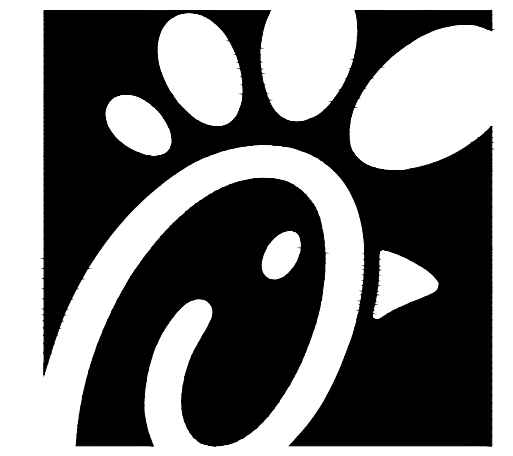


SITE PLANS FOR
CHICK-FIL-A PLAINFIELD
 6102 CAMBRIDGE WAY
 TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA
 FSR#05219



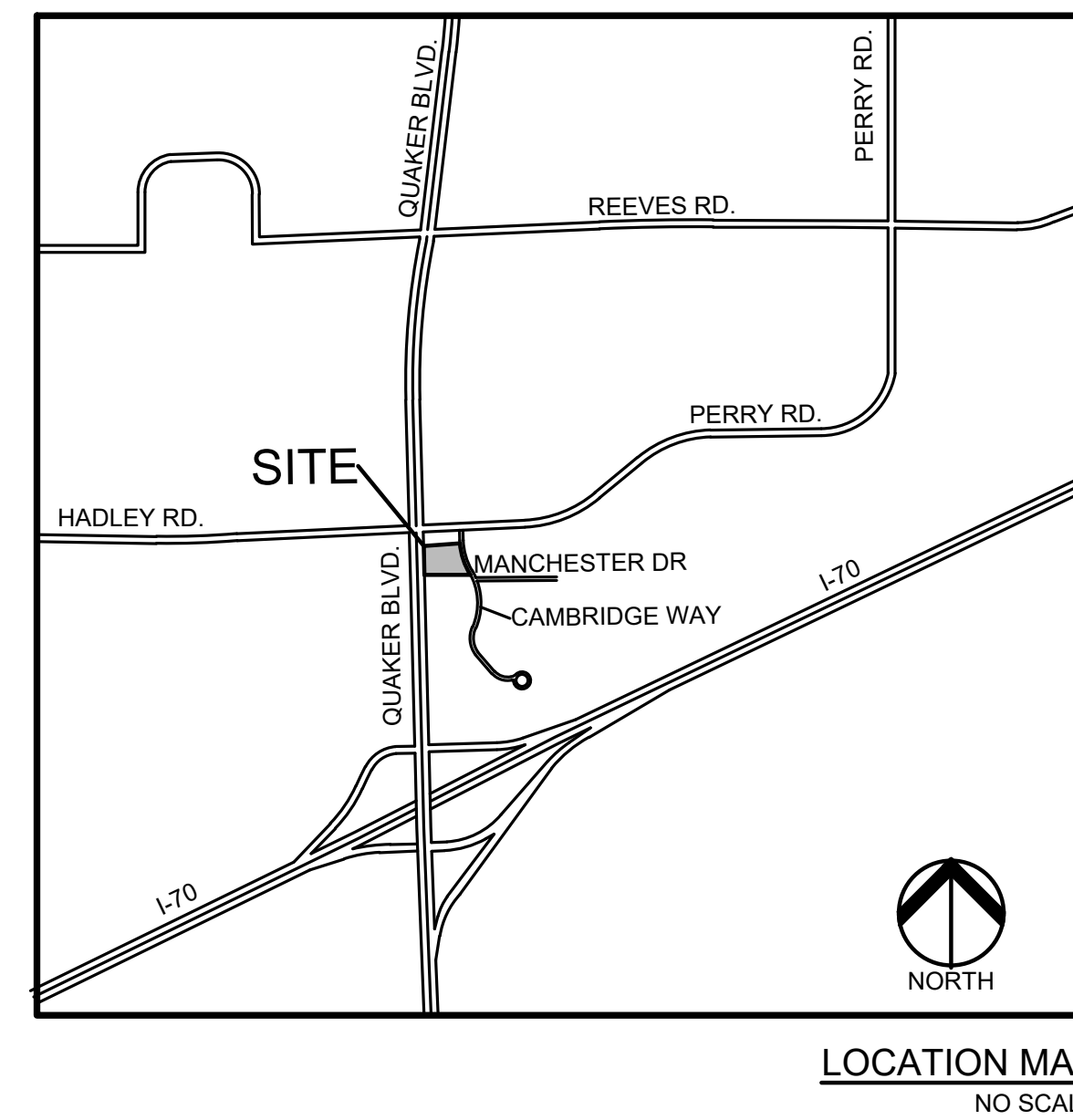
Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

