RIM = 740.05 12" E 735.80 12" S 735.60
CB	6 (4' DIA./2' SUMP) RIM = 740.05 12" E 735.80 12" W 735.88
CB	7 (4' DIA./2' SUMP) RIM = 739.95 12" S 736.09 12" W 736.09
CB	8 (4' DIA./2' SUMP) RIM = 739.95 12" N 736.25
MH	9 (4' DIA./0' SUMP) RIM = 740.56 12" E 735.43 12" W 735.43
CB	10 (4' DIA./2' SUMP) RIM = 739.50 12" S 735.83 12" W 735.83
CB	11 (4' DIA./2' SUMP) RIM = 740.00 12" N 736.00

UTILITY PLAN LEGEND:

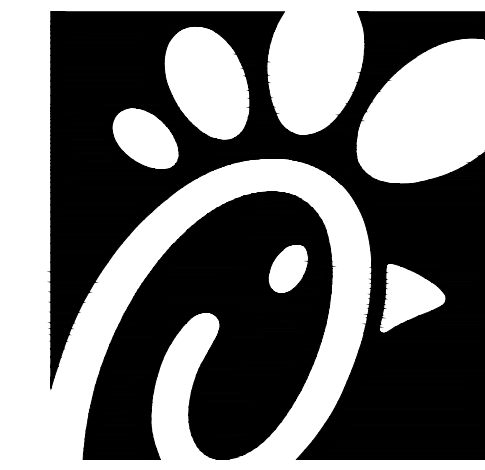
OH/UG ELECTRIC LINE
OH/UG CABLE LINE
OH/UG COMMUNICATION LINE
GAS LINE, VALVE & GAS LINE MARKER
WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
SANITARY SEWER, CLEANOUT & MANHOLE
STORM SEWER, CLEANOUT & MANHOLE
CATCH BASIN, INLET, AND YARD DRAIN
POST INDICATOR VALVE

DETENTION / WATER QUALITY REQUIREMENTS:

EXISTING CONDITIONS:
SITE AREA = 48,060 S.F. (1.10 ACRES)
IMPERVIOUS AREA = 47,014 S.F. (1.08 ACRES)
PERVIOUS AREA = 1,046 S.F. (0.02 ACRES)
"C" VALUE = 0.83

PROPOSED CONDITIONS:
SITE AREA = 48,060 S.F. (1.10 ACRES)
IMPERVIOUS AREA = 40,608 S.F. (0.93 ACRES)
PERVIOUS AREA = 7,452 S.F. (0.17 ACRES)
"C" VALUE = 0.74

NOTE: THE STORM SYSTEM FOR THE EXISTING BOB EVANS RESTAURANT DRAINS TO THE EXISTING RETENTION BASIN LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY. THE PROPOSED CHICK-FIL-A REDUCES THE AMOUNT OF IMPERVIOUS AREA TRIBUTARY TO THE EXISTING RETENTION BASIN, THEREFORE NO ADDITIONAL DETENTION IS PROPOSED AT THIS TIME. WATER QUALITY UNIT IS PROPOSED DOWNSTREAM OF ALL CATCH BASINS TO MEET HENDRICKS COUNTY WATER QUALITY STANDARDS.

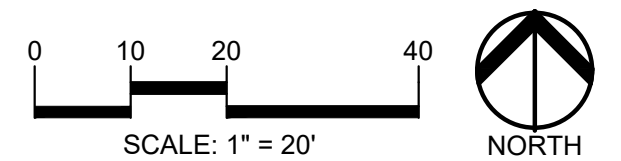


Chick-fil-A

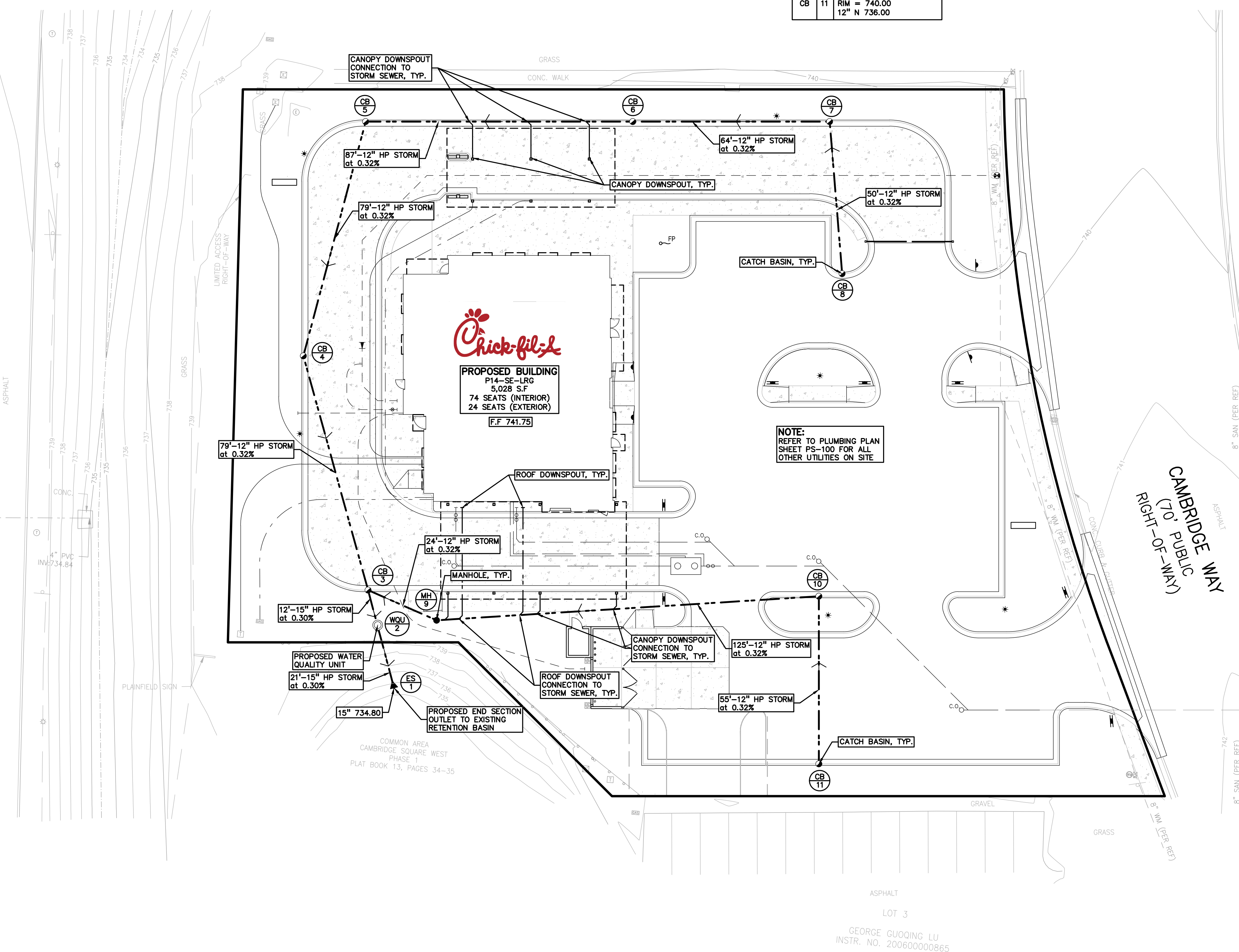
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STATE ROAD 267
(PUBLIC RIGHT-OF-WAY)



NOTE:
REFER TO PLUMBING PLAN SHEET PS-100 FOR ALL OTHER UTILITIES ON SITE

CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
DRAWN BY	AJM

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SHEET
PRELIMINARY STORM SEWER PLAN

SHEET NUMBER

C-301

File Path
3/15/2021
S:\PROJECTS\2022\2022-1054_CFA_PLAINFIELD_05219\DWG\SITE_PLAN\03 - 05219 - C-301-STORM-221054.dwg

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

STORM SEWER SYSTEM DESIGN

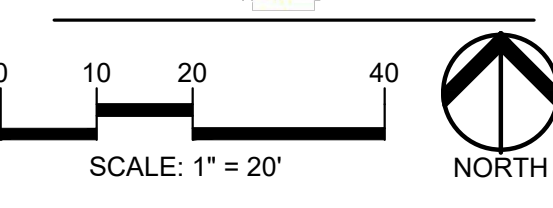
$I = B / (T+D) \wedge E$ $B = 85.60$ $D = 10.00$ $E = 1.00$
 $C = \text{varies}$
 $T = 10$ (min.) Pipe "n" Value = 0.013

FROM STR	TO STR	AREA (A) (Acres)	COEF. C	A x C	TOTAL AREA (AxC) (Acres)	TOTAL AREA (Acres)	TIME t (min.)	INT. I (in/hr)	FLOW Q (cfs)	PIPE CAP. (cfs)	PIPE DIA. (in.)	PIPE LENGTH (ft.)	PIPE SLOPE (%)	MIN HG PER "Q"	VEL. FULL (ft./sec)	TIME FLOW (min.)	H.G.L. ELEV.		RIM ELEV.		INVERT ELEV.		PIPE COVER		HGL COVER	
																	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM
8	7	0.14	0.75	0.11	0.11	0.14	10.00	4.28	0.45	2.02	12	50	0.32	0.02%	2.6	0.3	737.05	736.89	739.95	739.95	736.25	736.09	2.54	2.70	2.90	3.06
7	6	0.11	0.59	0.07	0.17	0.25	10.30	4.22	0.73	2.02	12	64	0.32	0.04%	2.6	0.4	736.89	736.68	739.95	740.05	736.09	735.88	2.70	3.00	3.06	3.37
6	5	0.08	0.69	0.06	0.23	0.34	10.70	4.14	0.96	2.02	12	87	0.32	0.07%	2.6	0.6	736.68	736.40	740.05	740.05	735.88	735.60	3.00	3.28	3.37	3.65
5	4	0.07	0.70	0.05	0.28	0.41	11.30	4.02	1.13	2.02	12	79	0.32	0.10%	2.6	0.5	736.40	736.15	740.05	740.40	735.60	735.35	3.28	3.88	3.65	4.25
4	3	0.05	0.85	0.04	0.32	0.45	11.80	3.93	1.25	2.02	12	79	0.32	0.12%	2.6	0.5	736.15	735.90	740.40	740.30	735.35	735.10	3.88	4.03	4.25	4.40
3	2	0.05	0.85	0.04	0.82	1.10	12.30	3.84	3.14	3.54	15	12	0.30	0.24%	2.9	0.1	735.90	735.86	740.30	739.82	734.90	734.86	3.96	3.52	4.40	3.95
2	1	0.00	0.00	0.00	0.82	1.10	12.40	3.82	3.14	3.54	15	21	0.30	0.24%	2.9	0.1	735.86	735.80	739.82	735.76	734.86	734.80	3.52	-0.48	3.95	-0.04
11	10	0.18	0.70	0.13	0.13	0.18	10.00	4.28	0.55	2.02	12	55	0.32	0.02%	2.6	0.4	736.80	736.63	740.00	739.50	736.00	735.83	2.83	2.51	3.20	2.87
10	9	0.25	0.75	0.19	0.32	0.44	10.40	4.20	1.33	2.02	12	125	0.32	0.14%	2.6	0.8	736.63	736.23	739.50	740.56	735.83	735.43	2.51	3.97	2.87	4.34
9	3	0.16	0.85	0.14	0.46	0.60	11.20	4.04	1.84	2.02	12	24	0.32	0.27%	2.6	0.2	736.23	736.15	740.56	740.30	735.43	735.35	3.97	3.78	4.34	4.15



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CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2022-1054
 PRINTED FOR SPA
 DATE APRIL 14, 2023
 DRAWN BY AJM

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SHEET PRELIMINARY DRAINAGE MAP

SHEET NUMBER **C-302**

File Path
 3/15/2021
 S:\PROJECTS\2022\2022-1054_CFA_PLAINFIELD_05219\DWG\SITE_PLAN103 - 05219 - C-302-RAIN-22-1054.dwg

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
L-61 (PID: KA0040)
1.2 MILES SOUTHEAST FROM PLAINFIELD
ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1846 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF PLAINFIELD AND HENDRICKS COUNTY.
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
6. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

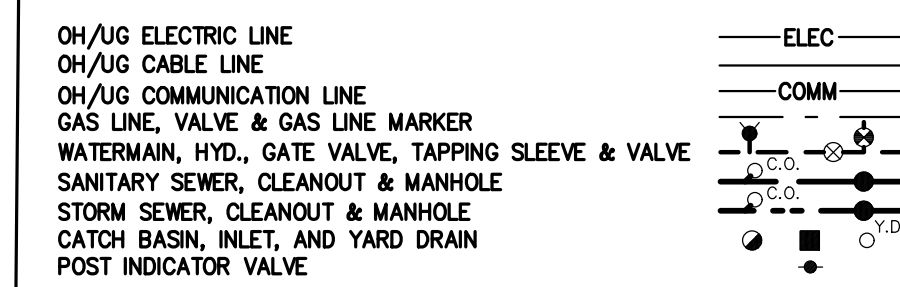
WATER MAIN NOTES:

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5°) DEGREE BENDS, PROPERLY ANCHORED.
2. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
3. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL REQUIRED TESTING IS SATISFACTORILY COMPLETED.
4. NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF HENDRICKS COUNTY.
5. ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
6. WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
7. ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY HENDRICKS COUNTY.

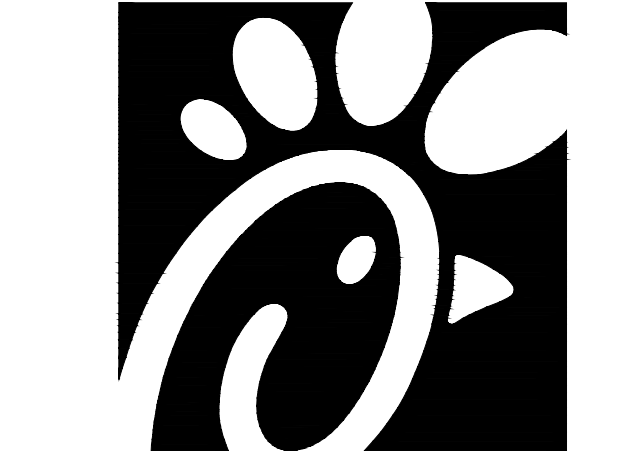
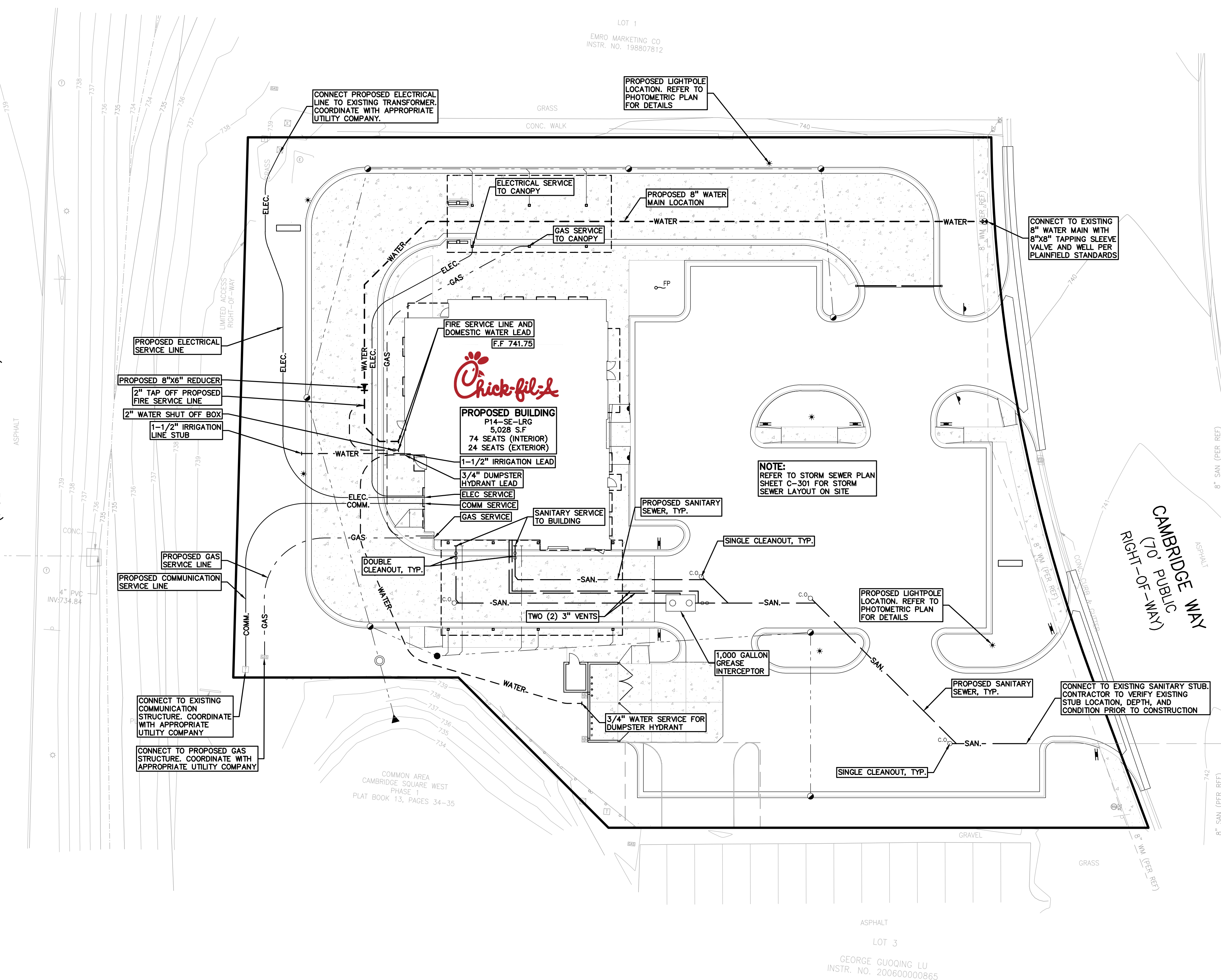
SANITARY SEWER NOTES:

1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
4. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.I.W. #1565 BOX OR EQUAL.

UTILITY PLAN LEGEND:



STATE ROAD 267
(PUBLIC RIGHT-OF-WAY)

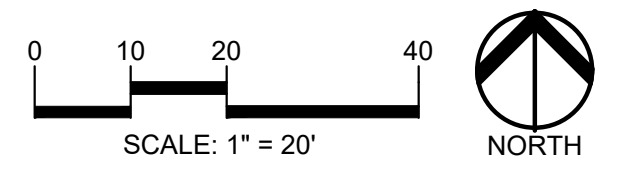


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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
DRAWN BY	AJM

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SHEET
PRELIMINARY PLUMBING PLAN

SHEET NUMBER
PS-100

File Path
3/15/2021
S:\PROJECTS\2022\2022-1054_CFA_PLAINFIELD_05219\DWG\SITE_PLAN\04 - 05219 - PS-100-PLUMB-221054.dwg

LOT 3
GEORGE GUOQING LU
INSTR. NO. 200600000865

4

NOTES:

- DESIGN PER GEOTECH REPORT BY TERRACON, DATED APRIL 4, 2022.
- PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION.
- JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS.
- CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS.

C

12 CONCRETE PAVEMENTS
C-400 NOT TO SCALE

3

A TYPE "B" CURB & GUTTER
B TYPE "H" MOUNTABLE CURB & GUTTER

NOTES:

- CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS
- CONTRACTION JOINTS @ 1'-0" O.C. TOOLED 1/2" (+ 1/8", -0) WIDE, 1" OR MAX. DIA DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS @ 40'-0" MAX. UNLESS NOTED OTHERWISE ON PLANS
- IF NEEDED, DOWEL INTO ADJACENT CONC. SLAB PER THE EXPANSION JOINT DETAIL
- GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRANSVERSE & LONGITUDINAL.

11 CONCRETE CURB & GUTTER
C-400 NOT TO SCALE

2

10 SIDEWALK W/ CURB & GUTTER
C-400 NOT TO SCALE

NOTICE: ALWAYS ALIGN CURB AND SIDEWALK JOINTS.

1

9 CONCRETE SIDEWALK
C-400 NOT TO SCALE

NOTES:

- JOINTS AT 5'-0" O.C. TOOLED 1/2" WIDE, 1" DEEP OR MAX. 1/2" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.s. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

B

8 STOP SIGN
C-400 NOT TO SCALE

NOTES:

- SIGNS SHALL BE FABRICATED USING SIF 0.08 NON-ILLUMINATED ALUMINUM WITH VINYL COPY APPLIED TO THE FIRST SURFACE.
- VERIFY COLORS WITH JURISDICTIONAL AUTHORITIES.

7 DIRECTIONAL SIGNAGE
C-400 NOT TO SCALE

A Circle Building for Drive-Thru Service
B Left Turn Only
C Right Turn Only
D PEDESTRIAN CROSSWALK
E ONE WAY SIGN
F DO NOT ENTER

6 ACCESIBLE PARKING SIGN
C-400 NOT TO SCALE

ACCESSIBLE PARKING SIGN (MUTCD R 7-8 AND R 7-8P5)
(CIVIL TO VERIFY SIGN PANELS AND COLORS WITH STATE/LOCAL REQUIREMENTS)

5 BOLLARD MOUNTED SIGN
C-400 NOT TO SCALE

NOTE: SIGNS SHALL BE FABRICATED USING SIF 0.08 NON-ILLUMINATED ALUMINUM WITH VINYL COPY APPLIED TO THE FIRST SURFACE.
NOTE: VERIFY COLORS WITH LOCAL MUNICIPALITY.

A

4 60° ANGLED PARKING STRIPING
C-400 NOT TO SCALE

NOTES:

- ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
- PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES & ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
- CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
- CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
- NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
- ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
- ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS NOTED OTHERWISE.
- STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

3 90° PARKING STRIPING
C-400 NOT TO SCALE

NOTES:

- ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
- PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES & ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.
- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS.
- CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
- CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
- NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
- ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
- ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS NOTED OTHERWISE.
- STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR

2 PAVEMENT MARKINGS - 2
C-400 NOT TO SCALE

DRIVE-THRU
NOT TO SCALE

STOP BAR
NOT TO SCALE

NOTES:

- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL
- PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
- CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.
- IF STOP SIGNS ARE PROPOSED, "STOP" LETTERING ON STOP BAR DETAIL IS NOT REQUIRED.