LAND DESCRIPTION
 LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 86 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

BENCHMARK INFORMATION
 ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 28 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

NARRATIVE:
 PROPOSED CONSTRUCTION OF A RESTAURANT WITH A DRIVE-THRU WINDOW AND OUTDOOR SEATING.
 REFER TO SITE DATA TABLE ON C-200 FOR MORE DETAIL RELATED TO PARKING, STACKING, ZONING, ETC.



INDEX OF DRAWINGS	
NUMBER	TITLE
C-000	COVER SHEET
C-100	TOPOGRAPHIC SURVEY
C-101	PRELIMINARY DEMOLITION PLAN
C-200	PRELIMINARY SITE PLAN
C-201	WB-62 TRUCK TURNING PLAN
C-202	FIRE TRUCK TURNING PLAN
C-203	GARBAGE TRUCK TURNING PLAN
C-300	PRELIMINARY GRADING PLAN
C-301	PRELIMINARY STORM SEWER PLAN
C-302	PRELIMINARY DRAINAGE MAP
PS-100	PRELIMINARY PLUMBING SITE PLAN
C-400	CFA STANDARD DETAILS (1)
C-401	CFA STANDARD DETAILS (2)
C-402	CFA STANDARD DETAILS (3)
C-403	CFA STANDARD DETAILS (4)
C-500	CONSTRUCTION DETAILS
3 OF 27	TOWN OF PLAINFIELD PAVEMENT, CURB & SIDEWALK DETAILS AND NOTES
LANDSCAPE PLANS	
L-100	PRELIMINARY LANDSCAPE PLAN
L-101	LANDSCAPE DETAILS
ARCHITECTURAL PLANS	
E-102	PHOTOMETRIC PLAN
X-900	DESIGN OVERVIEW

DESIGN TEAM

APPLICANT	CIVIL ENGINEER	LANDSCAPE ARCHITECT
CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GEORGIA, 30349-2998 CONTACT: JUSTIN LURK PHONE: 573.268.0957 EMAIL: JUSTIN.LURK@CFACORP.COM	PEA GROUP 2430 ROCHESTER COURT, STE. 110 TROY, MI 48063-1872 CONTACT: LESLIE ACCARDO PHONE: 248.509.7258 EMAIL: LACCARDO@PEAGROUP.COM REGISTERED ENGINEER: DAVID HUNTER LICENSE: 10809333	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM
OWNER/ DEVELOPER	ARCHITECT	
ALRIG USA 30200 TELEGRAPH RD, SUITE 205 BINGHAM FARMS, MI 48025 CONTACT: JORDAN CHAPMAN PHONE: 248.646.9999 EMAIL: JORDAN@ALRIGUSA.COM	CHIPMAN DESIGN ARCHITECTURE 1350 EAST TOUHY AVE., FIRST FLOOR EAST DES PLAINES, IL 60018 CONTACT: CRYSTAL BARRAZA PHONE: 847.298.6900 EMAIL: CBARRAZA@CHIPMAN-DESIGN.COM	

UTILITY CONTACTS

ELECTRICAL SERVICE	SANITARY SEWER SERVICE	WATER SERVICE
DUKE ENERGY 100 MILLCREEK RD, NOBLESVILLE, IN 46060 CONTACT: RUEBEN DILLON PHONE: 317.745.1006 EMAIL: RUEBEN.DILLON@DUKE-ENERGY.COM	BUTLER, FAIRMAN & SEUFERT, INC. 8450 WESTFIELD BLVD, SUITE 300 INDIANAPOLIS, IN 46240 CONTACT: KIM HILL PHONE: 317.363.1968 EMAIL: KHILL@BFSSENGR.COM	BUTLER, FAIRMAN & SEUFERT, INC. 8450 WESTFIELD BLVD, SUITE 300 INDIANAPOLIS, IN 46240 CONTACT: KIM HILL PHONE: 317.363.1968 EMAIL: KHILL@BFSSENGR.COM
GAS SERVICE	STORM SEWER SERVICE	TELEPHONE SERVICE
VECTREN 1630 NORTH MERIDIAN INDIANAPOLIS, IN 46202 CONTACT: GERRY JONES PHONE: 317.718.3604 EMAIL: G.JONES@VECTREN.COM	BUTLER, FAIRMAN & SEUFERT, INC. 8450 WESTFIELD BLVD, SUITE 300 INDIANAPOLIS, IN 46240 CONTACT: KIM HILL PHONE: 317.363.1968 EMAIL: KHILL@BFSSENGR.COM	AT&T DISTRIBUTION 240 NORTH MERIDIAN ST. INDIANAPOLIS, IN 46204 CONTACT: MICHAEL CARTER PHONE: 317.722.2299



REVISIONS	
DESCRIPTION	DATE
SITE PLAN APPROVAL	2/10/2023



CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

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SHEET
 COVER SHEET

SHEET NUMBER
C-000

File Path
 3/15/2021
 S:\PROJECTS\2022\2022-1054_CFA_PLAINFIELD_05219\DWG\SITE_PLAN01 - 05219 - C-000-COVER-221054.DWG

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

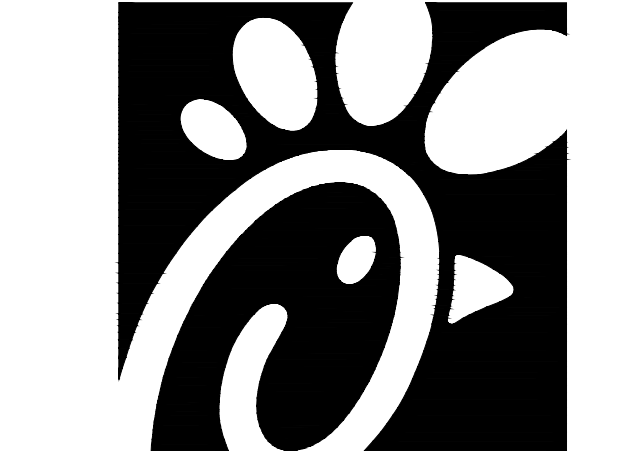
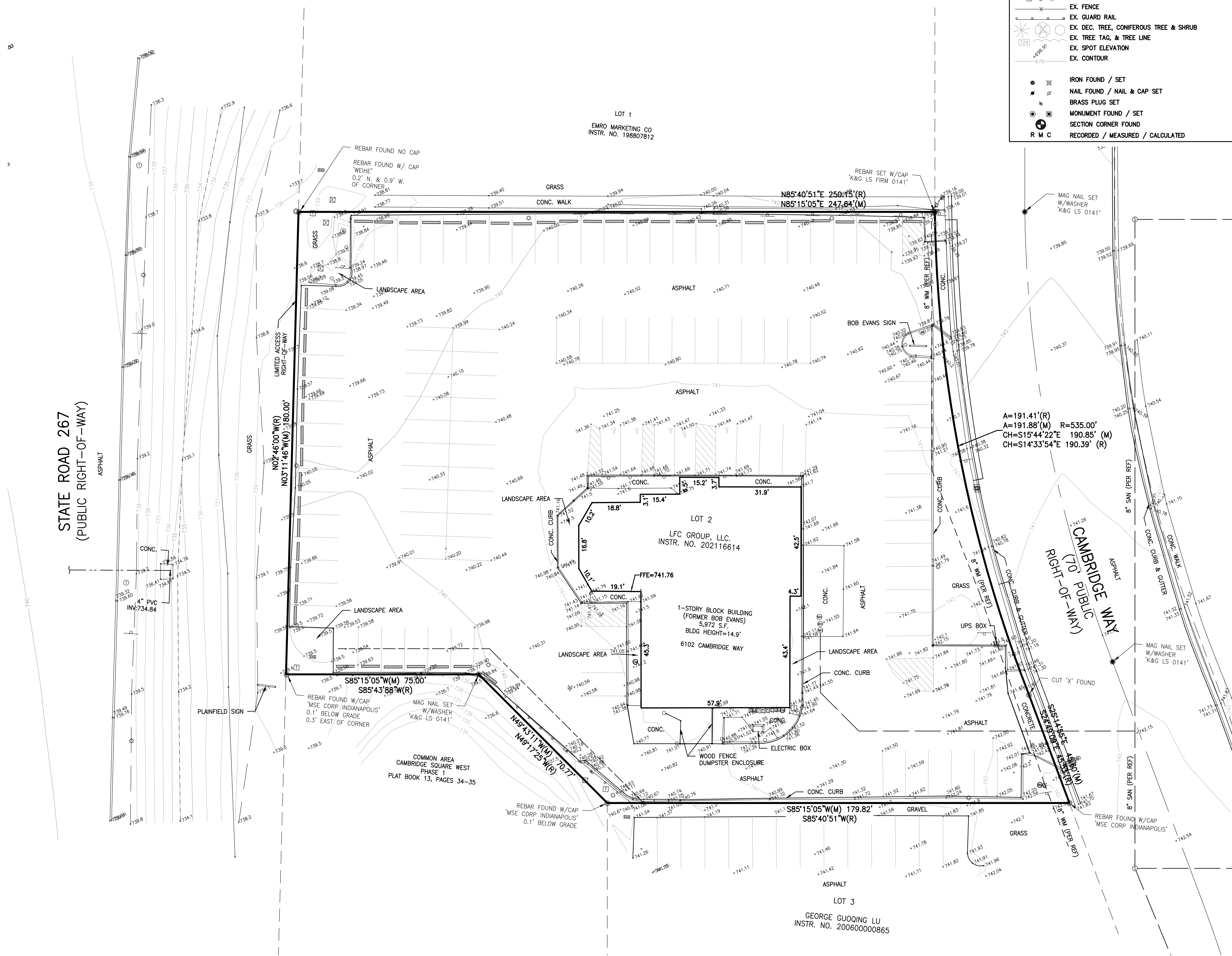
LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