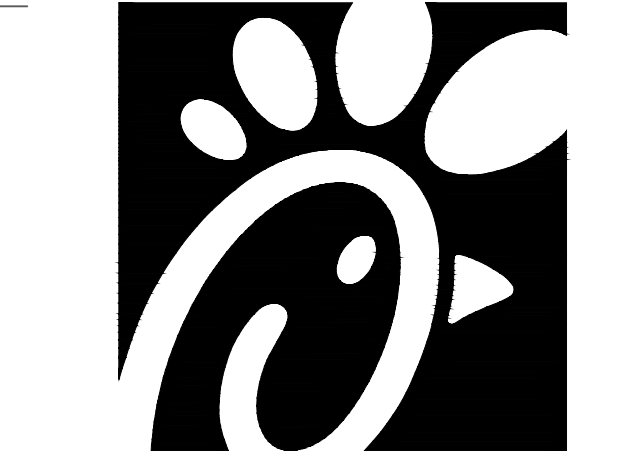
1 PAVEMENT MARKINGS - 1
C-400 NOT TO SCALE

DIRECTIONAL ARROW
NOT TO SCALE

ACCESSIBILITY SYMBOL
NOT TO SCALE

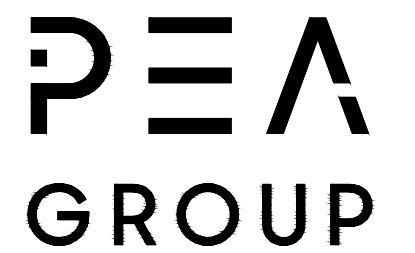
NOTES:

- GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS. SEE DETAIL.
- PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
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6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
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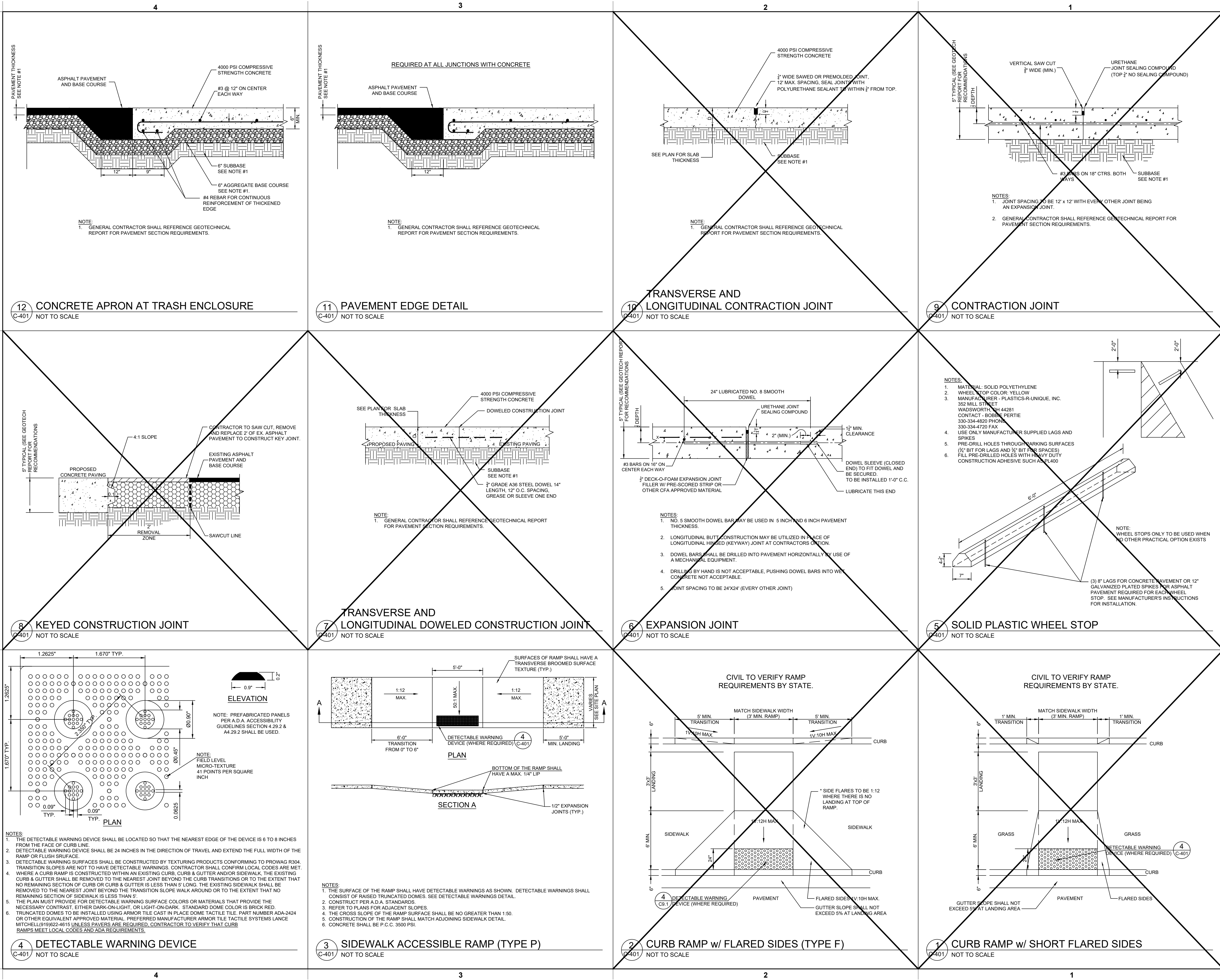
SHEET

CFA STANDARD DETAILS (1)

SHEET NUMBER

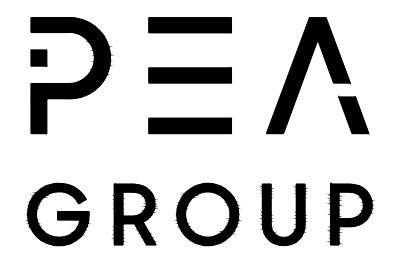
C-400

File Path
3/15/2021
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-05219_C-401-CFASTDETAILS-221054.dwg



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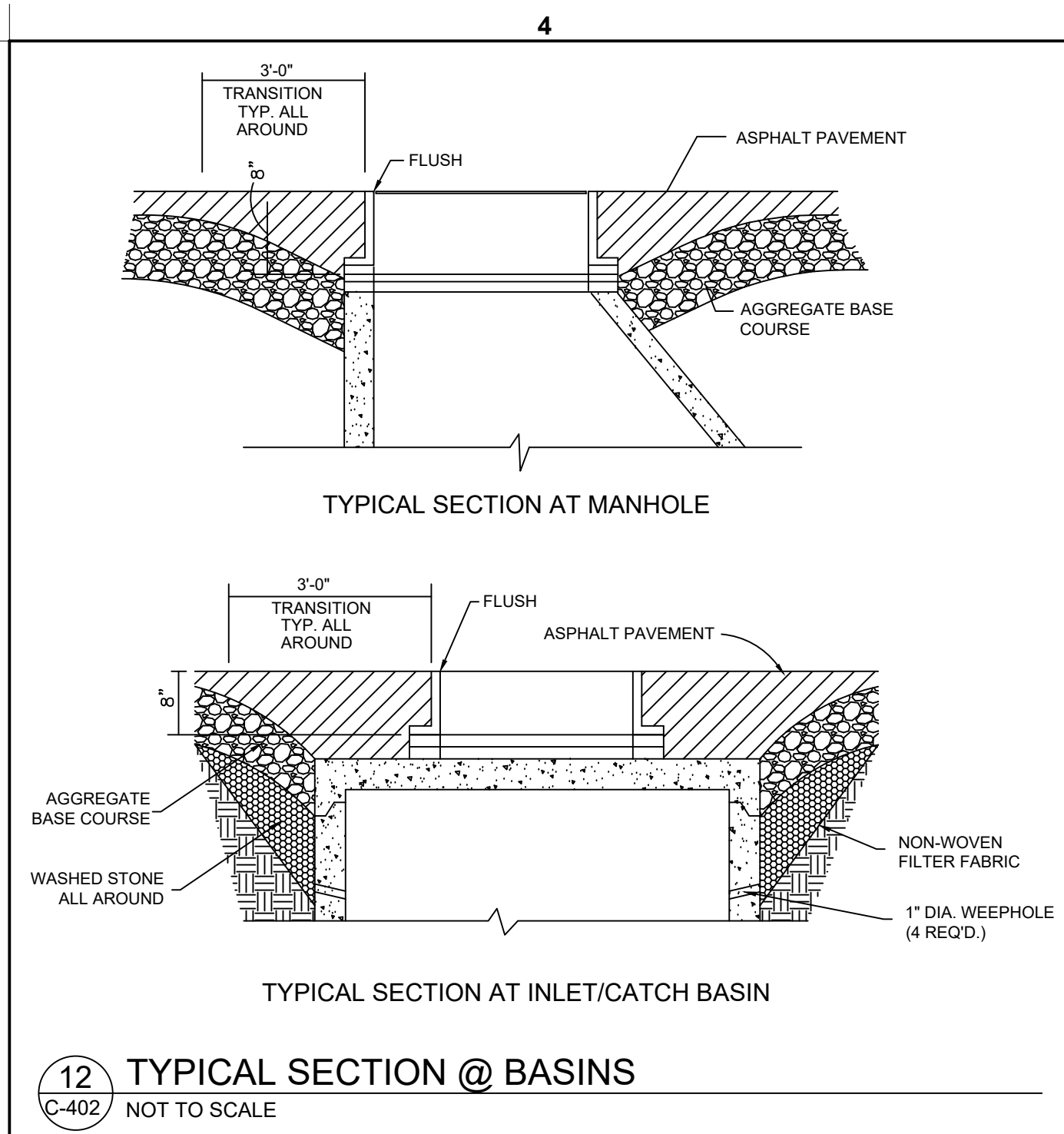
CONSULTANT PROJECT # 2022-1054
PRINTED FOR SPA
DATE APRIL 14, 2023
DRAWN BY AJM

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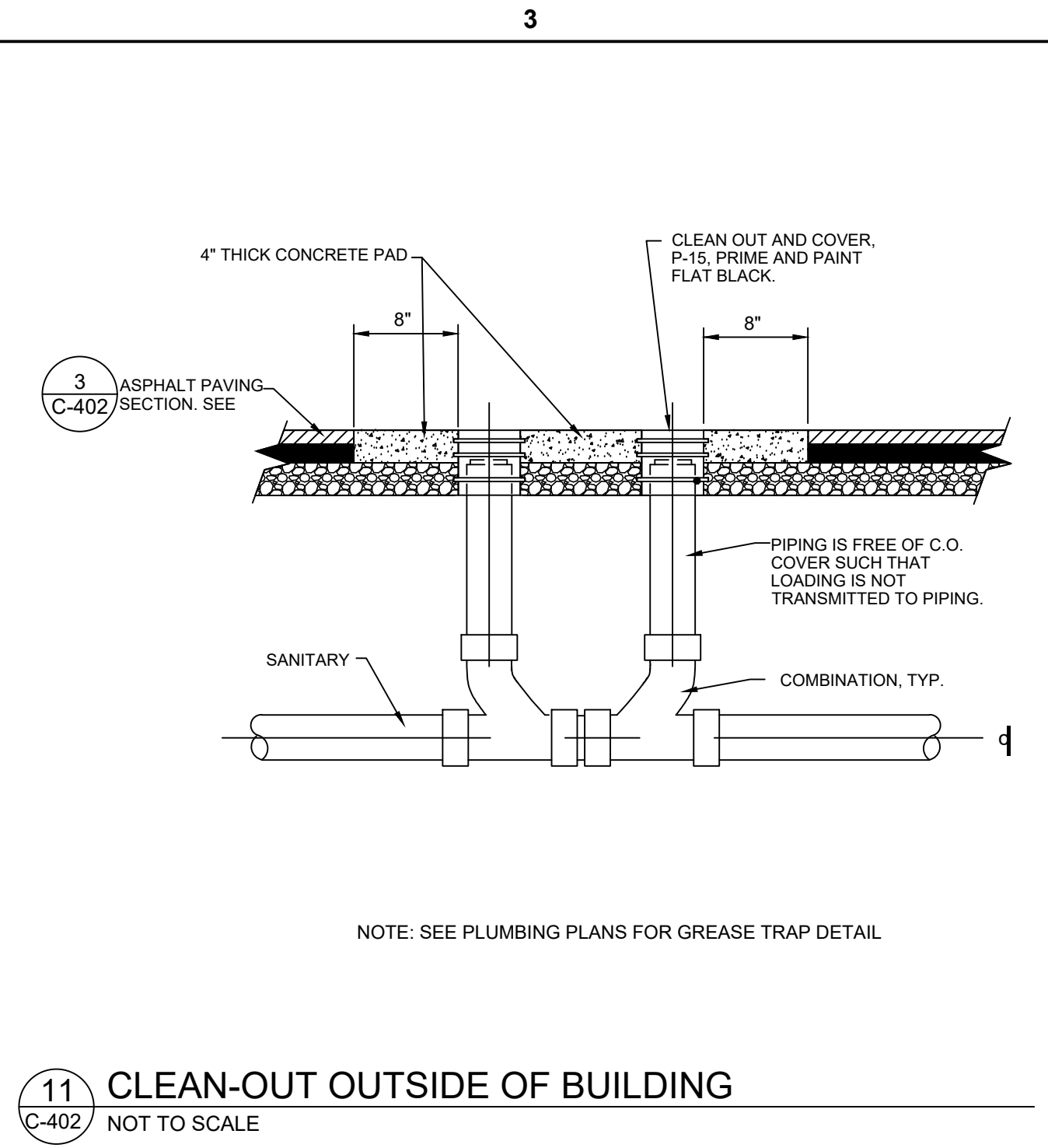
CFA STANDARD DETAILS (2)