LEGEND:

- OH-ELEC-W-C- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- EX. MAILBOX, SIGN & LIGHTPOLE
- EX. FENCE
- EX. GUARD RAIL
- EX. DEC. TREE, CONIFEROUS TREE & SHRUB
- EX. TREE TAG, & TREE LINE
- EX. SPOT ELEVATION
- EX. CONTOUR

- IRON FOUND / SET
- NAIL FOUND / NAIL & CAP SET
- BRASS PLUG SET
- MONUMENT FOUND / SET
- SECTION CORNER FOUND
- RECORDED / MEASURED / CALCULATED

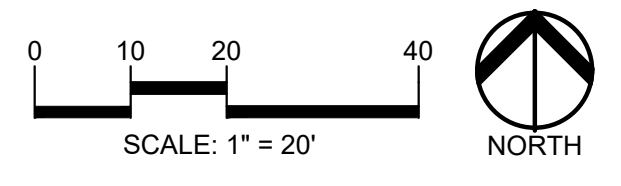


Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998



t: 844.813.2949
 www.peagroup.com



CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

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SHEET TOPOGRAPHIC SURVEY

SHEET NUMBER **C-100**

File Path
 3/15/2023
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 -05219 - C-100-TOPO-221054.dwg

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
L-61 (PID: KA0040)
1.2 MILES SOUTHEAST FROM PLAINFIELD

ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

GENERAL DEMOLITION NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:

- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
- STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
- SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
- REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
- REFER TO LANDSCAPE PLANS FOR TREE PROTECTION DETAILS.
- THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
- ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
- REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

KEY NOTES:

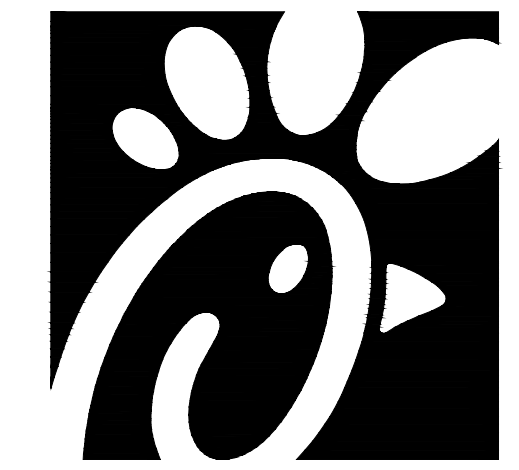
- (P1) PROTECT TREE (REFER TO LANDSCAPE PLANS FOR DETAILS)
- (P2) PROTECT UTILITY STRUCTURE
- (P3) PROTECT LIGHT POLE
- (P4) PROTECT UTILITY POLE
- (P5) PROTECT SIGN
- (P6) PROTECT MAILBOX
- (R1) REMOVE ASPHALT PAVEMENT
- (R2) REMOVE CONCRETE PAVEMENT/ SIDEWALK
- (R3) REMOVE TREE
- (R4) REMOVE PARKING BLOCKS
- (R5) REMOVE LIGHT POLE
- (R6) REMOVE CONCRETE CURB AND GUTTER
- (R7) REMOVE SIGN
- (R8) REMOVE UTILITY STRUCTURE
- (R9) REMOVE FIRE HYDRANT
- (R10) REMOVE UTILITY LINE
- (R11) REMOVE STRUCTURE (SEE BUILDING DEMOLITION NOTE)
- (R12) REMOVE LANDSCAPING
- (R13) REMOVE GUARD POST
- (R14) SAWCUT EXISTING PAVEMENT
- (R15) REMOVE TRANSFORMER
- (R16) REMOVE DUMPSTER ENCLOSURE
- (R17) REMOVE PYLON SIGN
- (R18) REMOVE BOLLARD

DEMOLITION LEGEND:

- ITEM TO BE PROTECTED: [Symbol]
- ITEM TO BE REMOVED: [Symbol]
- CURB REMOVAL: [Symbol]
- CONCRETE PAVEMENT AND SIDEWALK REMOVAL: [Symbol]
- AREA OR ITEMS TO BE REMOVED: [Symbol]
- UTILITY REMOVAL: [Symbol]
- ASPHALT REMOVAL: [Symbol]
- TREE REMOVAL: [Symbol]
- SAWCUT LINE: [Symbol]
- LANDSCAPE REMOVAL: [Symbol]

BUILDING DEMOLITION:

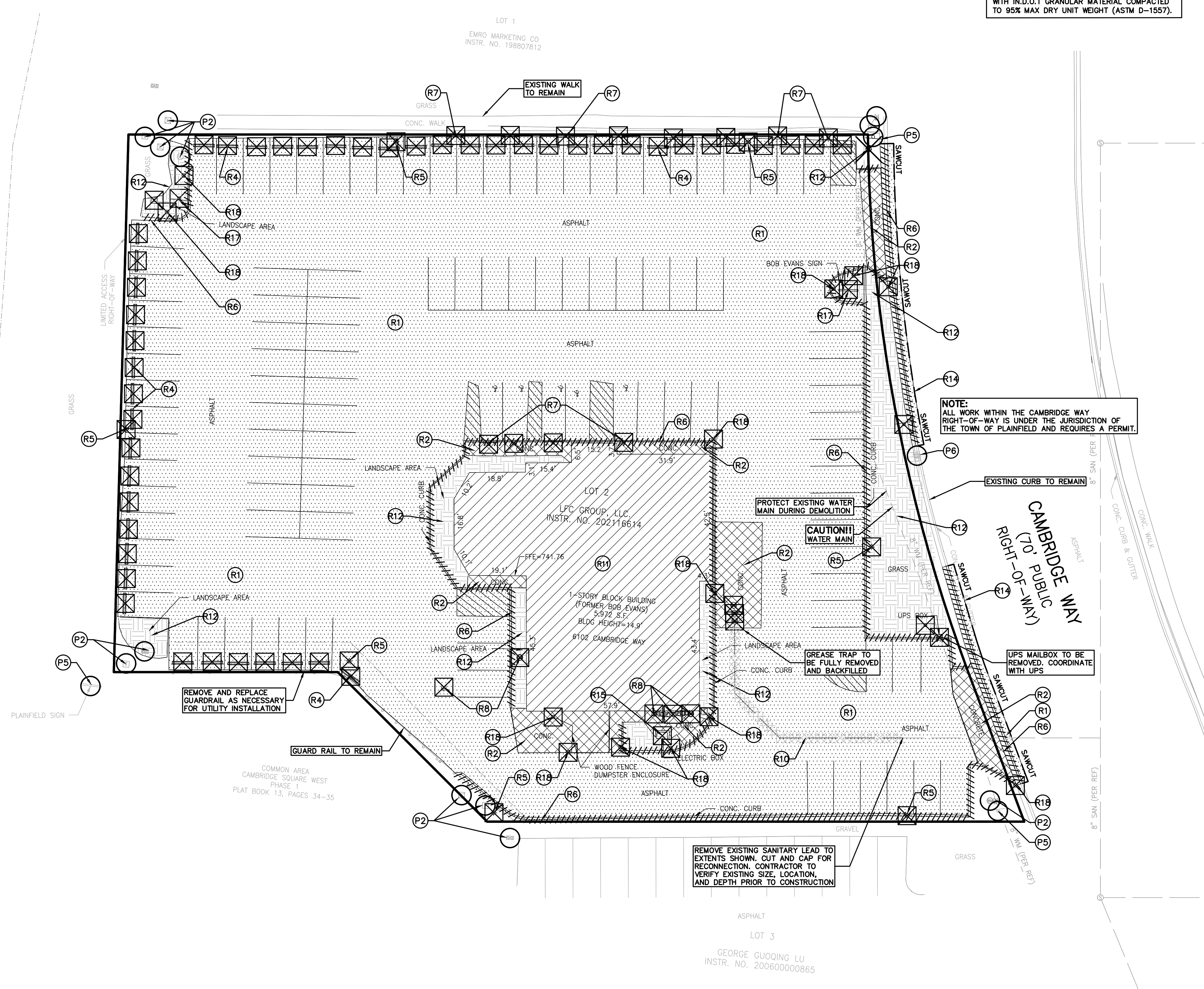
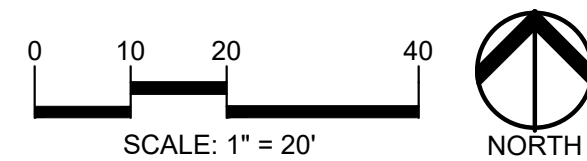
REMOVE EXISTING BUILDING AND ALL ASSOCIATED FOOTINGS, FOUNDATIONS, SLABS, UTILITY LEADS ETC. CONTRACTOR TO ENSURE THAT ALL UTILITIES ARE OUT OF SERVICE PRIOR TO START OF REMOVALS. COORDINATE ALL UTILITY REMOVALS WITH THE APPROPRIATE UTILITY COMPANY. BACKFILL ALL FOOTING/FOUNDATION EXCAVATIONS WITH IN.D.O.T GRANULAR MATERIAL COMPACTED TO 95% MAX DRY UNIT WEIGHT (ASTM D-1557).