C-401

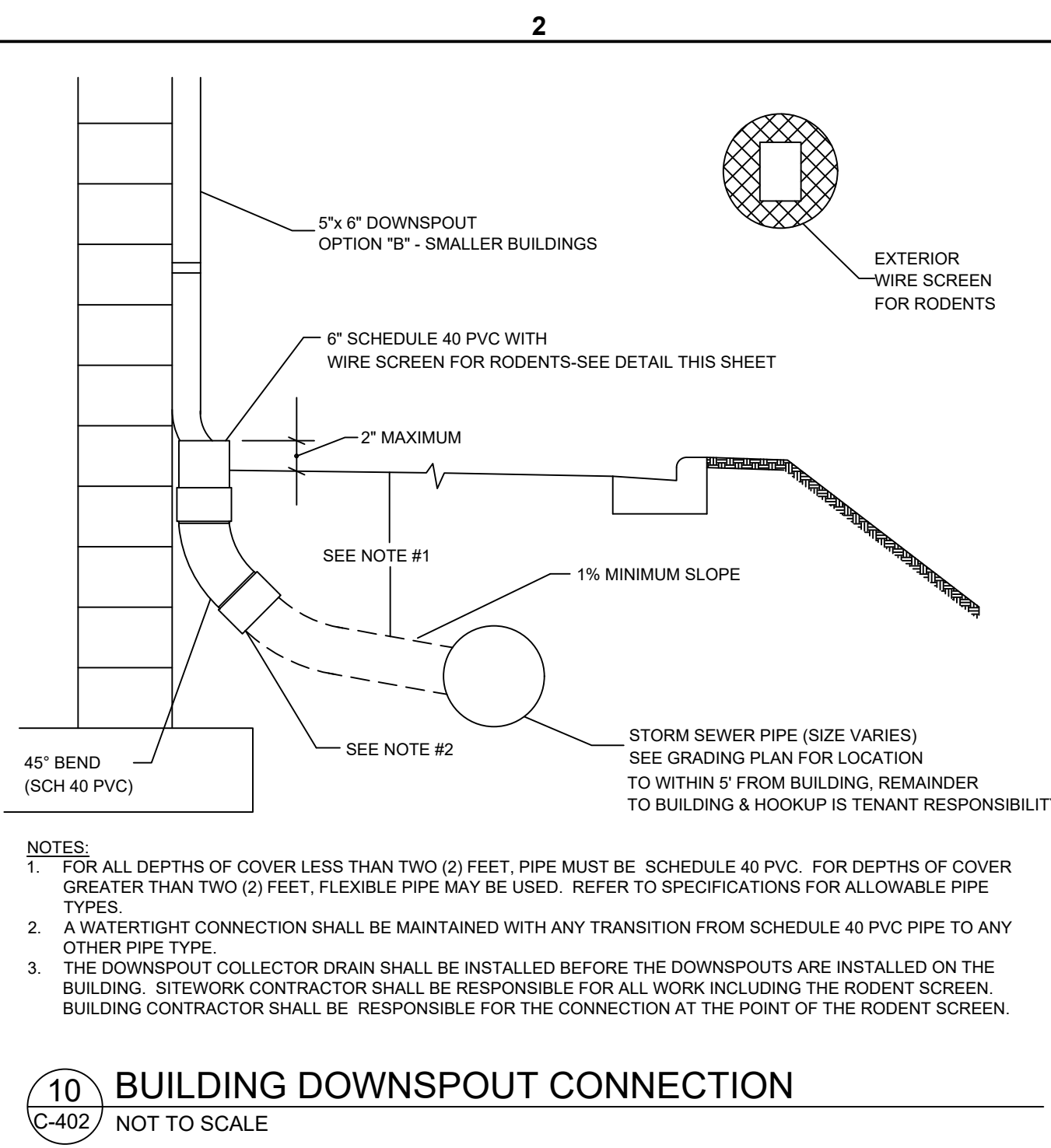
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3/15/2021
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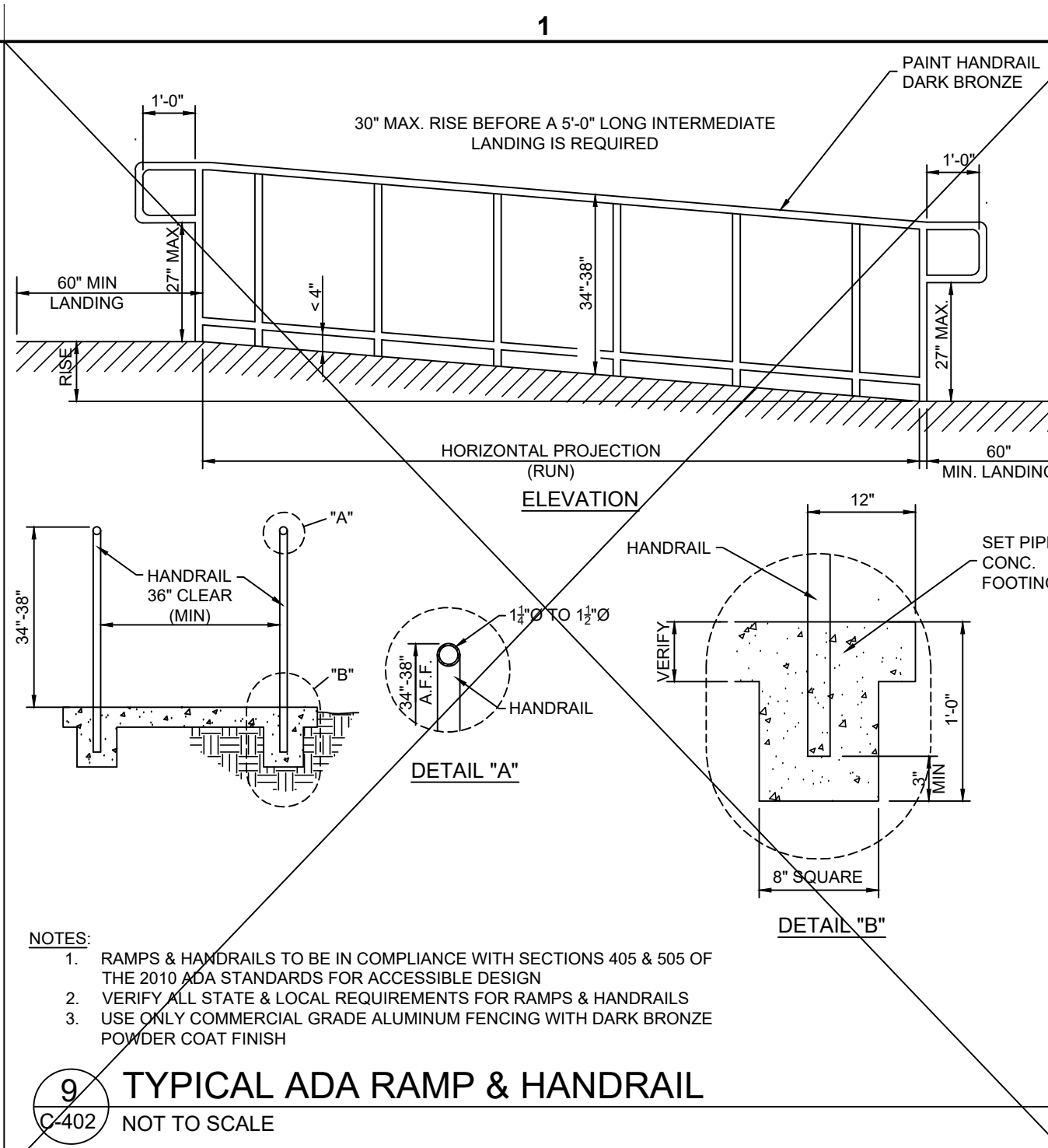
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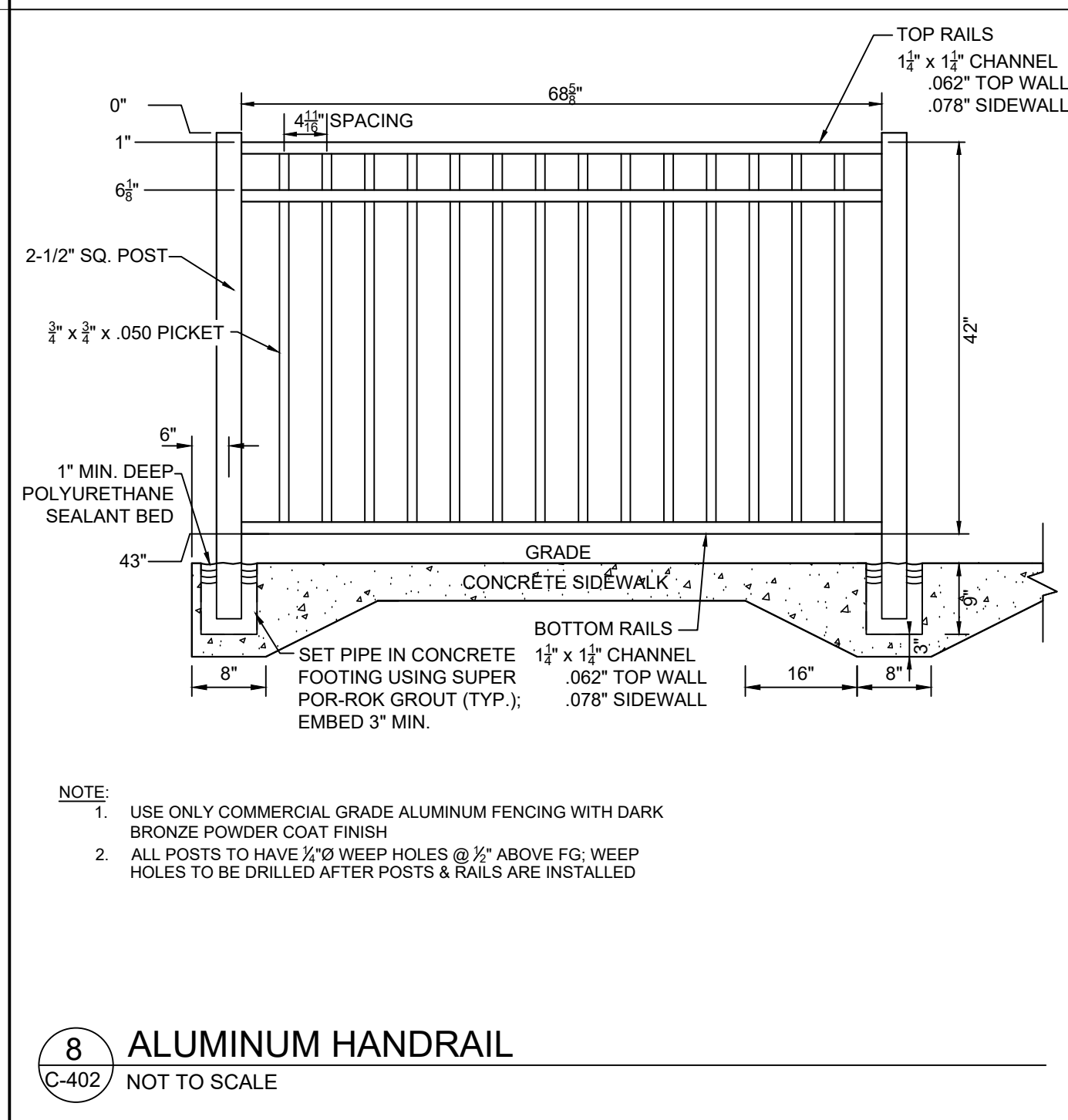
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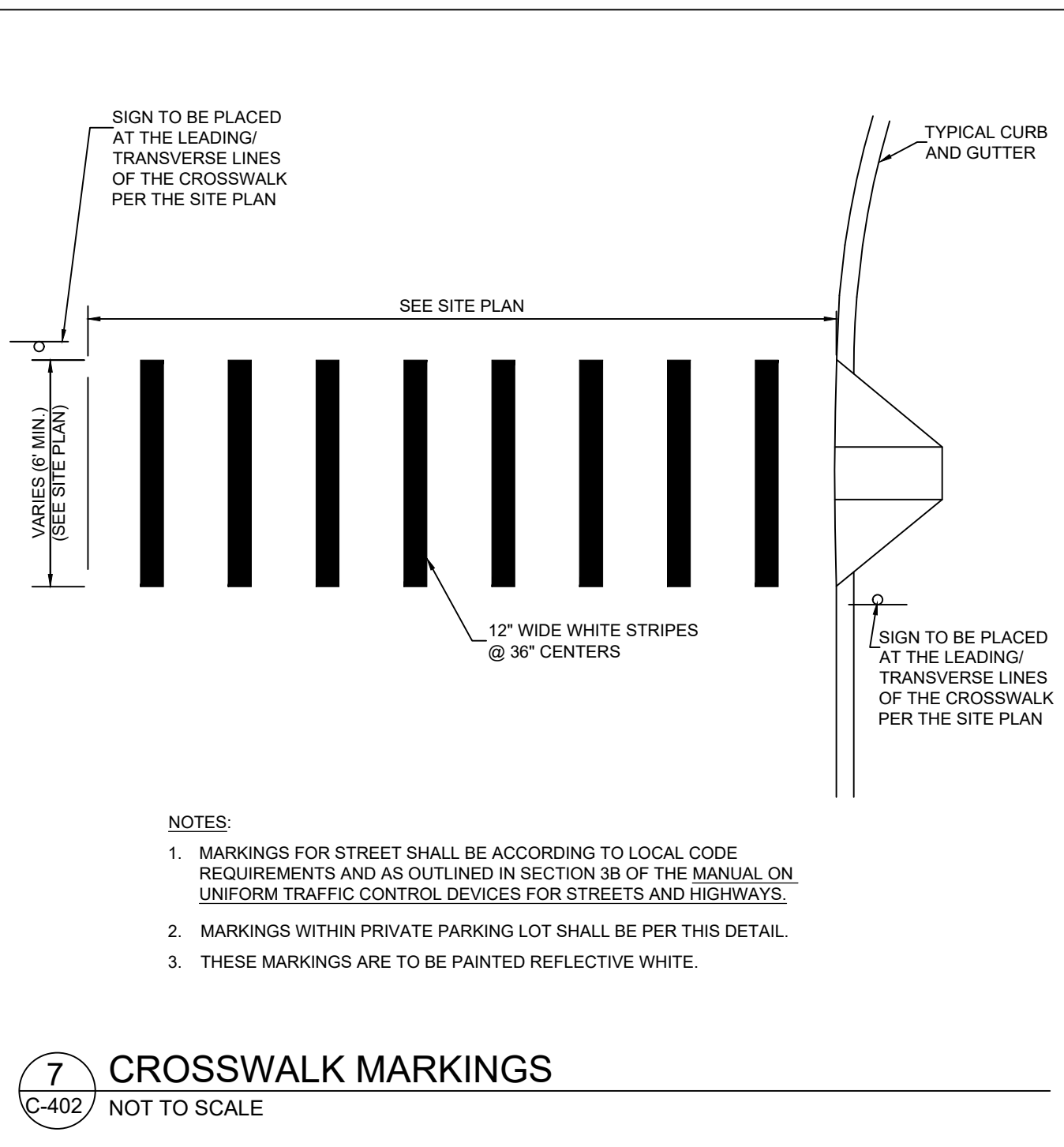
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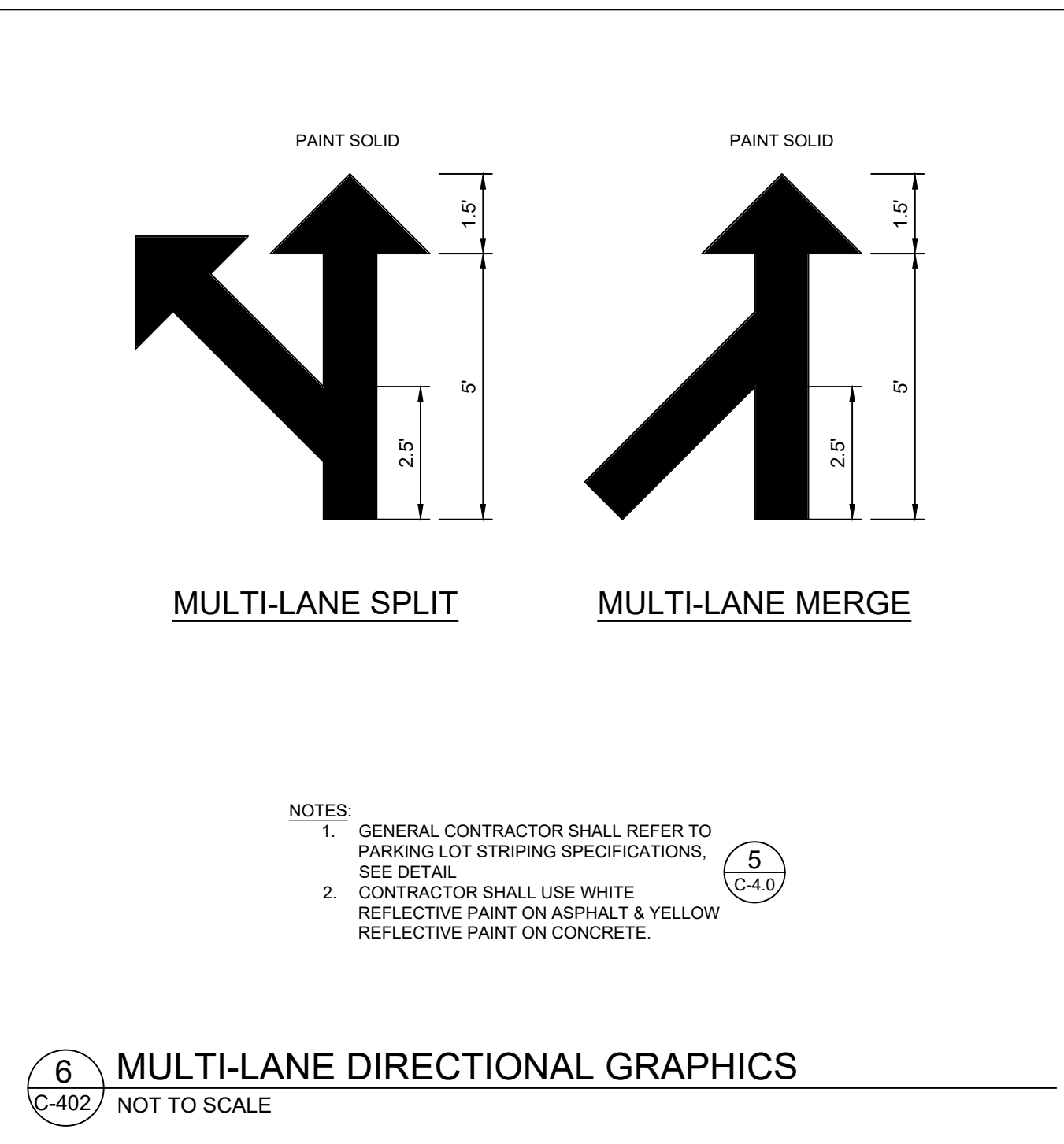
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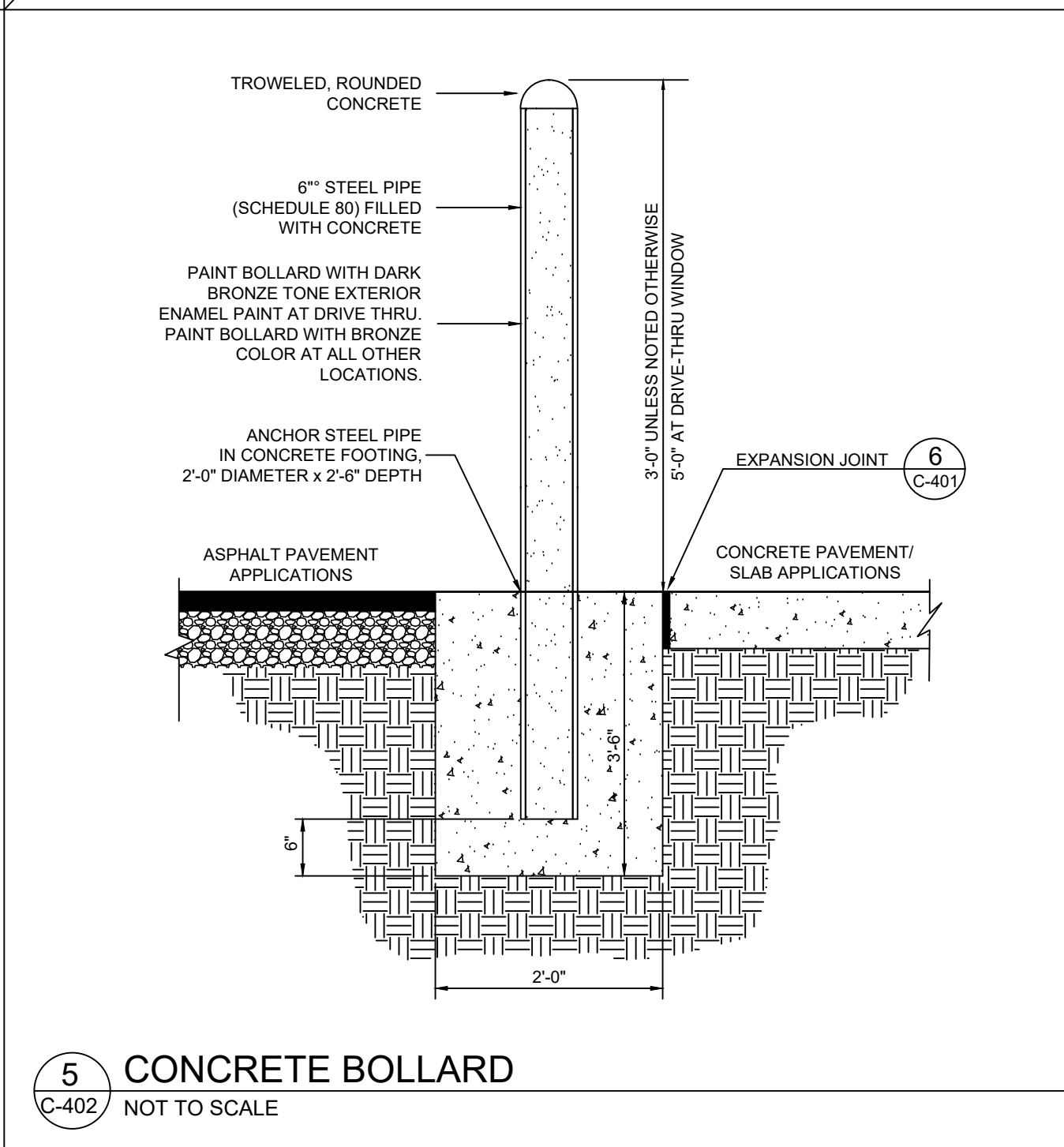
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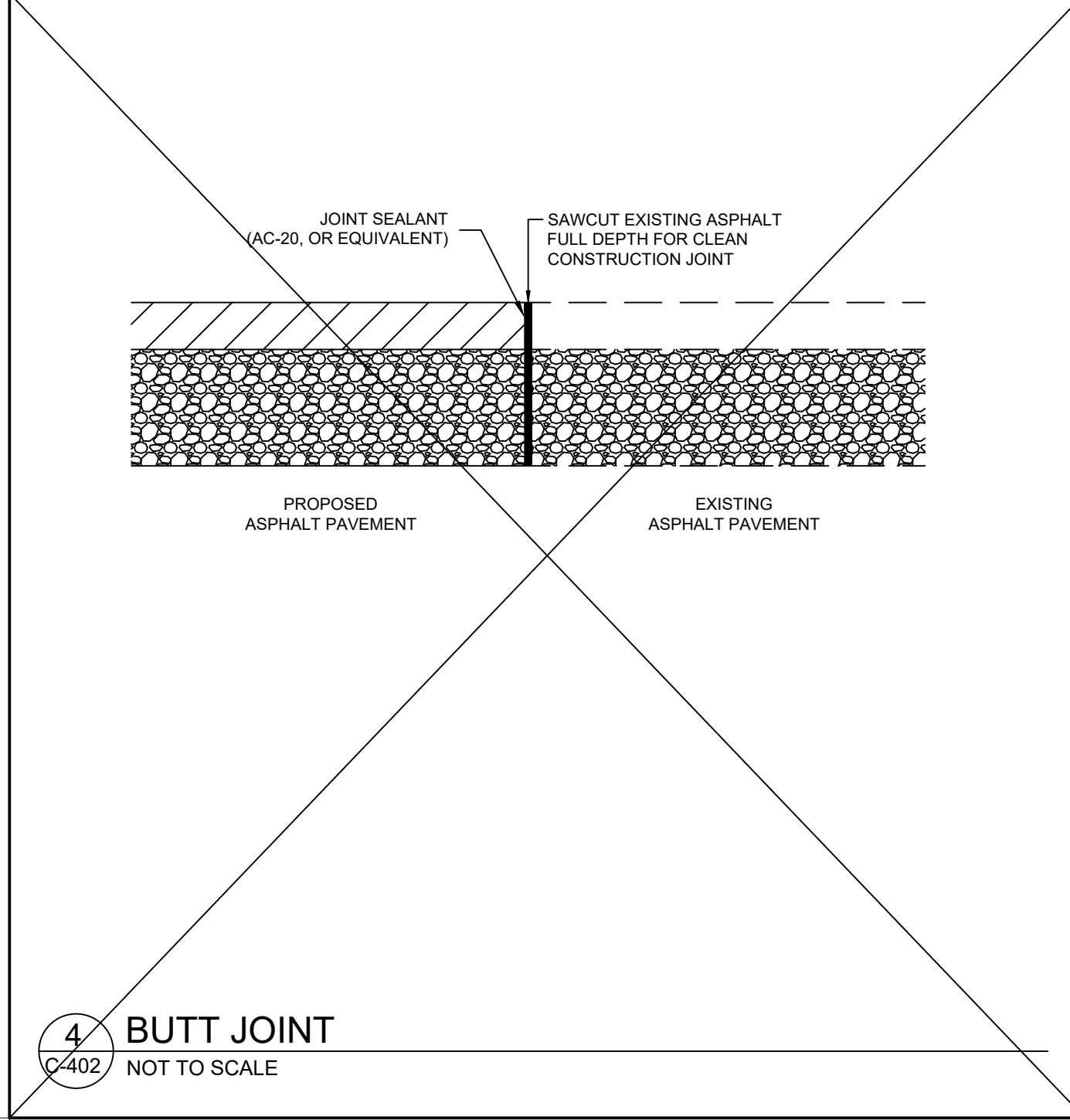
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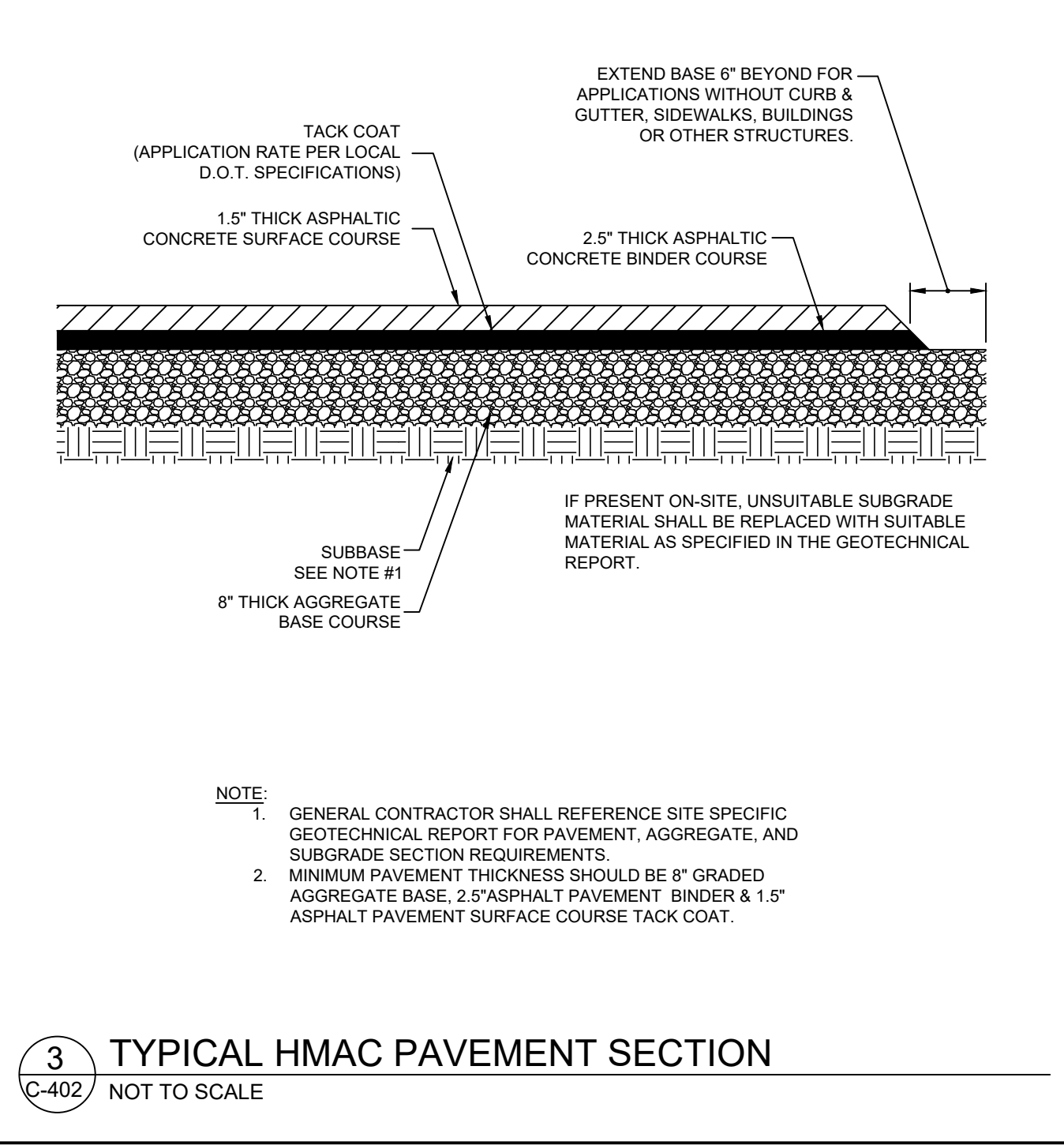
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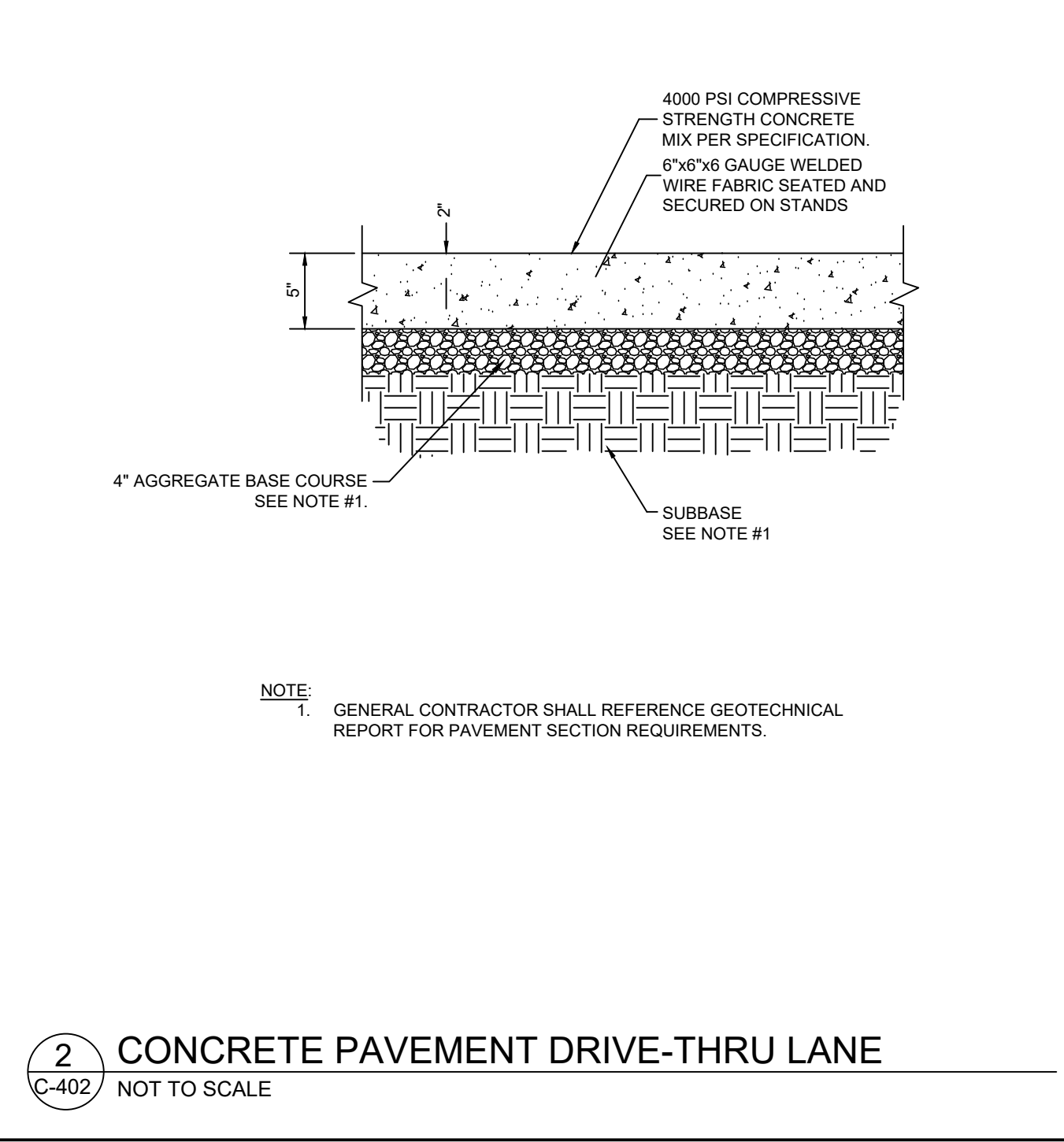
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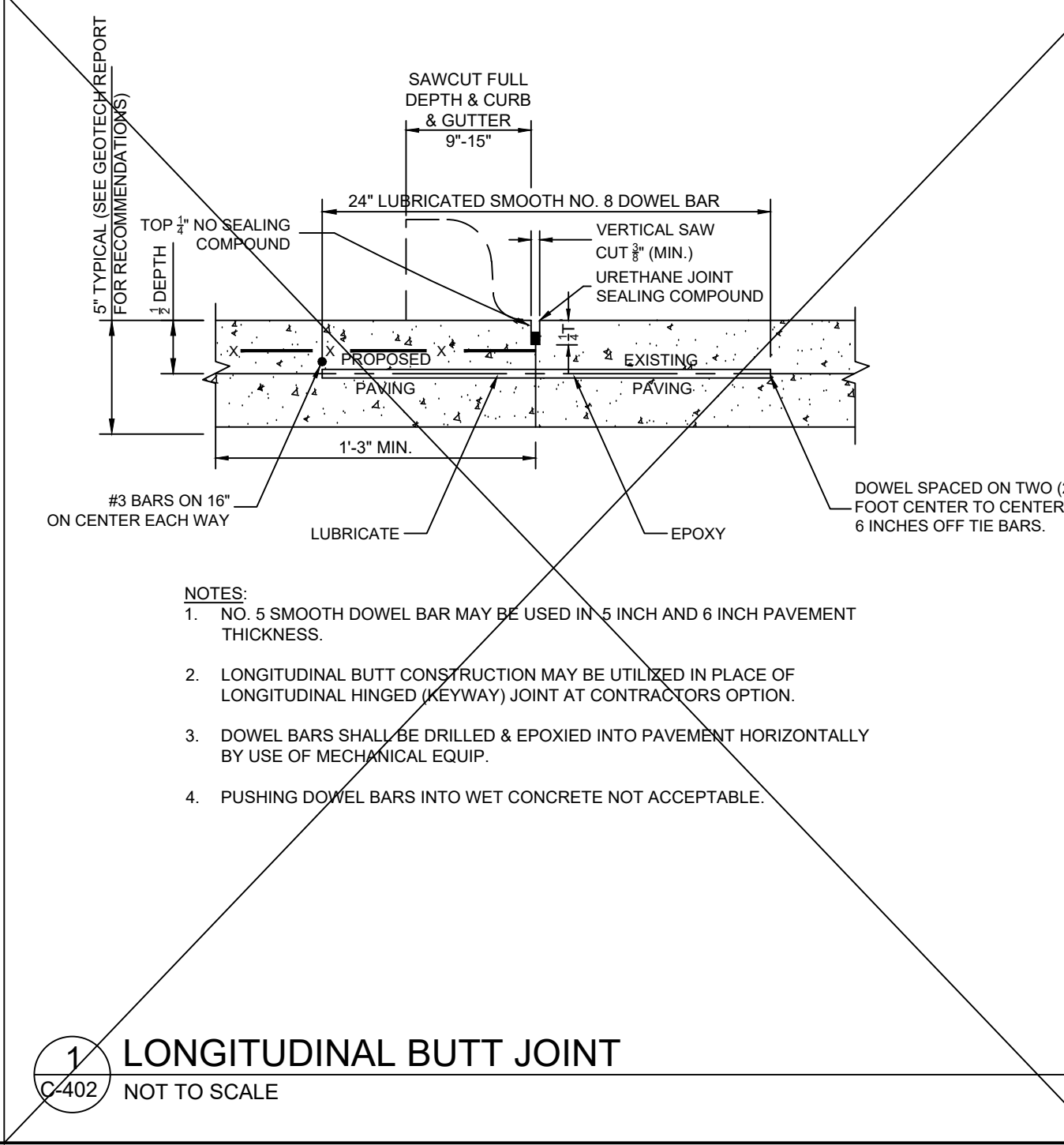
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BUTT JOINT
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3
TYPICAL HMAc PAVEMENT SECTION
C-402 NOT TO SCALE