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



t: 844.813.2949
www.peagroup.com



NOTE: ALL WORK WITHIN THE CAMBRIDGE WAY RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE TOWN OF PLAINFIELD AND REQUIRES A PERMIT.

REMOVE EXISTING SANITARY LEAD TO EXTENTS SHOWN. CUT AND CAP FOR RECONNECTION. CONTRACTOR TO VERIFY EXISTING SIZE, LOCATION, AND DEPTH PRIOR TO CONSTRUCTION.

UPS MAILBOX TO BE REMOVED. COORDINATE WITH UPS

CAUTION! WATER MAIN

PROTECT EXISTING WATER MAIN DURING DEMOLITION

S:\PROJECTS\2022\2022-1054_CFA_PLAINFIELD_05219\DWG\SITE_PLAN\02 -05219 - C-101-DEMOL-221054.dwg

File Path
3/15/2021

CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

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SHEET
PRELIMINARY
DEMOLITION PLAN

SHEET NUMBER

C-101

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD

ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1846 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 15, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

- KEY NOTES:**
- DIRECTIONAL ARROW (DETAIL #1, C-400 & DETAIL #6, C-402)
 - DRIVE-THRU GRAPHICS (DETAIL #2, C-400)
 - STOP LINE GRAPHICS (DETAIL #2, C-400)
 - PAINTED BARRIER FREE PARKING SYMBOL
 - STANDARD PARKING STALL (9'x18') PER CODE (DETAIL #3, C-400)
 - STANDARD 60 DEGREE PARKING STALL (DETAIL #4, C-400)
 - SOLID WHITE STRIPING
 - SOLID YELLOW STRIPING
 - BOLLARD MOUNTED SIGN (DETAIL #5, C-400)
 - DIRECTIONAL SIGNAGE (DETAIL #7 & #8, C-400)
 - ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION. (SEE SIGN LEGEND)
 - CHICK-FIL-A Pylon SIGN, SEE SIGNAGE PACKAGE
 - WALL MOUNTED "CHICK-FIL-A" SIGN, SEE SIGNAGE PACKAGE
 - CHICK-FIL-A EXIST. SIGN, SEE SIGNAGE PACKAGE
 - CHICK-FIL-A MONUMENT SIGN, SEE SIGNAGE PACKAGE
 - CLEARANCE BAR (DETAIL #10, C-403), SEE SIGNAGE PACKAGE
 - MENU ORDER BOARDS, SEE SIGNAGE PACKAGE
 - FLAGPOLE, 50', SEE SIGNAGE PACKAGE
 - SIDEWALK ADA COMPLIANT RAMP (SEE RAMP LEGEND) (DETAIL #3, C-401)
 - HANDICAP RAMP W/ FLARED SIDES (IN-SIDEWALK) (DETAIL #8, C-403)
 - HANDICAP RAMP W/ SHORT FLARED SIDES (DETAIL #1, C-401)
 - RETURNED CURB HANDICAP RAMP
 - UTILITY STRUCTURE RIM, TYP.
 - TYPICAL CONCRETE SIDEWALK, 5' MIN. (DETAIL #9, C-400)
 - SIDEWALK W/ CURB & GUTTER (DETAIL #10, C-400)
 - INTEGRAL CURB & 7" WIDE SIDEWALK
 - DRIVE-THRU PLAN (DETAIL #8, C-403)
 - DRIVE-THRU ISOMETRIC (DETAIL #9, C-403)
 - SOLID PLASTIC WHEEL STOP (DETAIL #5, C-401)
 - GRAVEL DRAINAGE STRIP
 - 24" CONCRETE CURB & GUTTER (DETAIL #11, C-400)
 - 24" CONCRETE CURB & REVERSE GUTTER (DETAIL #11, C-400)
 - ROLL-OVER/MOUNTABLE CURB (DETAIL #11, C-403)
 - REFUSE ENCLOSURE FOUNDATION (DETAIL #2, C-403)