2
CONCRETE PAVEMENT DRIVE-THRU LANE
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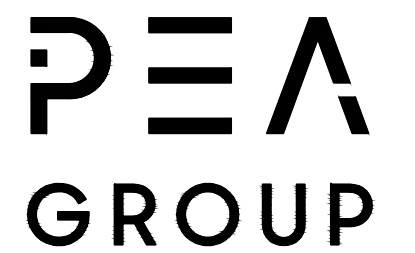


1
LONGITUDINAL BUTT JOINT
C-402 NOT TO SCALE



Chick-fil-A

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5200 Buffington Road
Atlanta, Georgia 30349-2998



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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2022-1054
PRINTED FOR SPA
DATE APRIL 14, 2023
DRAWN BY AJM

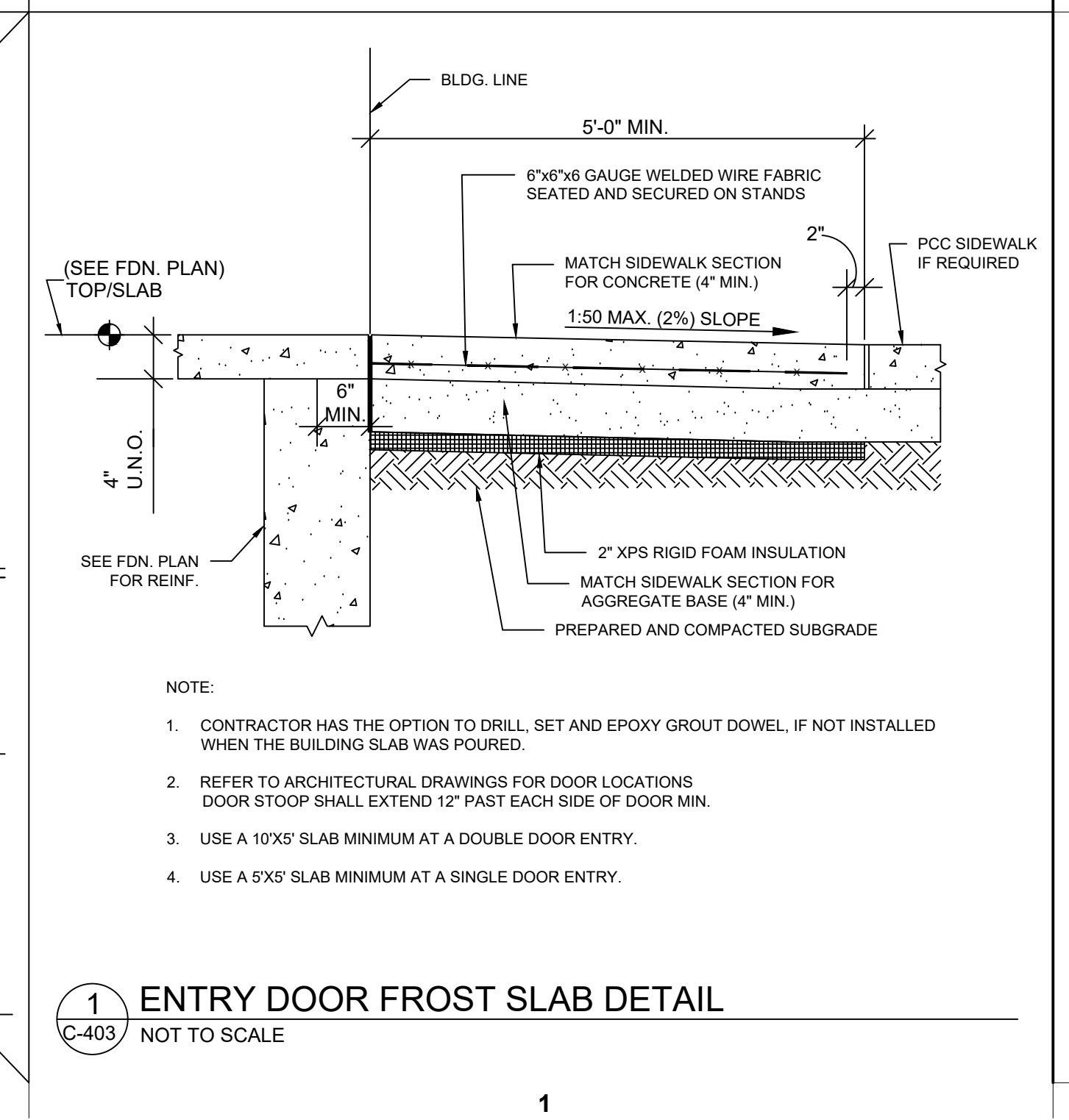