- CONCRETE BOLLARD (DETAIL #5, C-402)
- TYPICAL PAVEMENT SECTION (REFER TO PAVING PLAN LEGEND)
- PAVEMENT EDGE DETAIL (DETAIL #11, C-401)
- CONCRETE APRON SECTION
- ALUMINUM HANDRAIL (DETAIL #6, C-402)
- TYPICAL STAIR HANDRAIL (DETAIL #6, C-402)
- CONCRETE APRON @ TRASH ENCLOSURE (DETAIL #12, C-401)
- CONCRETE PAVING @ DRIVE-THRU LANE (DETAIL #2, C-402)
- TRANSVERSE & LONGITUDINAL CONTRACTION JOINT (DETAIL #16, C-401)
- TRANSVERSE & LONGITUDINAL DOWELED CONTRACTION JOINT (DETAIL #17, C-401)
- CONTRACTION JOINT (DETAIL #6, C-401)
- MEVED CONTRACTION JOINT (DETAIL #6, C-401)
- LONGITUDINAL GUT JUMP (DETAIL #1, C-402)
- EXPANSION JOINT (DETAIL #6, C-401)
- DRIVE-THRU DIRECTIONAL GRAPHICS
- CROSSWALK DETAIL (DETAIL #7, C-402)
- DRIVE-THRU ORDER POINT ISLAND CURB (DETAIL #7, C-403)
- MENU BOARD LOOP DETECTION SYSTEM (DETAIL #5 & #6, C-403)
- ENTRY DOOR FROST SLAB (DETAIL #1, C-403)
- GREASE TRAP
- PROPOSED TRANSFORMER
- MAGNETIC LANE DELINEATORS
- LANDSCAPE AREA (REFER TO LANDSCAPE PLANS FOR DETAILS)
- TYPICAL LOCATION FOR OUTDOOR TABLES (SEE EQUIPMENT SCHEDULE)
- SIDEWALK FOR CASH PAYMENT ZONE
- CONCRETE SPILLWAY
- BIKE RACK
- ORDER MENU DELIVERY CANOPY (REFER TO ARCH. PLAN FOR DETAILS)
- DRIVE-THRU LANE STRIPING
- FACE-TO-FACE DRIVE-THRU CANOPY SYSTEMS (REFER TO ARCH. PLANS FOR DETAILS)
- DETAIL-M GUTTER PAN
- RETAINING WALL
- SITE LIGHTING (REFER TO PHOTOMETRIC PLAN)
- ROLL CURB AND GUTTER (REFER TO TOWN OF PLAINFIELD DETAIL SHEET 03)

SIGN LEGEND:

1		DENOTES "RESERVED PARKING" 24" X 30" (TYP.) DETAIL #6, C-400	4		DENOTES "STOP" 30" X 30" (TYP.) DETAIL #6, C-400
2		DENOTES "VAN ACCESSIBLE" 18" X 12" (TYP.) DETAIL #6, C-400	5		DENOTES "PEDESTRIAN CROSSWALK" 24" X 30" (TYP.) DETAIL #7, C-400
3		DENOTES "DO NOT ENTER" 18" X 18" (TYP.) DETAIL #7, C-400			

SITE DATA TABLE:

SITE AREA: 1.30 ACRES (56,844 SQ.FT.) NET AND GROSS
 ZONING: GC (GENERAL COMMERCIAL)
 PROPOSED USE: RESTAURANT (5,028 S.F.)