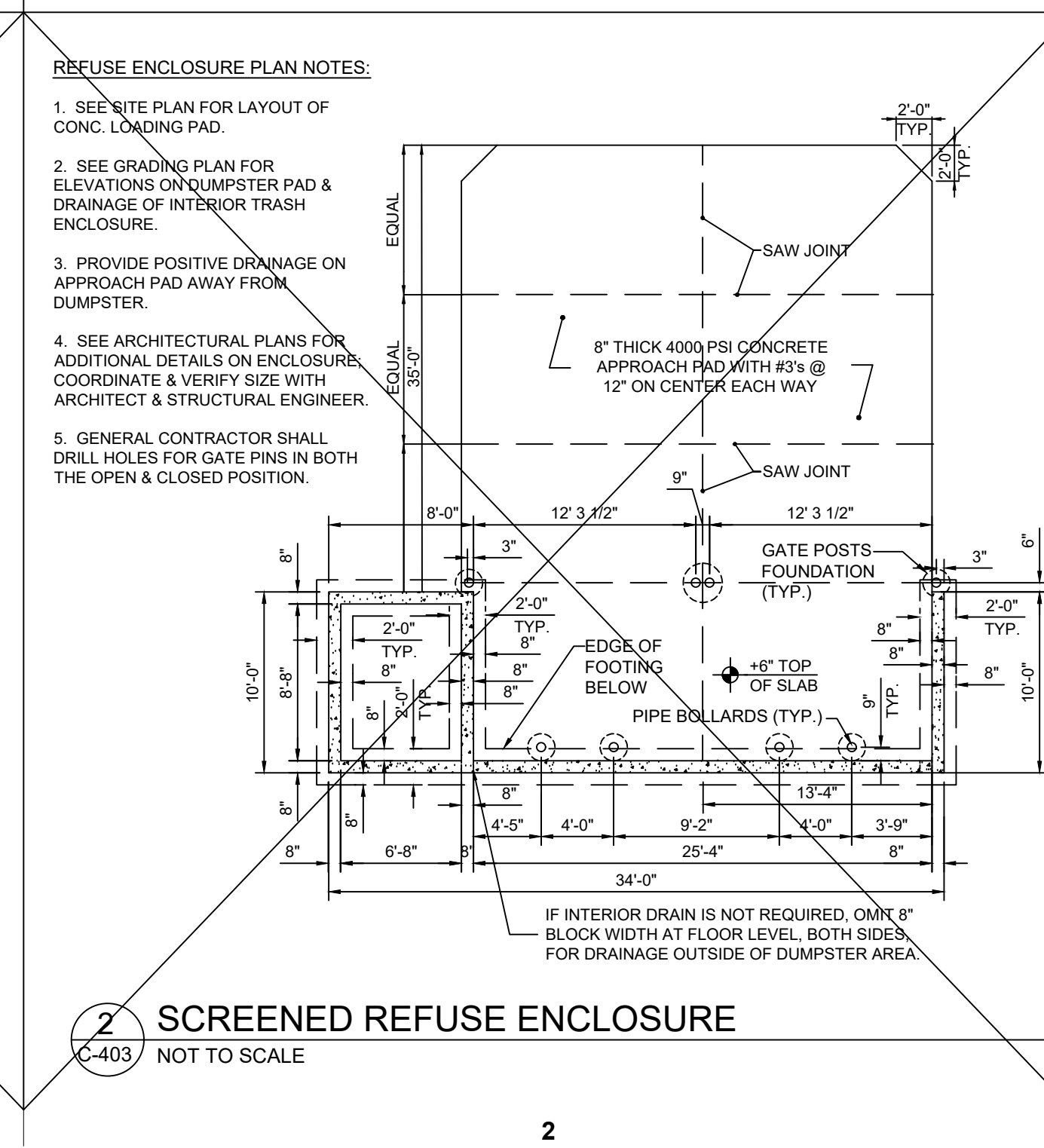
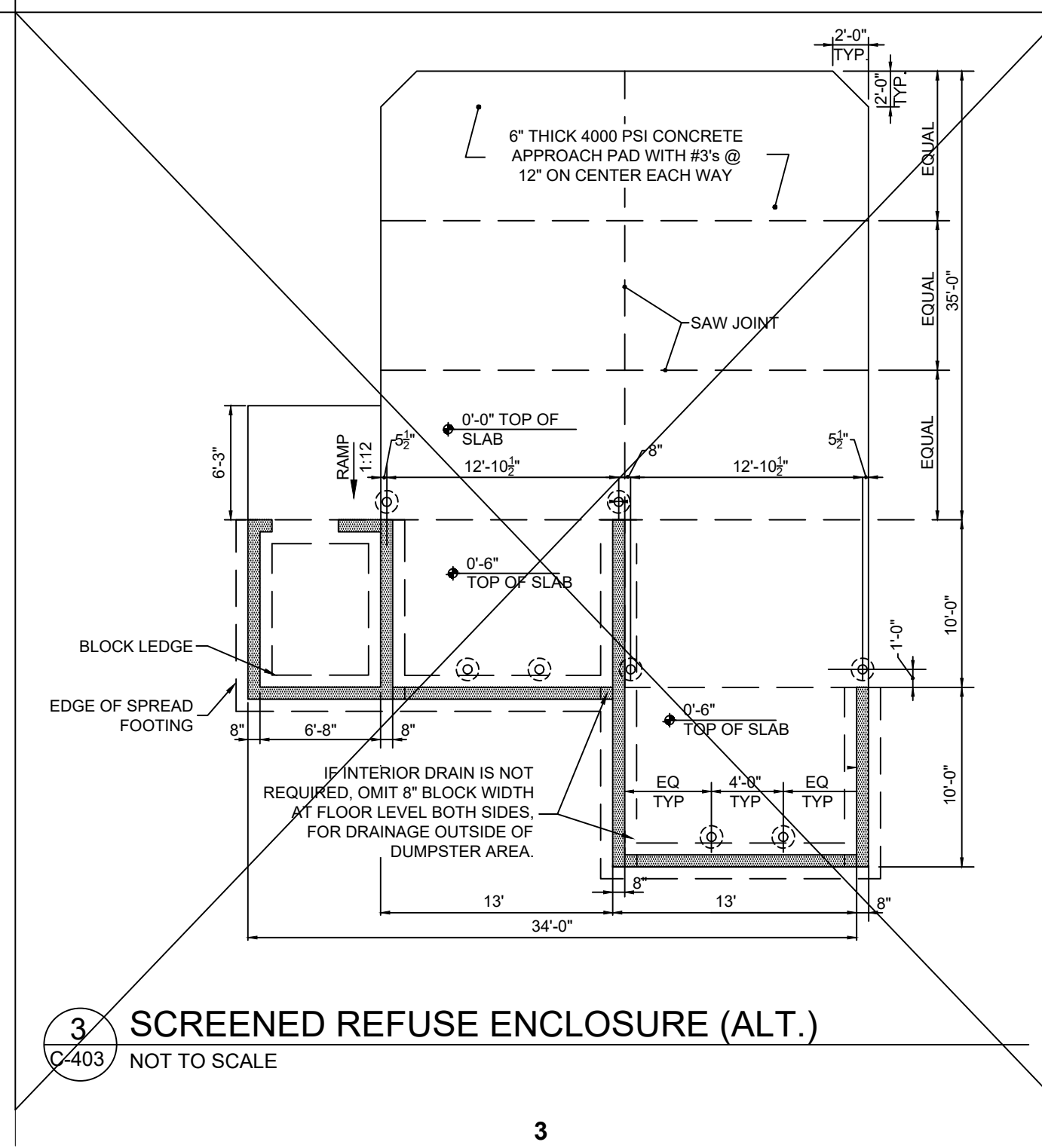
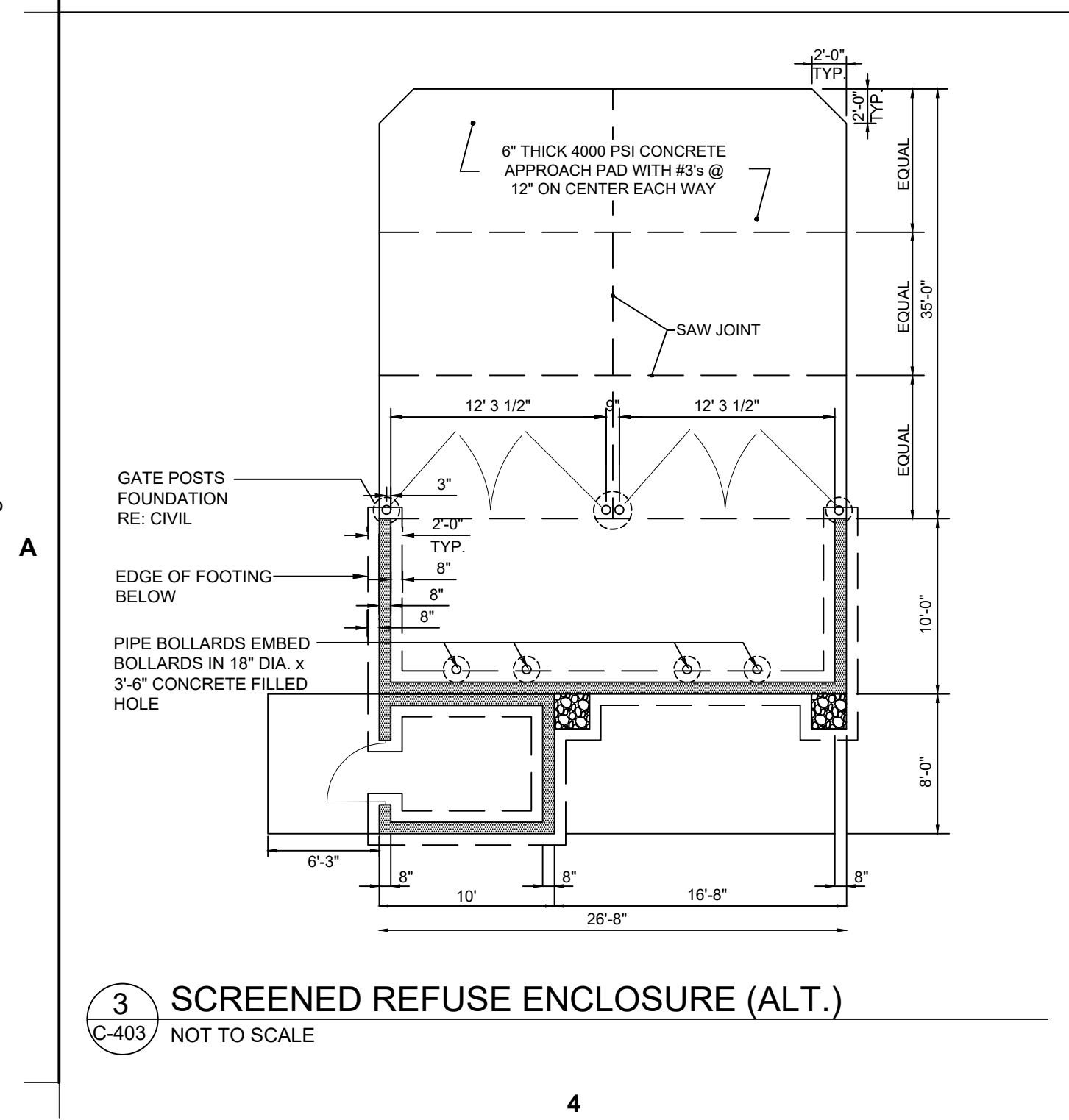
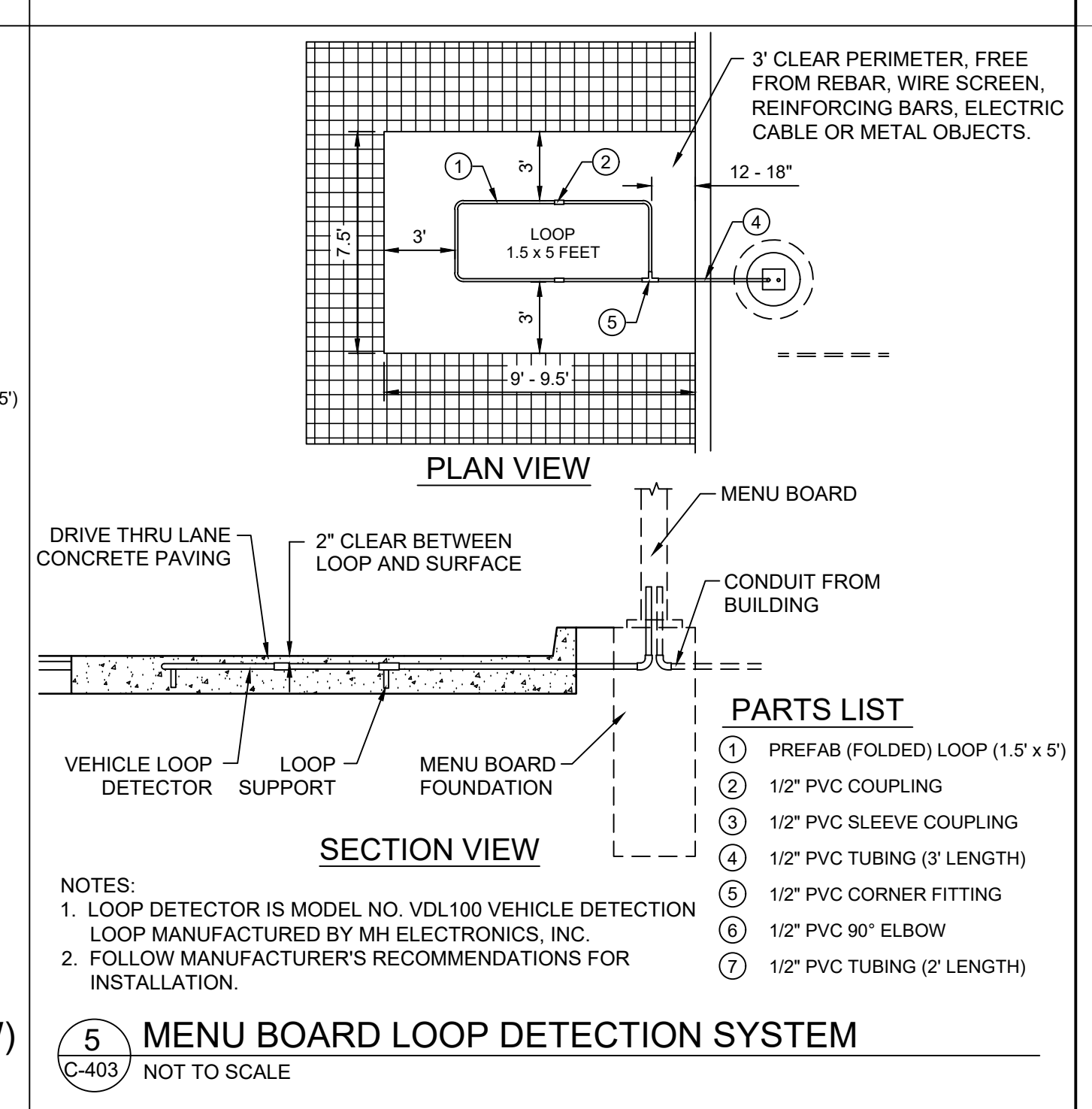
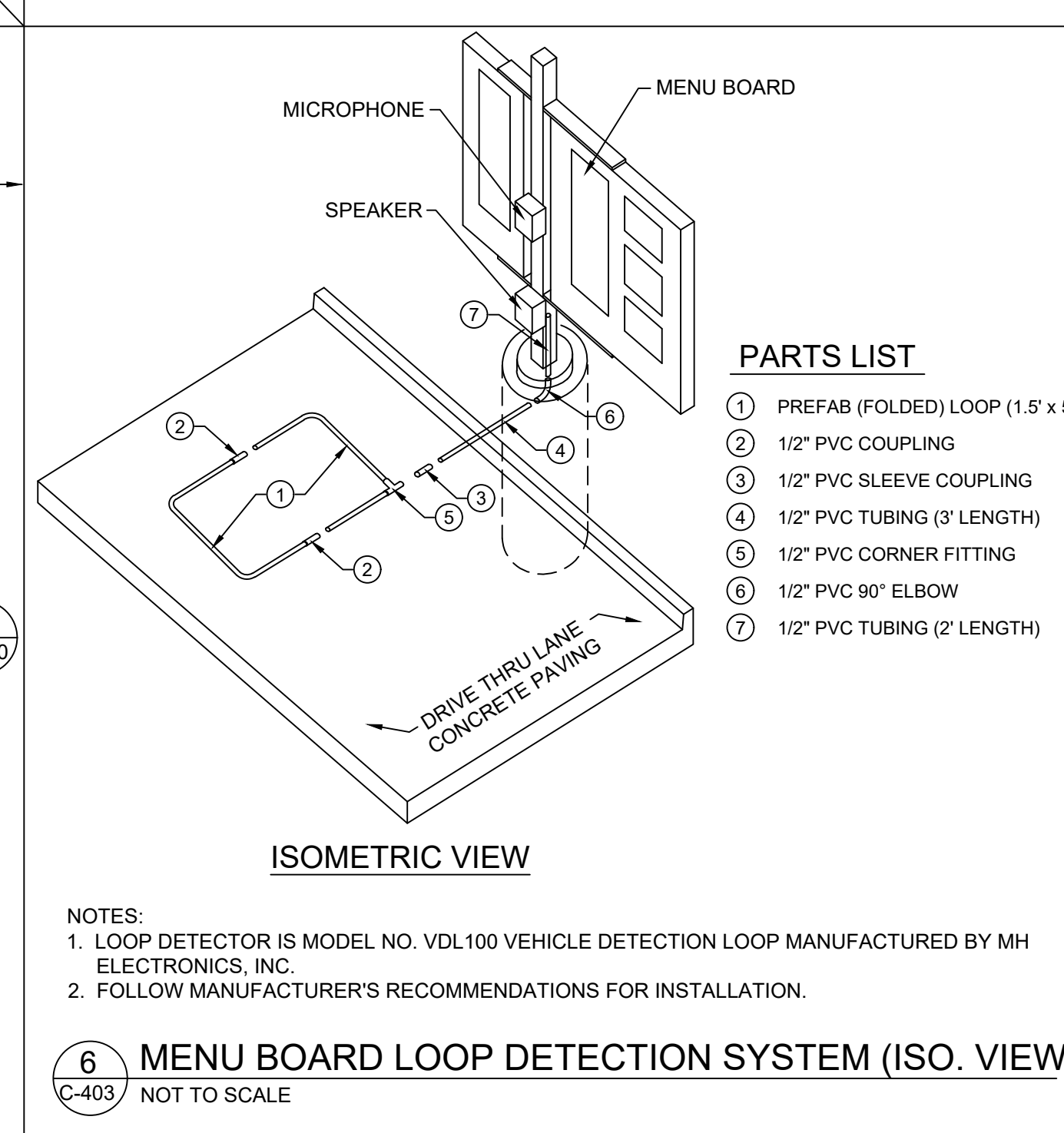
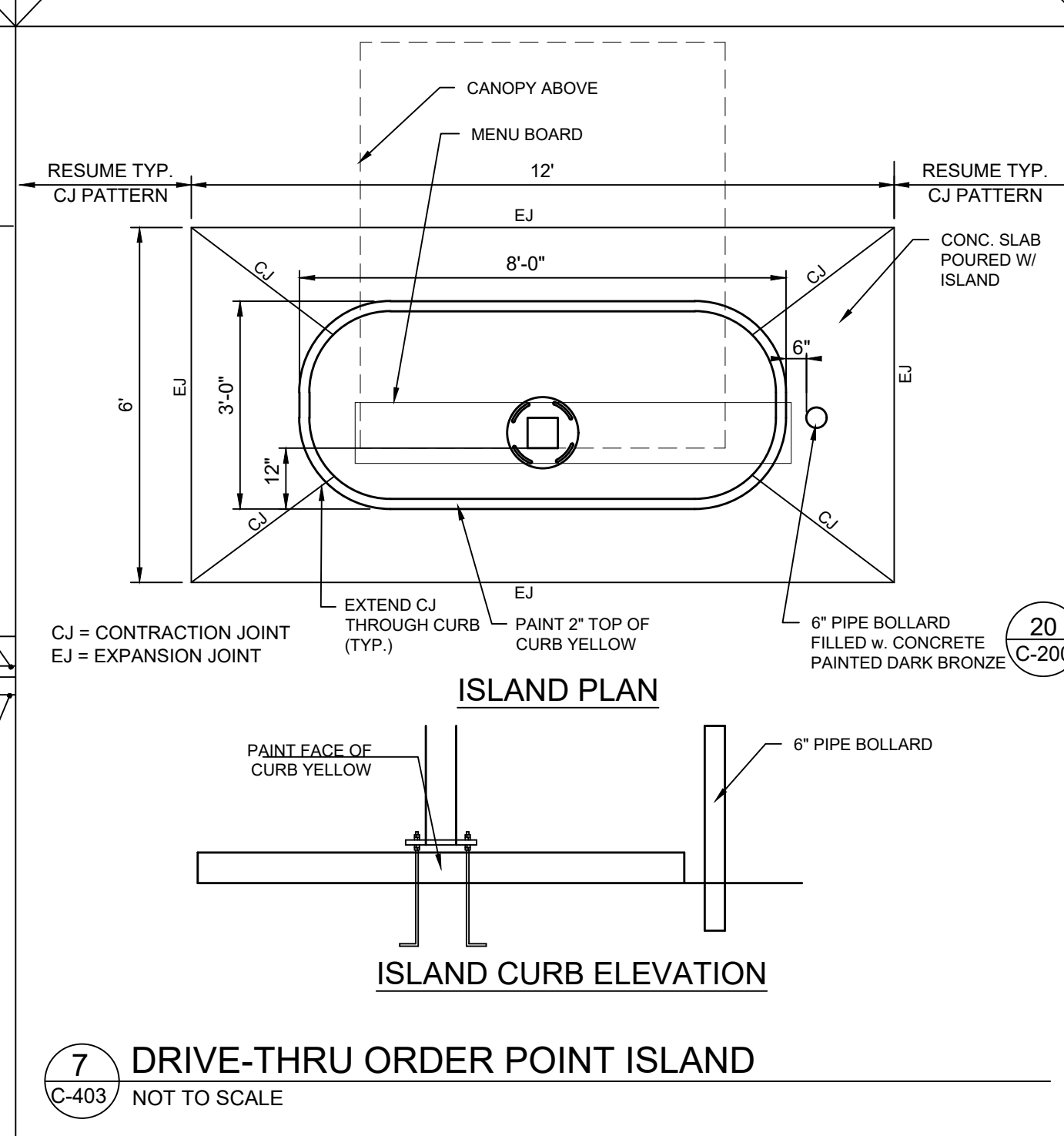
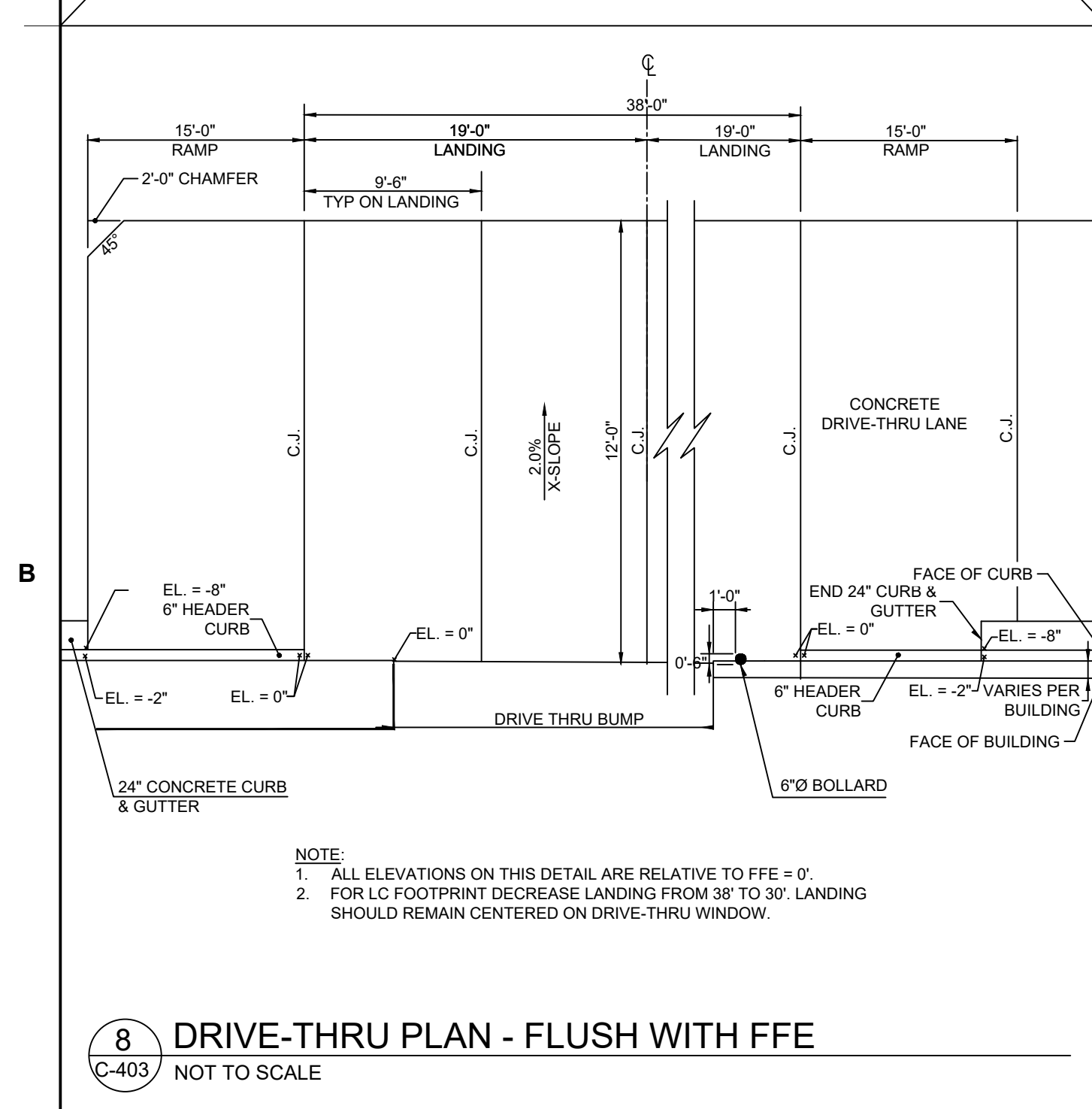
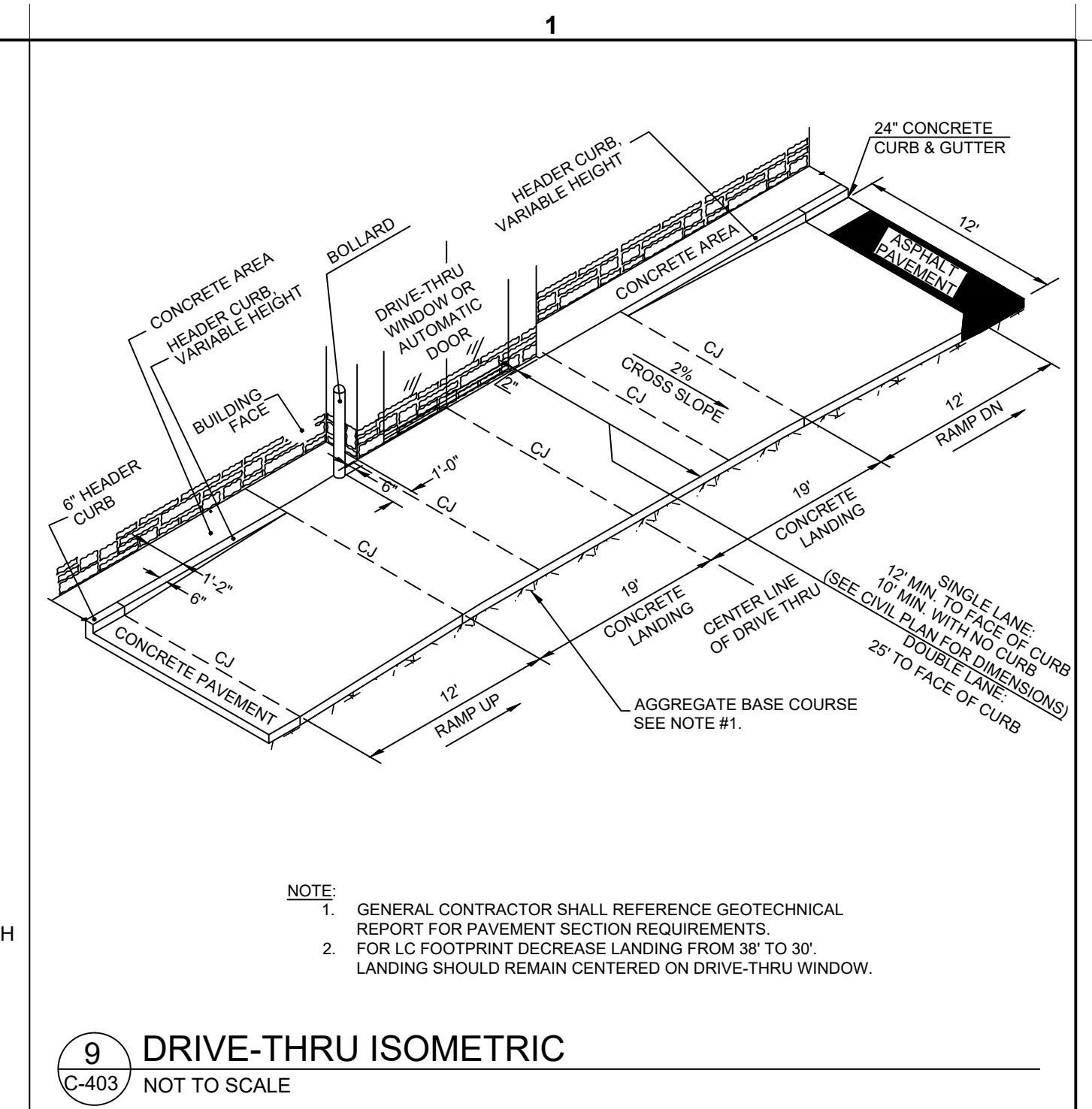
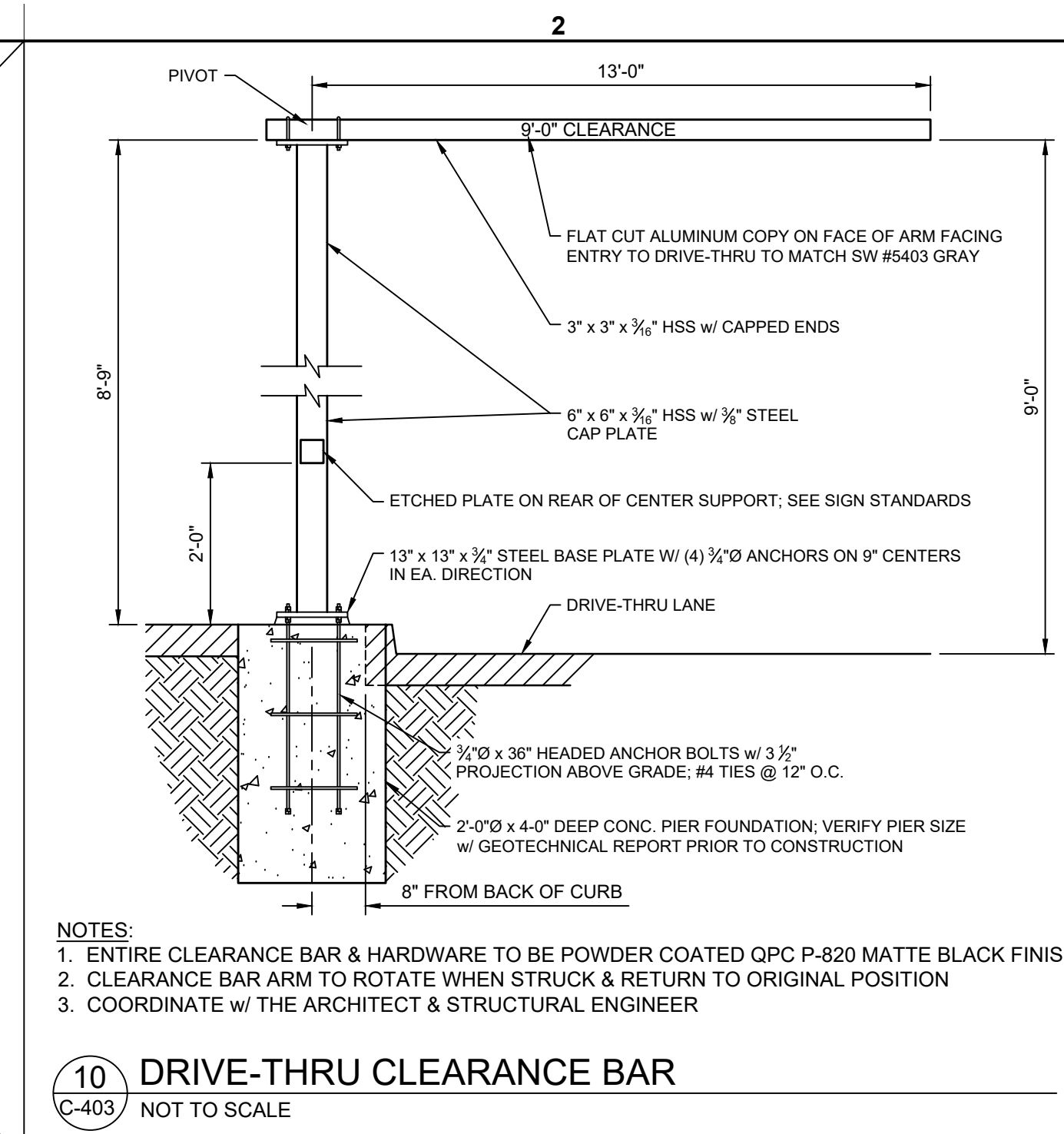
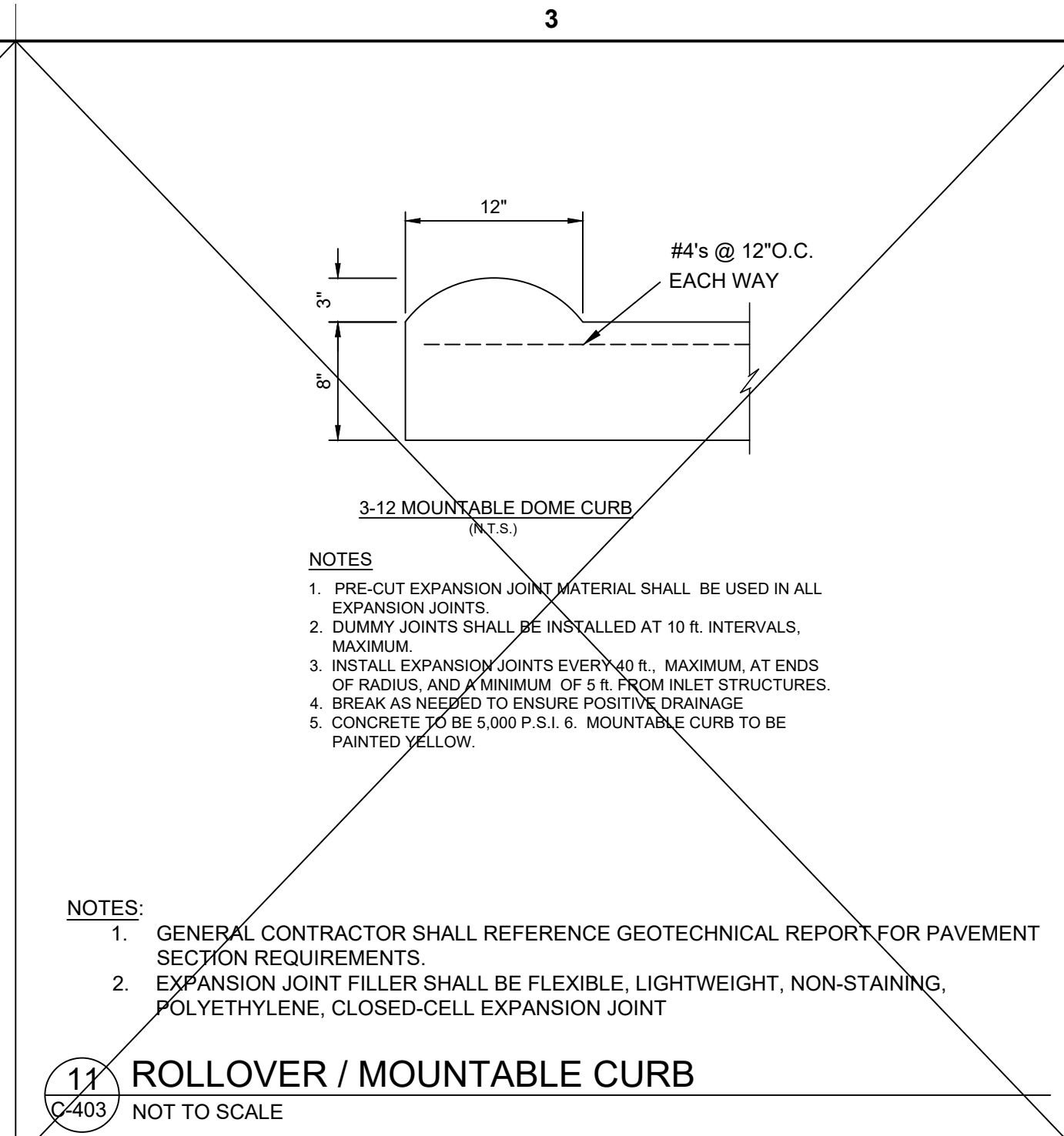
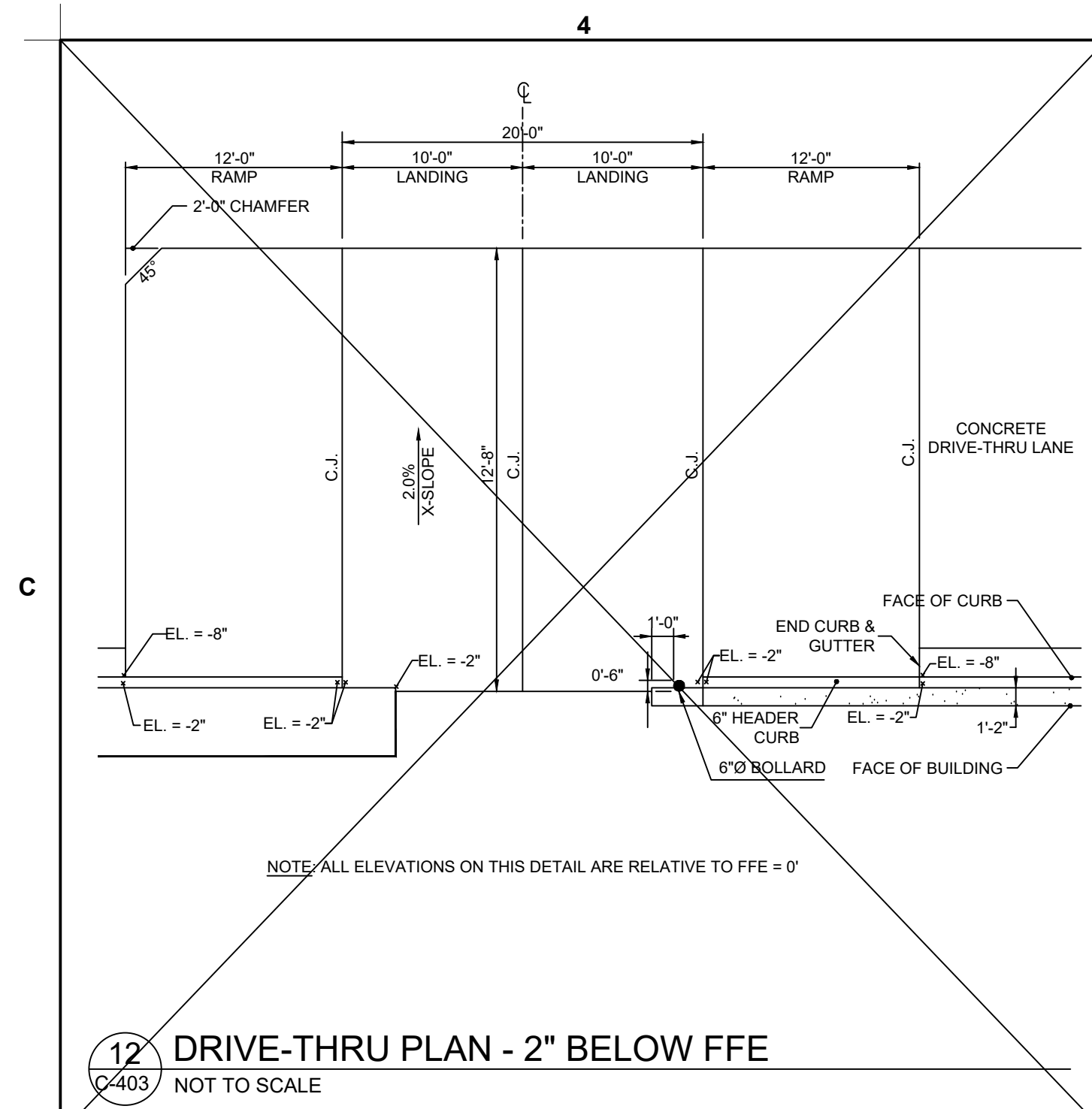
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SHEET
CFA STANDARD
DETAILS (3)

SHEET NUMBER

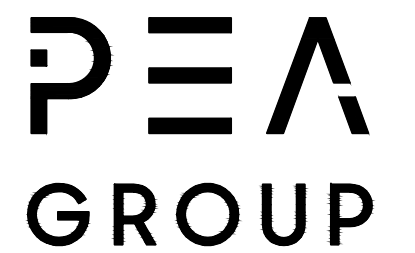
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6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2022-1054
PRINTED FOR SPA
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SHEET CFA STANDARD DETAILS (4)

SHEET NUMBER
C-403



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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2022-1054

PRINTED FOR SPA

DATE APRIL 14, 2023

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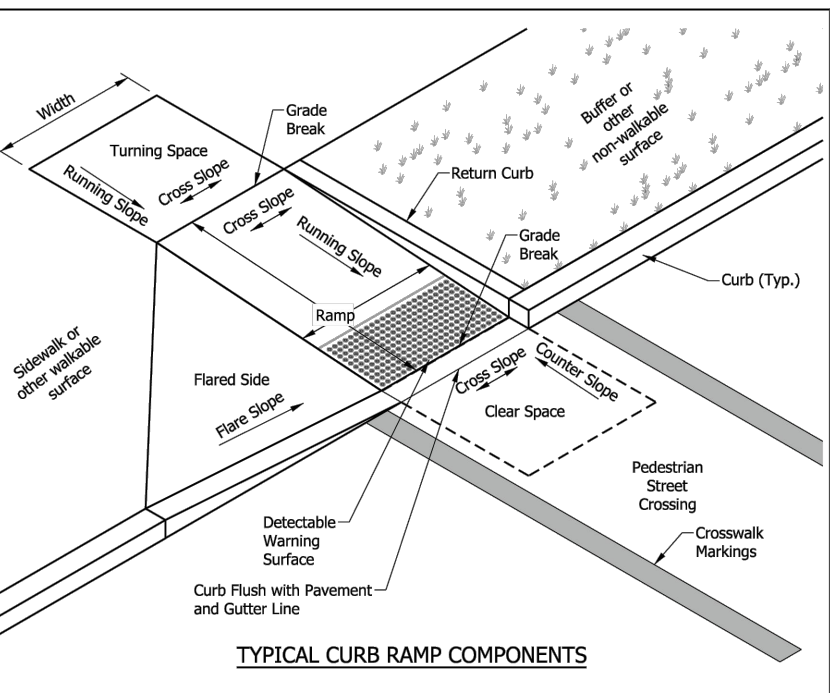
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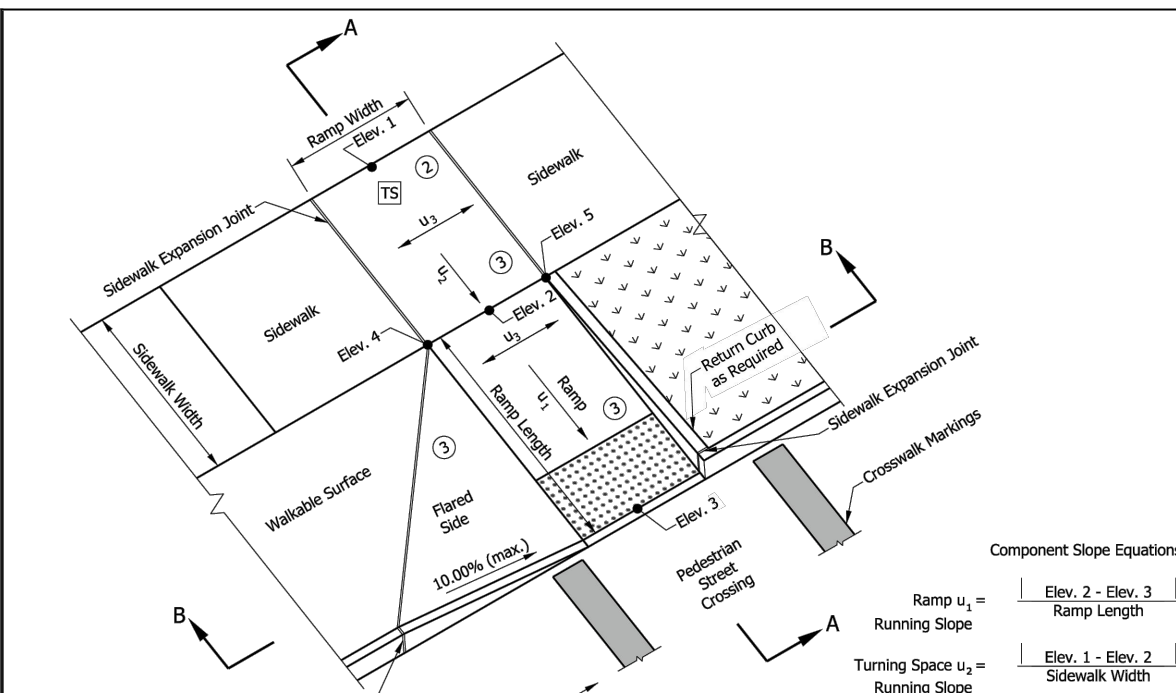
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INDEX table with columns SHEET NO., SUBJECT, and INDEX.

GENERAL NOTES: 1. All slopes are absolute rather than relative to the sidewalk or roadway grade. Slopes at least 0.50% less than the maximum are preferred. 2. Blended Transition: A ramp or blended transition shall be used to lower or raise the sidewalk to connect with the street or highway. 3. Turning Space: A turning space shall be provided at the top of a perpendicular ramp, bottom of a parallel ramp, or where the pedestrian travel requires a change in direction. A common turning space may be shared by adjacent ramps. The turning space shall have a minimum clear dimension of 4 ft x 4 ft. Where the turning space is constrained at the back of the sidewalk by a curb, retaining wall, building, or feature over 2 inches in height, the maximum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope. 4. Flared Side: A flared side shall be used adjacent to a walkable surface. A flared side may be used adjacent to a non-walkable surface. A flared side shall have a maximum slope of 10.00% measured parallel to the back of the curb. 5. Return Curb: A return curb is placed perpendicular to the roadway curb. A return curb may be used adjacent to a non-walkable surface. A return curb shall not be used adjacent to a walkable surface. The return curb may be omitted where the non-walkable surface is flared and the curb adjacent to the roadway is spaced to meet the flush curb at its bottom of the ramp. 6. Clear Space: A clear space shall be provided beyond the bottom grade break of a curb ramp wholly contained within the crosswalk and wholly outside the parallel vehicular travel path. The clear space shall have a minimum clear dimension of 4 ft x 4 ft. 7. Detectable Warning Surface: A detectable warning surface shall consist of truncated domes and be placed at each street, highway, or railroad crossing. The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and be placed the entire width of a ramp, blended transition, or turning space. 8. Running Slope: The running slope of a ramp, blended transition, or turning space shall be measured perpendicular to the direction of pedestrian travel. a. A running slope of 2.00% or less is considered level. b. A ramp shall have a maximum running slope of 8.33% but shall not require a ramp length to exceed 15 ft. c. A blended transition shall have a maximum running slope of 5.00%. d. A turning space shall have a maximum running slope of 2.00%. 9. Width: Unless otherwise noted, minimum width of a ramp, blended transition, or turning space, excluding flared sides or return curbs, shall be 4 ft. 10. Grade Break: A grade break at the top and bottom of a ramp, blended transition, or turning space shall be perpendicular to the running slope. Grade breaks shall not be within the ramp, blended transition, turning space, or detectable warning surface. Grade breaks shall be flush. Vertical discontinuities shall not be greater than 1/2 in. Where a discontinuity is greater than 1/4 in, the surface shall be beveled with a slope not steeper than 1V:2H. 11. Cross Slope Exceptions: The cross slope of a ramp, blended transition, or turning space shall be measured perpendicular to the direction of pedestrian travel. a. The maximum cross slope at a pedestrian street crossing without yield or stop control shall be 2.00%. b. The maximum cross slope at a pedestrian street crossing with yield or stop control shall be 2.00%. c. The maximum cross slope at a railroad crossing shall be the established grade of the adjacent roadway. 12. Counter Slope: A counter slope is the cross slope of the gutter or street adjacent to the running slope of the ramp, blended transition, or turning space. See Standard Drawing E 604-SWCR-04 for counter slope details. 13. Objects such as utility cover, walk frame, and grating shall be placed outside the curb ramp. 14. Curb ramps shall be placed within the marked crosswalk area. 15. Drainage inlets should be located uphill from a curb ramp to prevent ponding in the path of pedestrian travel.



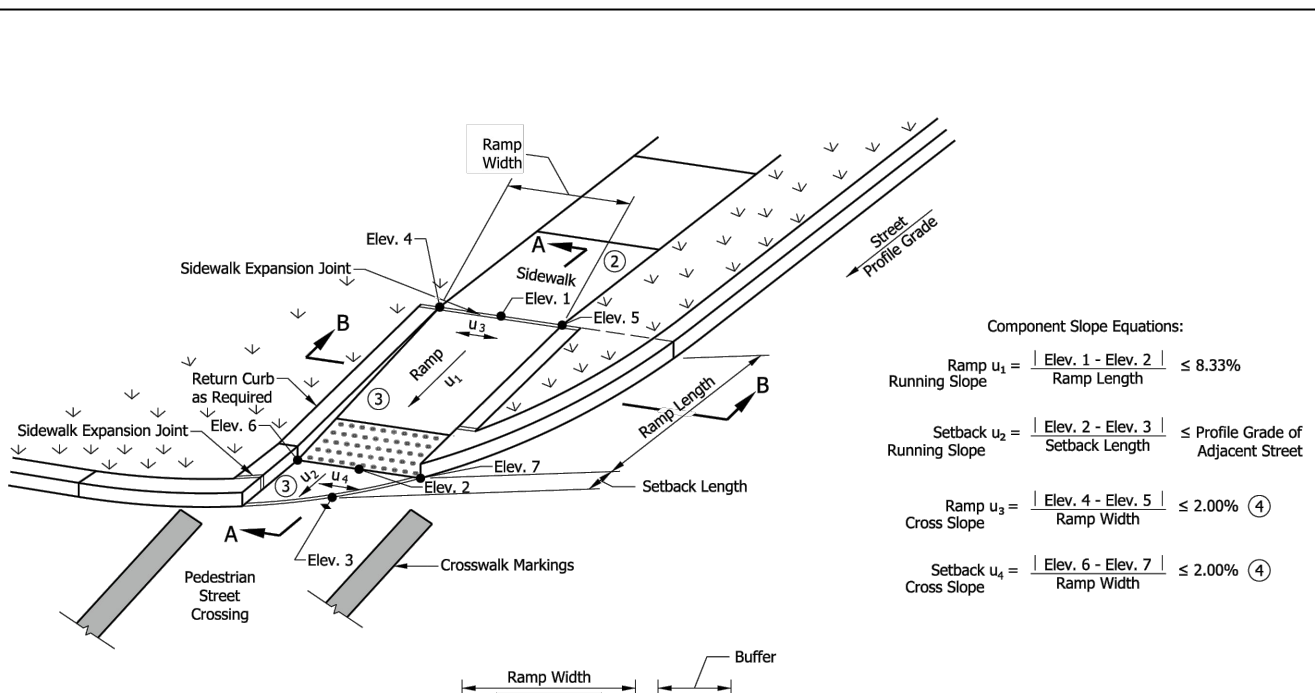
INDIANA DEPARTMENT OF TRANSPORTATION CURB RAMP DRAWING INDEX AND GENERAL NOTES SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-01



INDIANA DEPARTMENT OF TRANSPORTATION PERPENDICULAR CURB RAMP COMPONENT DETAILS SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-04

NOTES: 1. The bottom edge of the ramp and top of curb shall be flush with the edge of adjacent pavement and gutter line. 2. The turning space shall have a minimum clear dimension of 4 ft x 4 ft. Where the turning space is constrained at the back of the sidewalk, the minimum clear dimension shall be 4 ft x 5 ft, with the 5-ft dimension in the direction of the ramp running slope. Where a blended transition curb ramp is used, a constrained turning space shall have a minimum clear dimension of 5 ft x 5 ft. 3. Curb ramp surface shall be coarse broomed transverse to the running slope. 4. See Standard Drawing E 604-SWCR-01 for cross slope exceptions. 5. See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details. 6. See Standard Drawing E 604-CCS-01 for sidewalk expansion joint details.

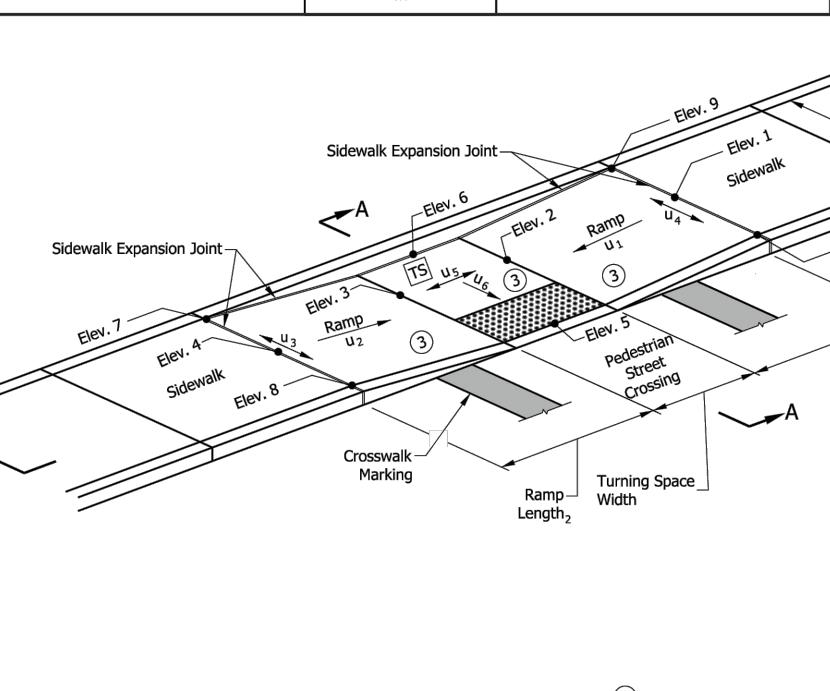
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INDIANA DEPARTMENT OF TRANSPORTATION BLENDED TRANSITION CURB RAMP COMPONENT DETAILS SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-10

NOTES: 1. The bottom edge of the ramp or setback and top of curb shall be flush with the edge of adjacent pavement and gutter line. 2. A turning space is not required at the top of the ramp for a one-way directional perpendicular curb ramp. 3. Curb ramp surface shall be coarse broomed transverse to the running slope. 4. See Standard Drawing E 604-SWCR-01 for cross slope exceptions. 5. See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details. 6. See Standard Drawing E 604-CCS-01 for sidewalk expansion joint details.

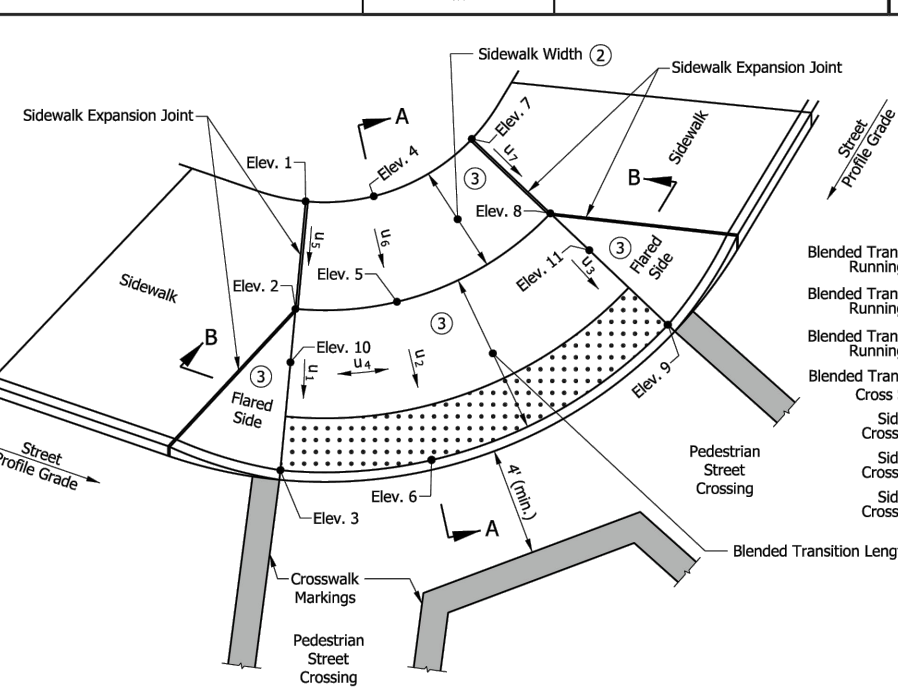
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INDIANA DEPARTMENT OF TRANSPORTATION PARALLEL CURB RAMP COMPONENT DETAILS SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-08

NOTES: 1. The bottom edge of the turning space and top of curb shall be flush with the edge of adjacent pavement and gutter line. 2. The turning space shall have a minimum clear dimension of 4 ft x 4 ft and a running slope of 2.00% maximum. Where the turning space is constrained at the back of the sidewalk, the minimum clear dimension shall be 5 ft, with the 5-ft dimension in the direction of the ramp running slope. 3. Curb ramp surface shall be coarse broomed transverse to the running slope. 4. Where there is no buffer between the sidewalk and curb, the preferred minimum sidewalk width is 6 ft. Where a buffer is placed between the sidewalk and curb, the preferred minimum sidewalk width is 5 ft. See Standard Drawing Series E 604-SWCR-01 for sidewalk details. 5. See Standard Drawing E 604-SWCR-01 for cross slope exceptions. 6. See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details. 7. See Standard Drawing E 604-CCS-01 for sidewalk expansion joint details.

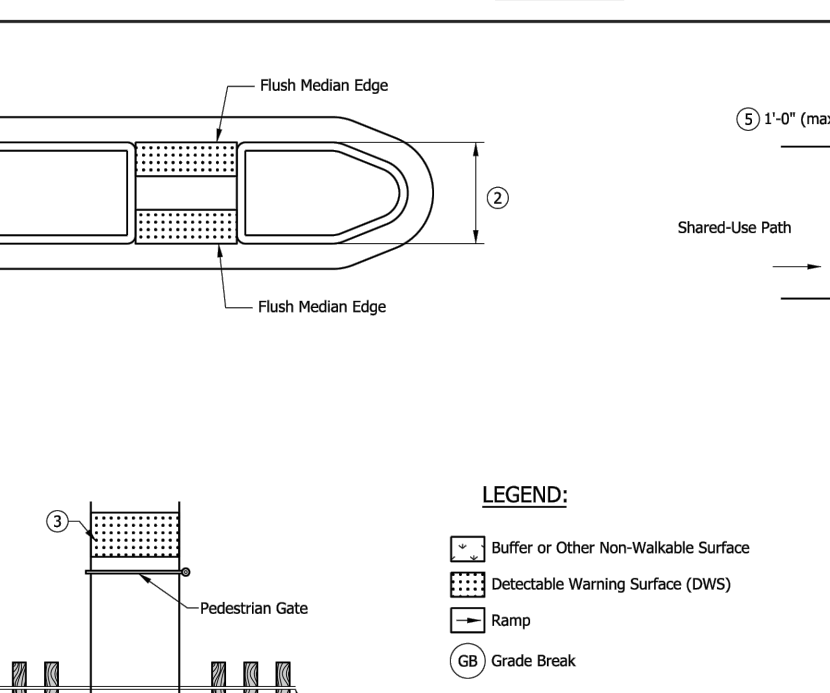
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INDIANA DEPARTMENT OF TRANSPORTATION BLENDED TRANSITION CURB RAMP COMPONENT DETAILS SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-10

NOTES: 1. The bottom edge of the blended transition and top of curb shall be flush with the edge of adjacent pavement and gutter line. 2. Where the running slope is less than or equal to 2.00% a 4-ft minimum sidewalk is not required, but the blended transition and the minimum sidewalk shall be provided. Where the running slope is greater than 2.00%, a 4-ft minimum sidewalk shall be provided between the blended transition and the running slope shall not exceed 5.00%. 3. Curb ramp surface shall be coarse broomed transverse to the running slope. 4. See Standard Drawing E 604-SWCR-01 for cross slope exceptions. 5. See Standard Drawing E 604-SWCR-12, -13, and -14 for Detectable Warning Surface placement, configuration, and details. 6. See Standard Drawing E 604-CCS-01 for sidewalk expansion joint details.

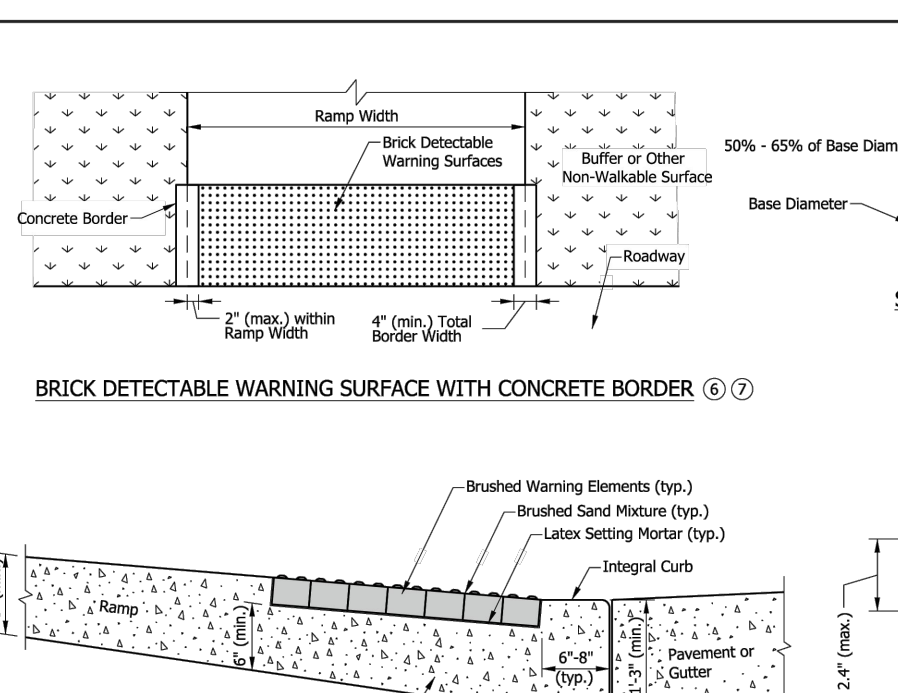
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INDIANA DEPARTMENT OF TRANSPORTATION SHARED-USE PATH SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-11

NOTES: 1. The detectable warning surface shall extend a minimum length of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break. The edges of adjacent panels shall be parallel and tightly abutted. 2. The detectable warning surface on a median cut-through shall be placed at the flush transition between the street and median cut-through. Where a median is less than 6 ft, a detectable warning surface shall not be placed. 3. Where a pedestrian gate is provided at a railroad crossing, the detectable warning surface shall be placed on the side of the gate opposite the railroad crossing. 4. The edge of the detectable warning surface nearest to the railroad crossing shall be placed 6 ft minimum and 15 ft maximum from the centerline of the nearest rail. 5. Where shared-use path intersects a street or highway, the detectable warning surface shall be placed on the shared-use path within 1 ft of the street or highway edge. 6. Plate ends shall be placed at the back of curb. The distance between the back of curb and the front face of the detectable warning surface shall not exceed 6 in. between the ends. 7. See Standard Drawing E 604-SWCR-14 for detectable warning surface details.

INDIANA DEPARTMENT OF TRANSPORTATION SHARED-USE PATH SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-11



INDIANA DEPARTMENT OF TRANSPORTATION BRICK DETECTABLE WARNING SURFACE WITH CONCRETE BORDER SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-12

NOTES: 1. The detectable warning surface shall consist of truncated domes. Domes shall be aligned in a square or radial grid pattern with diameter and center-to-center spacing within the ranges specified. 2. The detectable warning surface may be field cut. Truncated dome spacing between adjacent panels shall be within the ranges specified. 3. The detectable warning surface shall contrast visually with adjacent surfaces, either light-on-dark or dark-on-light. 4. The detectable warning surface shall extend a minimum of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break. 5. The maximum counter slope of the gutter or street at the bottom of the ramp shall be 5.00%. Where the algebraic difference between the running slope and the counter slope exceeds 1 1/2%, a 2-ft minimum level strip should be provided at the bottom of the ramp. 6. Where a concrete border is used for forming, the border shall be cast monolithically with the curb ramp concrete. The concrete border shall not reduce the ramp width by more than 2 in. on each side. 7. Where forming other than a concrete border is used, the edge restraint shall not encroach upon the ramp width.

INDIANA DEPARTMENT OF TRANSPORTATION BRICK DETECTABLE WARNING SURFACE WITH CONCRETE BORDER SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-12



INDIANA DEPARTMENT OF TRANSPORTATION ALTERNATE DETECTABLE WARNING SURFACE PLACEMENT SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-13

NOTES: 1. The detectable warning surface shall extend a minimum length of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break. The edges of adjacent panels shall be parallel and tightly abutted. 2. The detectable warning surface on a median cut-through shall be placed at the flush transition between the street and median cut-through. Where a median is less than 6 ft, a detectable warning surface shall not be placed. 3. Where a pedestrian gate is provided at a railroad crossing, the detectable warning surface shall be placed on the side of the gate opposite the railroad crossing. 4. The edge of the detectable warning surface nearest to the railroad crossing shall be placed 6 ft minimum and 15 ft maximum from the centerline of the nearest rail. 5. Where shared-use path intersects a street or highway, the detectable warning surface shall be placed on the shared-use path within 1 ft of the street or highway edge. 6. Plate ends shall be placed at the back of curb. The distance between the back of curb and the front face of the detectable warning surface shall not exceed 6 in. between the ends. 7. See Standard Drawing E 604-SWCR-14 for detectable warning surface details.

INDIANA DEPARTMENT OF TRANSPORTATION ALTERNATE DETECTABLE WARNING SURFACE PLACEMENT SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-13



INDIANA DEPARTMENT OF TRANSPORTATION ALTERNATE CURB CONSTRUCTION SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-14

NOTES: 1. The detectable warning surface shall extend a minimum length of 2 ft in the direction of pedestrian travel and extend the full width as shown. The detectable warning surface shall not be placed across a grade break. The edges of adjacent panels shall be parallel and tightly abutted. 2. The detectable warning surface on a median cut-through shall be placed at the flush transition between the street and median cut-through. Where a median is less than 6 ft, a detectable warning surface shall not be placed. 3. Where a pedestrian gate is provided at a railroad crossing, the detectable warning surface shall be placed on the side of the gate opposite the railroad crossing. 4. The edge of the detectable warning surface nearest to the railroad crossing shall be placed 6 ft minimum and 15 ft maximum from the centerline of the nearest rail. 5. Where shared-use path intersects a street or highway, the detectable warning surface shall be placed on the shared-use path within 1 ft of the street or highway edge. 6. Plate ends shall be placed at the back of curb. The distance between the back of curb and the front face of the detectable warning surface shall not exceed 6 in. between the ends. 7. See Standard Drawing E 604-SWCR-14 for detectable warning surface details.

INDIANA DEPARTMENT OF TRANSPORTATION ALTERNATE CURB CONSTRUCTION SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-14

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PROPOSED PLANT LIST AND SUMMARY OF TOTAL PLANT UNIT VALUE EQUIVALENT

Table 4.7-C - Plant Unit Values Per City of Plainfield Zoning Ordinance Article 4.7

Plant Categories (Minimum Size at Time of Planting)	Plant Unit Value	Quantity	Total Plant Unit Value	Key Symbol	Common Name	Scientific Name	Spec
Deciduous shade (overstory) tree (2.5 in. caliper)	0.75	3	2.25	GB2.5	Magyar Ginkgo	Ginkgo biloba 'Magyar'	B&B
	0.75	5	3.75	GT2.5	Sunburst Honeylocust	Gleditsia triacanthos f. inermis 'Suncole'	B&B
	0.75	4	3	TB2.5	Boulevard Linden	Tilia americana 'Boulevard'	B&B
Deciduous shade (overstory) tree (4 in. caliper)	1	4	4	AR4	Scarlet Sentinel Maple	Acer rubrum 'Scarsen'	B&B
Deciduous shade (overstory) tree (4 in. caliper)	1	3	3	GP4	Princeton Sentry Ginkgo	Ginkgo biloba 'Princeton Sentry'	B&B
Evergreen tree (6 ft. high)	0.5	2	1	AC6	Concolor Fir	Abies concolor	B&B
Evergreen tree (6 ft. high)	0.5	7	3.5	PG6	White Spruce	Picea glauca	B&B
Hedge plant - 24 in. high	0.05	20	1	RA24	Gro Low Sumac	Rhus aromatica 'Gro-Low'	Cont.
	0.05	24	1.2	SM24	Magic Carpet Spirea	Spiraea japonica 'Magic Carpet'	Cont.
	0.05	35	1.75	TM24	Dense Yew	Taxus media 'Densiformis'	Cont.
	0.1	11	1.1	HB36	Bobo Hydrangea	Hydrangea paniculata 'Bobo'	Cont.
Hedge plant - 36 in. high	0.1	11	1.1	EA36	Compact Burning Bush	Euonymus alatus 'Compactus'	Cont.
	0.1	29	2.9	JG36	Seagreen Juniper	Juniperus chinensis 'Sea Green'	Cont.
	0.1	23	2.3	VB36	Blue Muffin Viburnum	Viburnum dentatum 'Christoni'	Cont.
TOTAL		190	32.75				

ADDITIONAL SHRUBS NOT PART OF FOUNDATION PLANT CALCULATIONS: EAST OF FLAGPOLE

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	HB36	Bobo Hydrangea	Hydrangea paniculata 'Bobo'	36" Ht.	Cont.
3	TM24	Dense Yew	Taxus media 'Densiformis'	24" Ht.	Cont.
8	TOTAL ADDITIONAL SHRUBS				

REQUIRED LANDSCAPE CALCULATIONS:

PER ZONING ORDINANCE OF PLAINFIELD, INDIANA
ZONING: GC - GENERAL COMMERCIAL
PER ARTICLE 4.7, LANDSCAPE PROVISIONS AND THE GATEWAY CORRIDOR

SECTION 4.7.D
EQUILATE PLANTINGS FOR ALL NEW BLDGS.:
REQUIRED: FOUNDATION PLANT AREAS SHALL BE CALCULATED INDIVIDUALLY PER BLDG SIDE. PLANT AREA SHALL HAVE A TOTAL AREA IN SF NOT LESS THAN 2X THE LENGTH OF THE BLDG WALL.
FDN. PLANTS MAY BE ADJ. TO BLDG OR WITHIN 15' OF BLDG; MIN OF 6' WIDE. FDN PLANTS MAY OVERLAP WITH PERIMETER YARD LANDSCAPE.
LEVEL 1 FOUNDATION PLANT UNIT VALUE REQUIRED: TABLE 4.7-B;
1. PLANT UNIT FOR EA. 100 LF; 295 LF TOT. BLDG/100 = 2.95 PLANT UNIT REQ.
REQUIRED:
NORTH BLDG. SIDE = 67 LF X 2 = 134 SF AREA
SOUTH BLDG. SIDE = 62 LF X 2 = 124 SF AREA
EAST FRONTAGE BLDG. SIDE = 83 LF X 2 = 166 SF AREA
WEST FRONTAGE BLDG. SIDE = 83 LF X 2 = 166 SF AREA = 590 SF REQ. PROVIDED:
52 SHRUBS (41, 24"HT X .05 = 2.05; 11, 36"HT X 1.1 = 11.66 PLANT UNIT VALUE) AND 827 SF AREA FDN. SHRUBS (340 SF + 220 SF + 137 SF = 697 SF)

SECTION 4.7.E
INTERIOR PARKING LOT LANDSCAPE:
REQUIRED: ALL NEW PARKING LOT AREAS SHALL INCLUDE 1 PARKING ISLAND, 8' X 18' MIN. PER EVERY 15 SPACES, WITH 1 TREE PER ISLAND.
THE PARKING AREA FACING THE FRONT OR SIDE YARD SHALL BE SCREENED BY A COMPACT HEDGE ROW OF 24-30" HT. PLANTS AT 3' OC. OR HEDGE PLANT IN COMBINATION WITH ORN. FENCE / WALL OR BERM PROVIDED THAT THE PLANT UNIT VALUE OF THE HEDGE / WALL / BERM EQUALS 1.5X.
48 SPACES / 15 = 4 TREE MIN.
PROVIDED:
4 TREES (4, TREES X .75 = 3 PLANT UNIT VALUE)
CONTINUOUS SHRUB HEDGE AT PARKING AREA FRONT, EAST.
(24, 24" HT SHRUBS X .05 = 1.2 PLANT UNIT VALUE) = 4.2 TOT. PLANT UNIT VALUE

SECTION 4.7.A AND 4.7.C
PERIMETER LANDSCAPE OF PARKING LOTS:
REQUIRED: GC ZONE ADJ TO GC ZONE EQUALS USE OF LEVEL 1 BUFFER YARD
LEVEL 1 = ANY COMBINATION OF PLANTS SELECTED FROM THE PLANT CATEGORIES LISTED IN TABLE 4.7C WHICH EQUALS OR EXCEEDS THE PLANT UNIT VALUE OF 1.0 PER 100 LF.
GC ZONE ADJ. TO LA TO THE EAST AND WEST. USE OF LEVEL 2.
UNIT VALUE OF 2.0/100 LF. AND (DOUBLE FOR INCENTIVE).
REQUIRED:
NORTH: PER. 250 LF/100 = 2.5 PLANT UNIT MIN.
WEST(FRONT)X2: PER. 180 LF/100 = 1.8 PLANT UNIT MIN. X 2 X 2 = 7.2 (DOUBLE)
SOUTH: PER. 326 LF/100 = 3.26 PLANT UNIT MIN.
EAST(FRONT)X2: PER. 238 LF/100 = 2.38 PLANT UNIT MIN. X 2 X 2 = 9.52 (DOUBLE)
TOTAL OF 22.46 PLANT UNIT VALUE REQUIRED
PROVIDED:
NORTH: 22, 36"HT SHRUB X 1.1 = 2.42; 2 TREE X 7.5 = 1.5 TOT = 3.7 PLANT VAL.
WEST(FRONT)X2: 22, 36"HT SHRUB X 1.1 = 2.42; 4 TREE X 7.5 = 3; 4 EVG X 5.5 = 2.2 TOT = 7.2 PLANT VAL
SOUTH: 9, 36"HT SHRUB X 1.1 = .99; 2 TREE X 7.5 = 1.5; 2 EVG X 5.5 = 1.1 TOT = 3.4 PLANT VAL
EAST(FRONT)X2: 8, 36"HT SHRUB X 1.1 = .88; 7, 4"TREE X 1 = .7; 3 EVG X 5.5 = 1.65 TOT = 10.0 PLANT VAL
14, 24"HT SHRUB X .05 = .7 = 24.30 PLANT UNIT VALUE PROVIDED

SECTION 5.5.C.5
GATEWAY CORRIDOR YARD LANDSCAPE:
REQUIRED: FRONT YARDS AND FRONT BUFFER YARDS SHALL BE LANDSCAPED IN COMPLIANCE WITH THE PROVISIONS OF ARTICLE IV, THAT AT LEAST 50% OF THE REQUIRED PLANT UNIT VALUE SHALL BE MADE OF DEC. OVER-STORY TREES, DEC. ORN. UNDER-STORY TREES OR EVG TREES
TOTAL OF ALL PLANT UNITS:
32.75 X 50% = 16.37 REQ. TO BE TREES/ORN/EVG.
PROVIDED TREES ENTIRE SITE: 7, 4" TREE X 1 = .7; 12 TREES X 7.5 = 9; 9 EVG X 5.5 = 4.95; = 20.5 PLANT UNITS
62.5% TOTAL SITE ARE OVERSTORY/EVG
PROVIDED TREES (FRONT) WEST AND EAST:
WEST SIDE(FRONT): (4 TREES)3 + (4 EVG)2 PLANT VALUE/ 7.2 = 89.4 % OVERSTORY
EAST SIDE(FRONT): (7, 4" TREES)7 + (3 EVG)1.5 PLANT VALUE/10.0 = 88.5 % OVERSTORY TREES

SECTION 5.5.C.4.a
TRASH ENCLOSURE LANDSCAPE:
REQUIRED: WHEN SOLID WALLED SIDE OF A TRASH ENCLOSURE ABUTS/ JOINS A YARD OR BUFFER YARD THE SIDE SHALL BE PROVIDED WITH LANDSCAPING OF NOT LESS THAN HEDGE PLANTS MIN. 4' OC.
PROVIDED: AT TRASH ENCLOSURE:
11, 36"HT.SHRUB X 1.1 = 1.1 PLANT VALUE
ENTIRE SITE TOTAL = 32.75 PLANT UNITS PROVIDED

- KEY NOTES:
- IRRIGATED SOD LAWN, TYP.
 - RESTORE NON-IRRIGATED SEED LAWN, TYP.
 - ALUMINUM EDGING BETWEEN LAWN/ROCK AND PLANT BED, TYP.
 - 25' CLEAR VISION TRIANGLE, TYP.
 - FOUNDATION SHRUBS; EVG AND/OR DEC.
 - EXISTING STREET TREE, TYP.
 - PARKING LOT TREE, TYP.
 - ADDITIONAL SHRUBS/ PERENNIALS BY OWNER
 - EXISTING TREE TO REMAIN, TYP. NOT TO BLOCK VISIBILITY OF BUILDING AND SIGNAGE, PRUNE AS NEEDED. REMOVE ALL DEAD BRANCHES AND PLANT MATERIAL.
 - TREE PROTECTION FENCING AROUND EX. TREE TO REMAIN, TYP.
 - EXISTING TREE TO BE REMOVED, TYP.
 - RIVER ROCK EDGE OVER WEED FABRIC, SEE DETAIL SHEET L-101; TO BE INSTALLED PER CLIENT STDS.; ADJ. TO BLDG. AND WITHIN INTERIOR DRIVE THRU LANE
 - 3" DEPTH SHREDDED HARDWOOD MULCH WITH PRE-EMERGENT, PER CLIENT STDS.; SHREDDED HARDWOOD MULCH TO BE INSTALLED IN BEDS OUTSIDE THE INTERIOR DRIVE THRU LANE
 - PROPOSED MONUMENT SIGN SEE CIVIL DWGS.
 - POTENTIAL SITE OF CHICK-FIL-A BLDG SIGN/LOGO; NO PLANTINGS TO BLOCK FINAL LOCATION, SHIFT SHRUBS AND TREES AS NECESSARY
 - TREES TO NOT CONFLICT WITH OVERHEAD CANOPIES AT DRIVE THRU AND BLDG. COLUMNAR TYPE TREE PROPOSED OR SHIFT TREE AS NECESSARY IF PRESENT.
 - POTENTIAL SNOW STORAGE AREA
 - FLAGPOLE, BY OTHERS

KEY/ LEGEND

- REQUIRED INTERIOR PARKING LOT TREES
- REQUIRED PERIMETER PARKING LOT TREE
- REQUIRED PERIMETER PARKING LOT SHRUB
- REQUIRED FOUNDATION PLANTINGS
- REQUIRED TRASH ENCLOSURE SHRUB
- ADDITIONAL SHRUBS EAST OFF FLAGPOLE
- IRRIGATED SOD LAWN
- ROCK EDGE/ MULCH, SEE KEY NOTE #12 THIS PAGE AND DETAIL SHEET L-101.
- POTENTIAL SNOW STORAGE AREA

SEE SHEET L-101 FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS

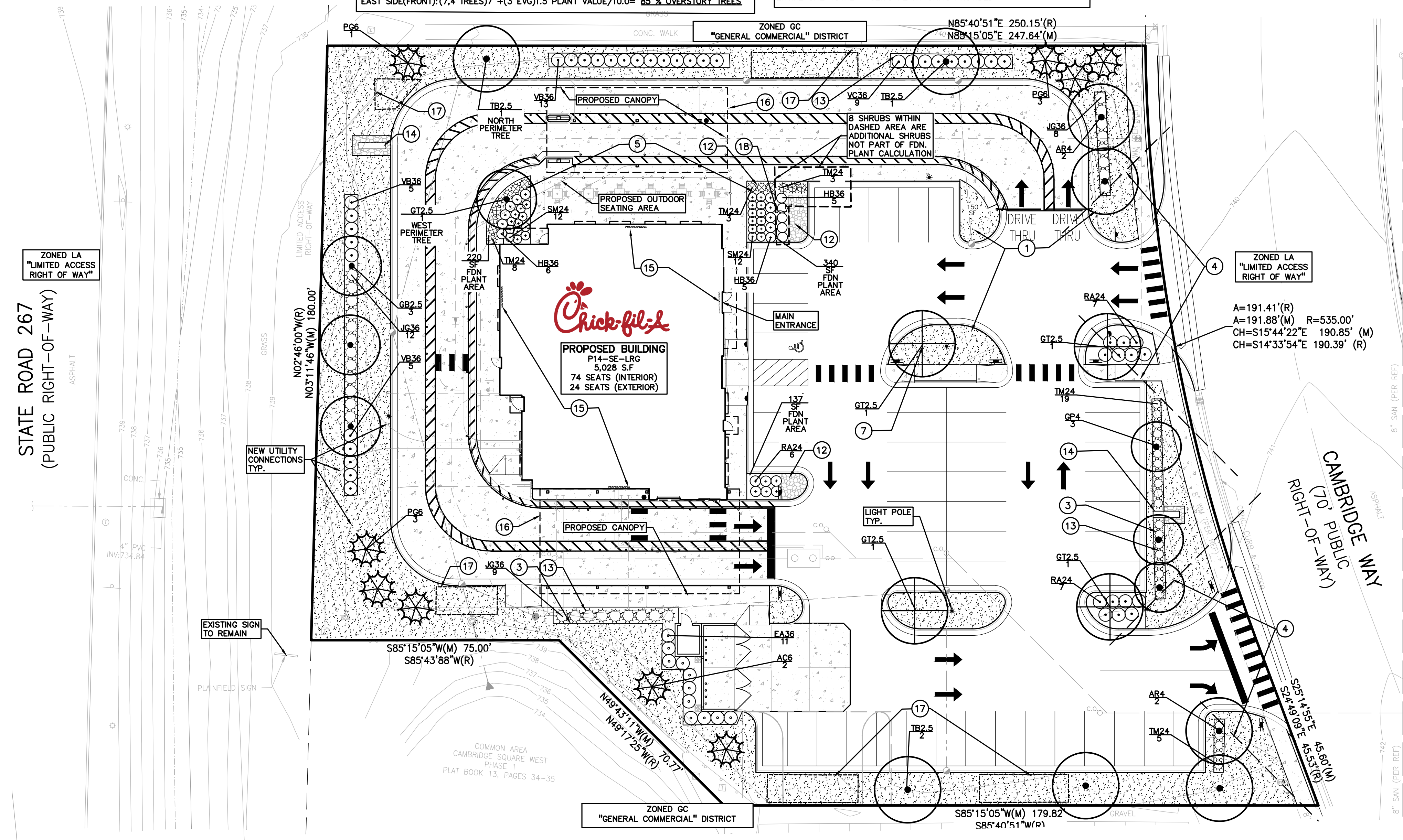
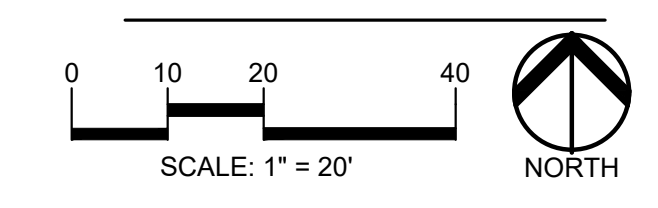


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FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	APRIL 14, 2023
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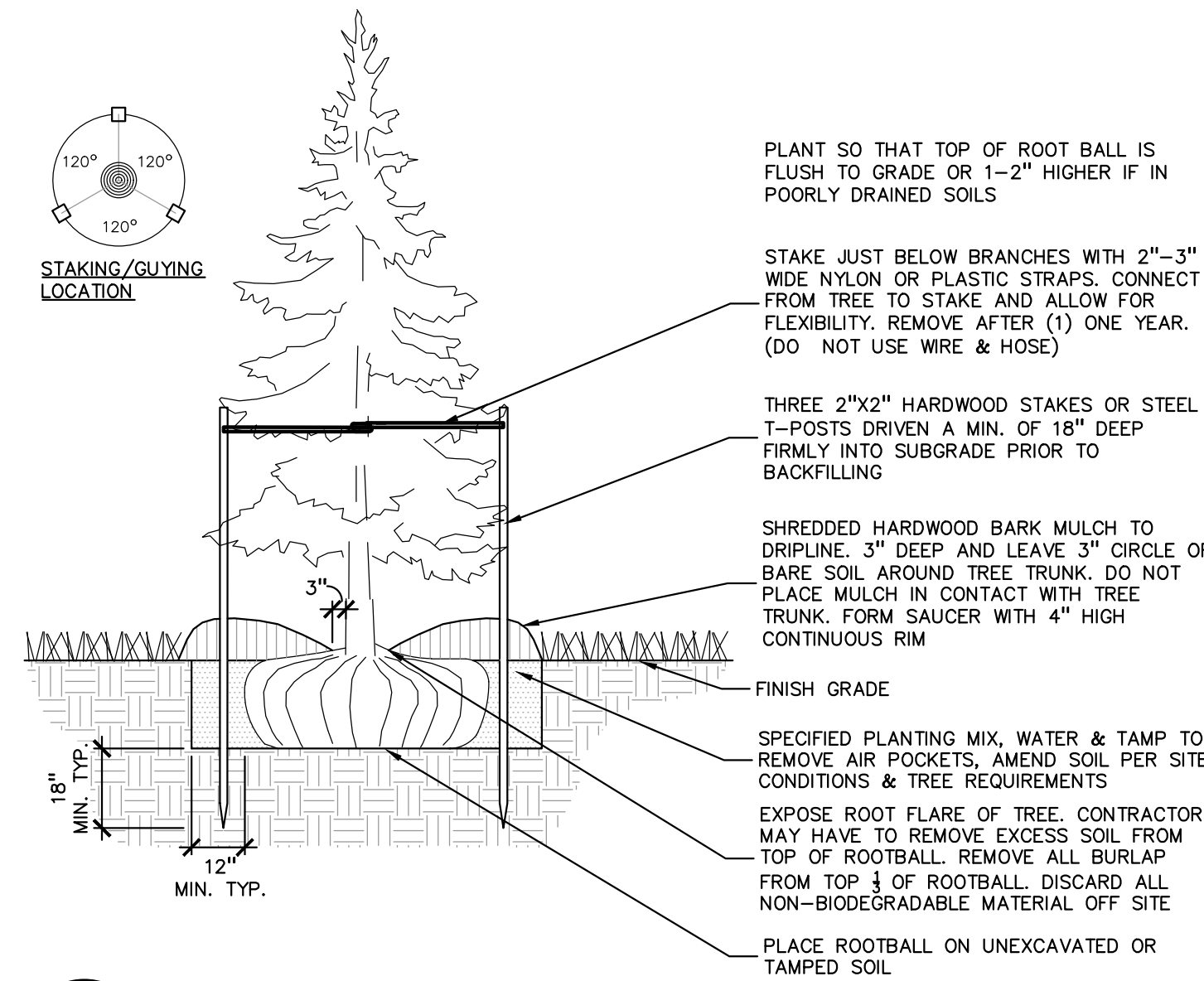
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SHEET PRELIMINARY LANDSCAPE PLAN

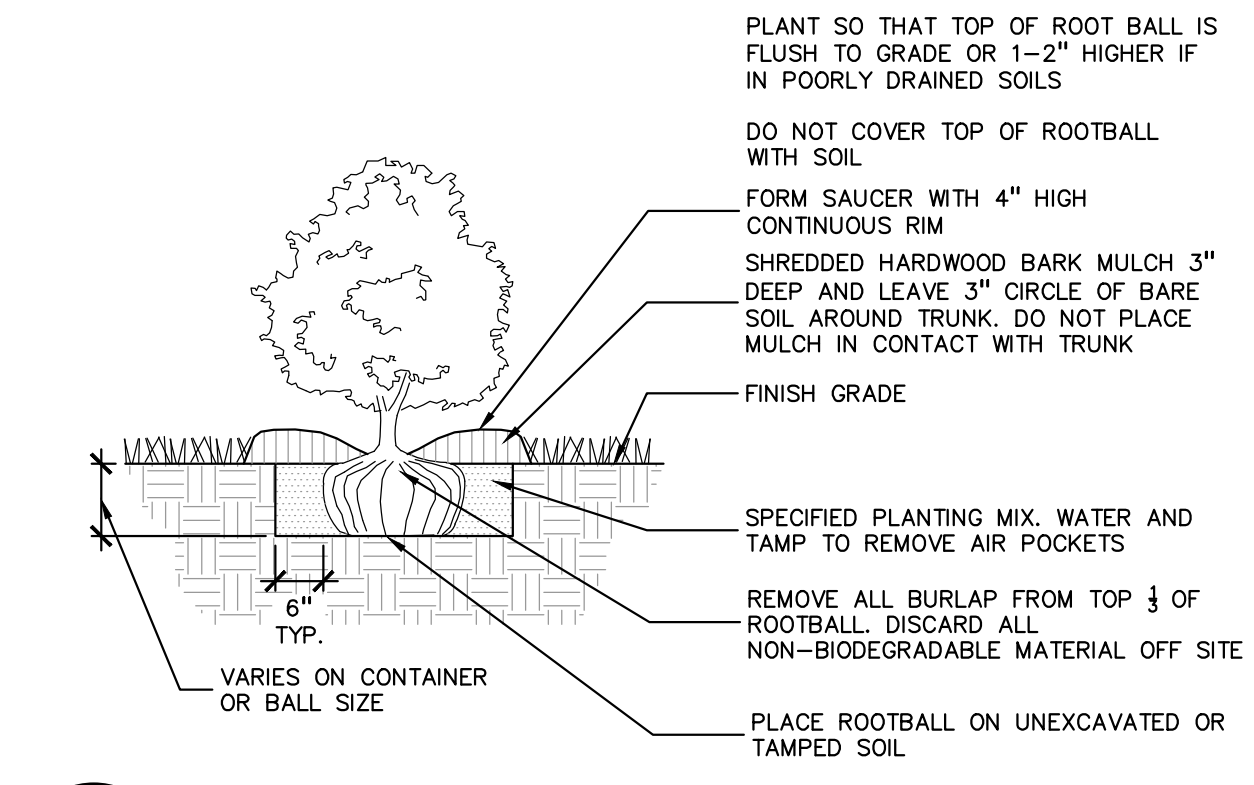
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GENERAL PLANTING NOTES:

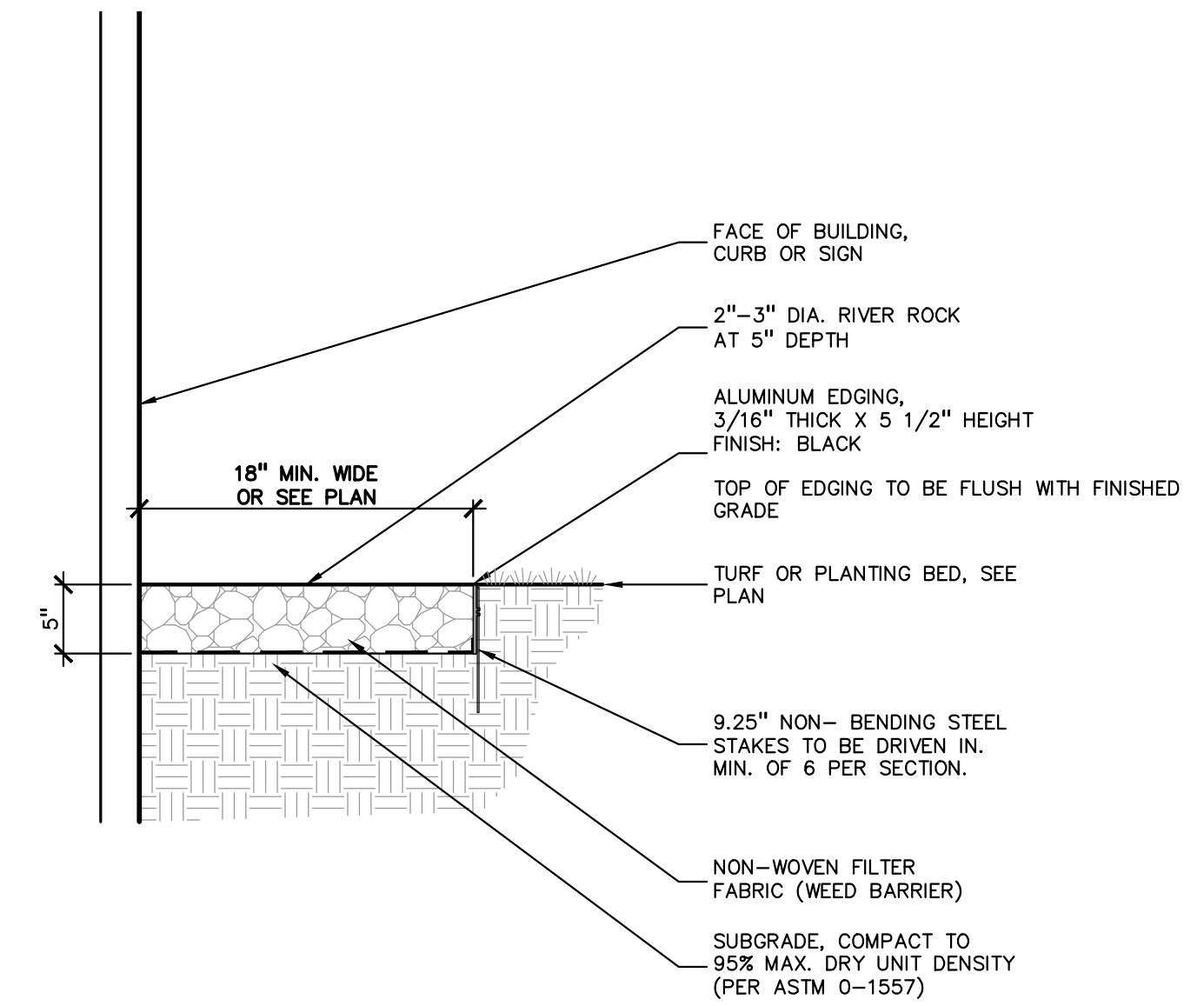
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



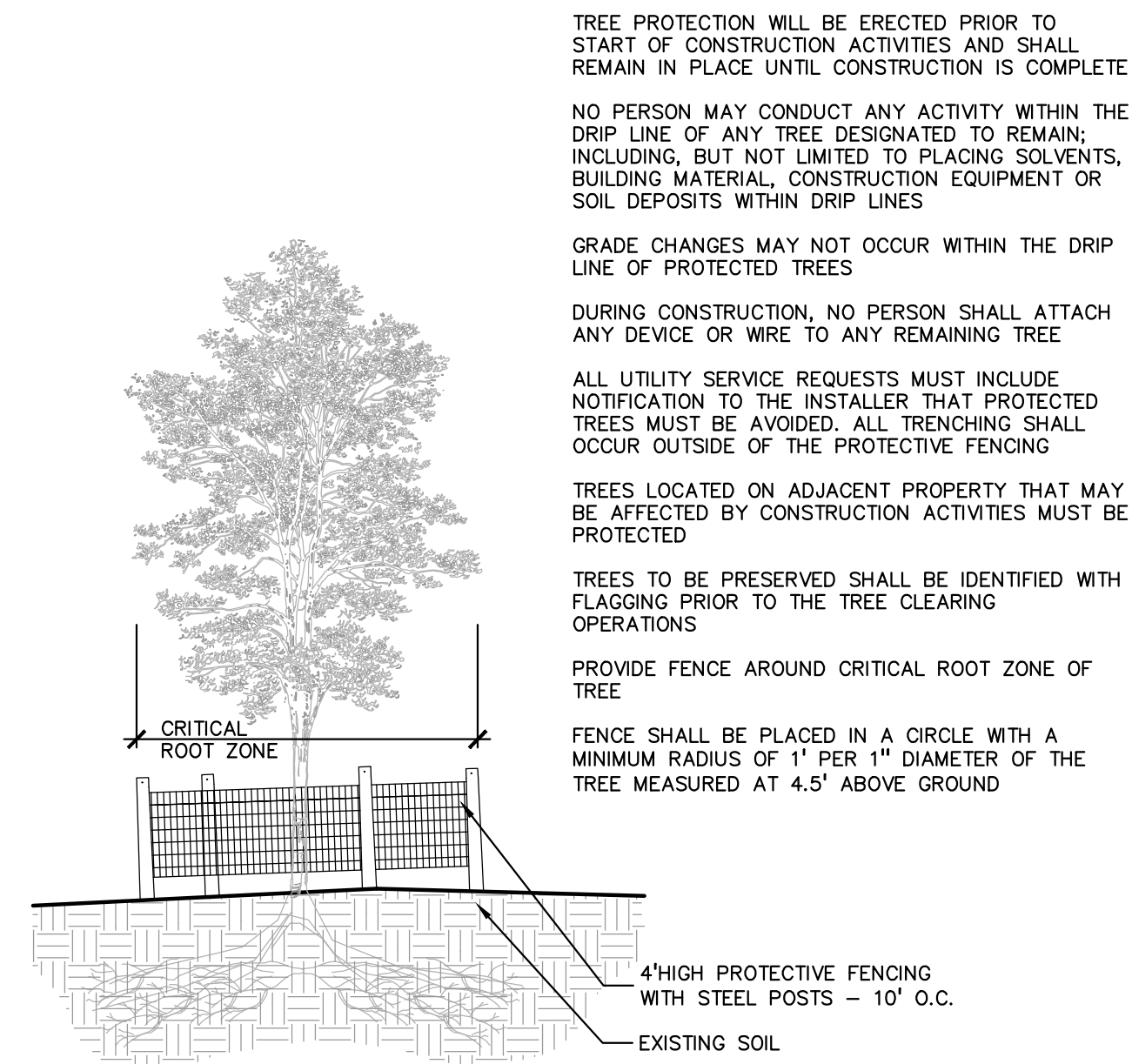
6 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



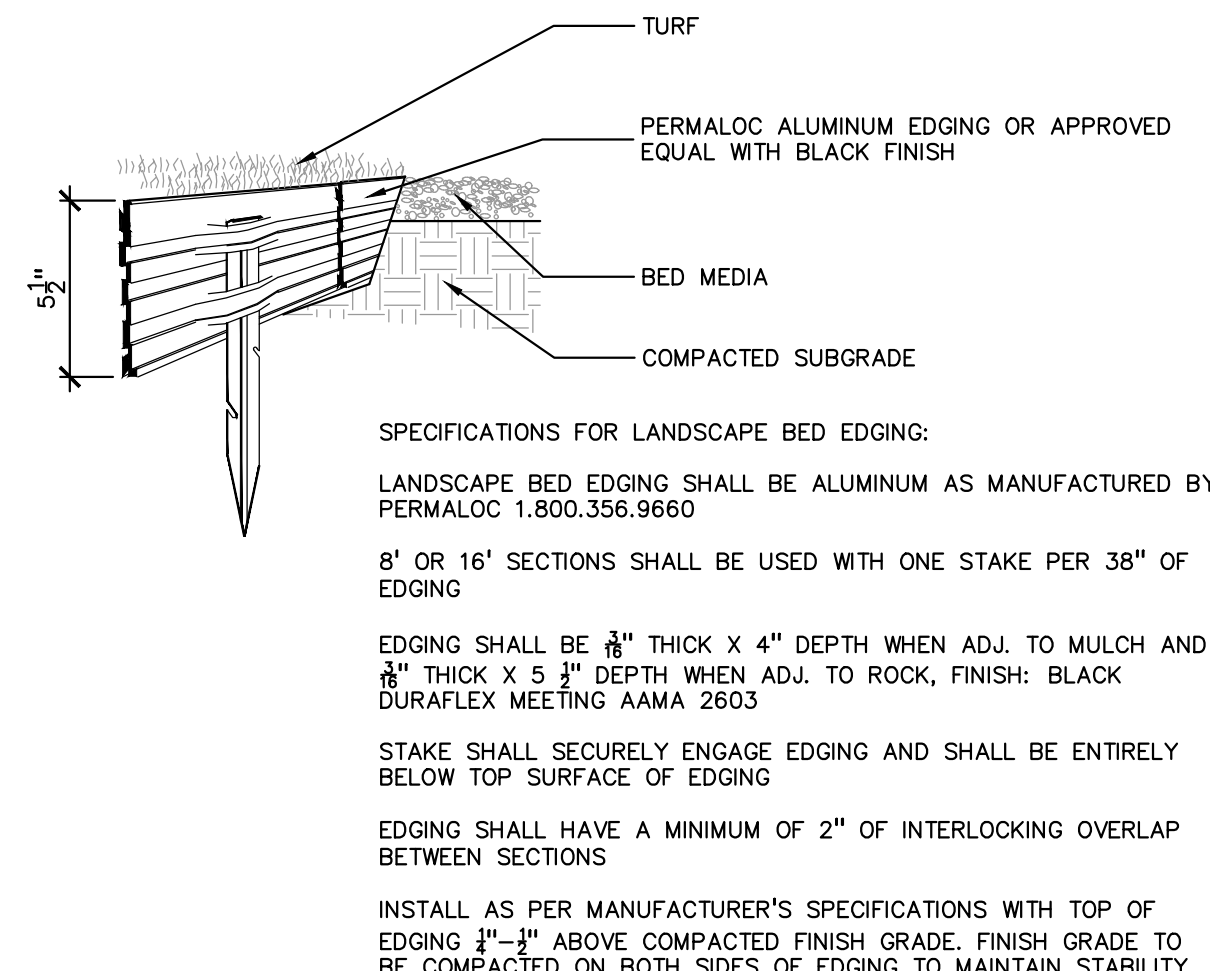
3 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"



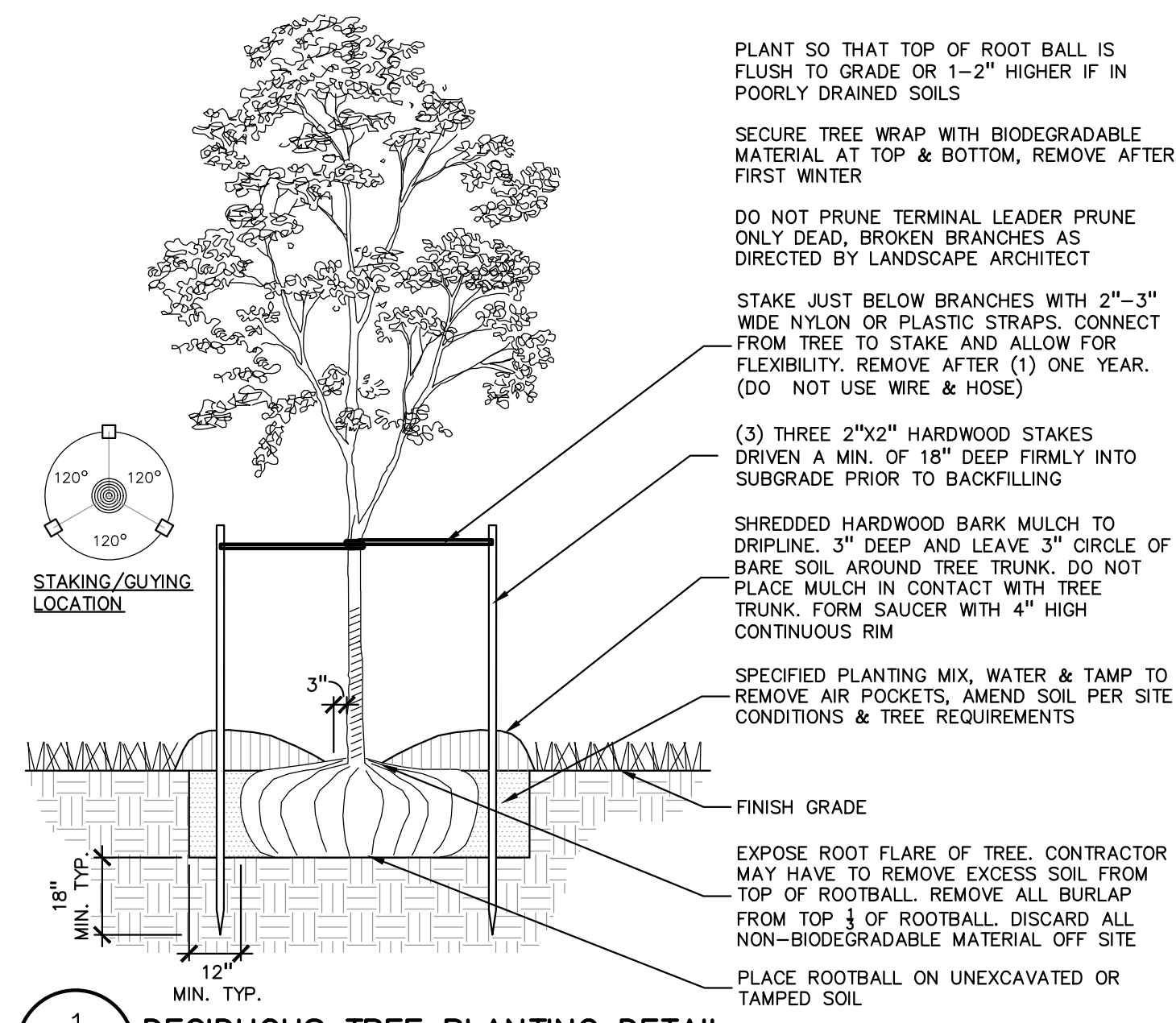
5 ROCK EDGE/ MULCH
SCALE: 1" = 1'-0"



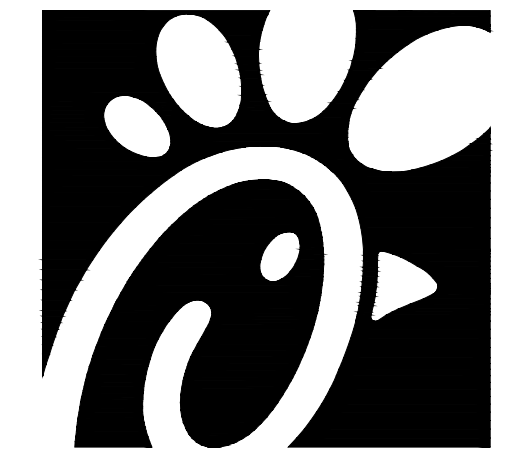
2 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"



4 ALUMINUM EDGE DETAIL
SCALE: 1/2" = 1'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



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SHEET
LANDSCAPE DETAILS

SHEET NUMBER

L-101