BUILDING INFORMATION:
 MAXIMUM ALLOWABLE BUILDING HEIGHT = 75 FEET
 PROPOSED BUILDING HEIGHT = 21 FEET

BUILDING FOOTPRINT AREA = 5,028 SQ.FT.
 BUILDING LOT COVERAGE = 5,028 / 56,844 = 8.8%

BUILDING SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT (EAST/WEST):	30' / 30'	132.50' / 53.90'
SIDE (NORTH):	10'	54.07'
REAR (SOUTH):	10'	45.87'

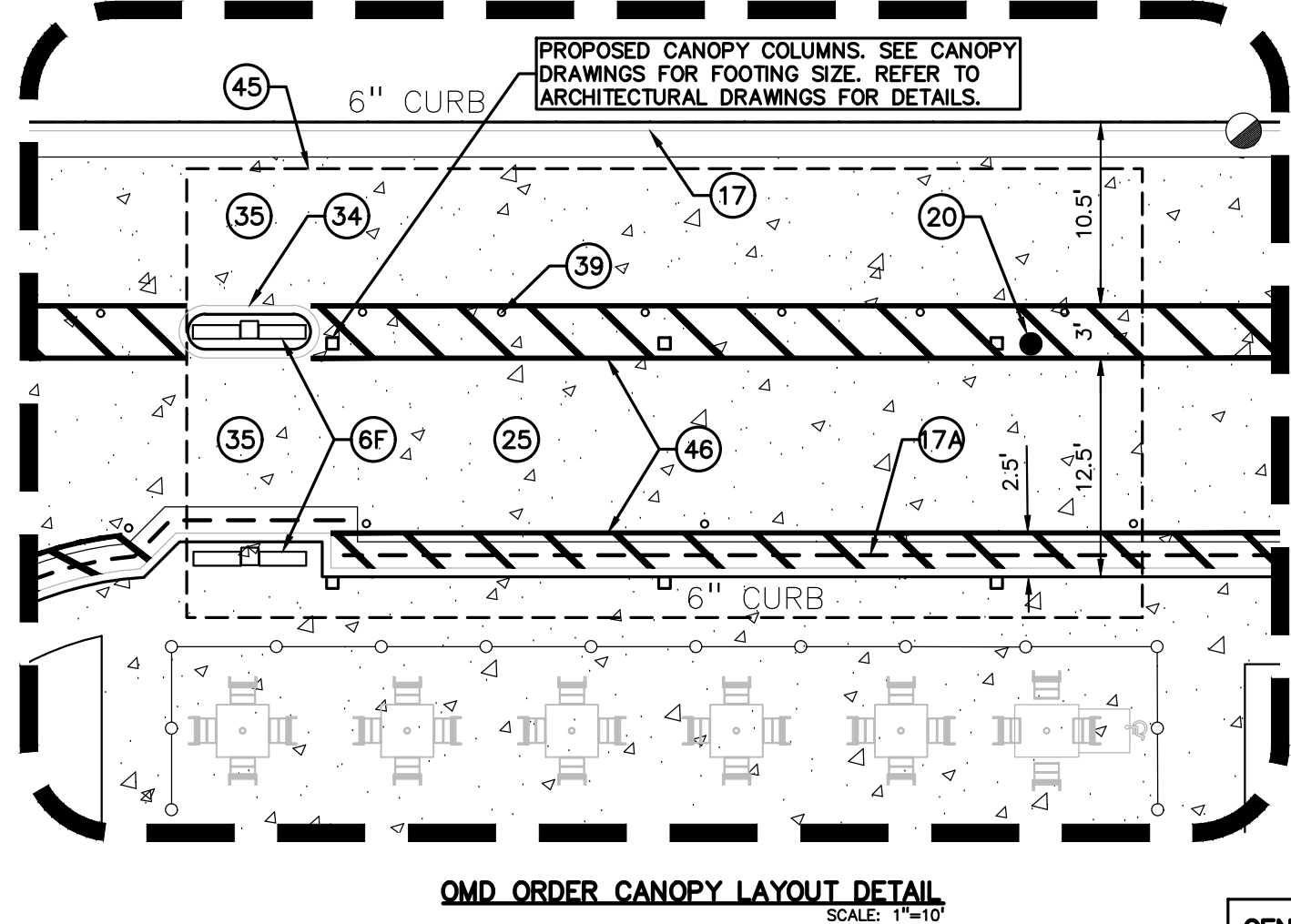
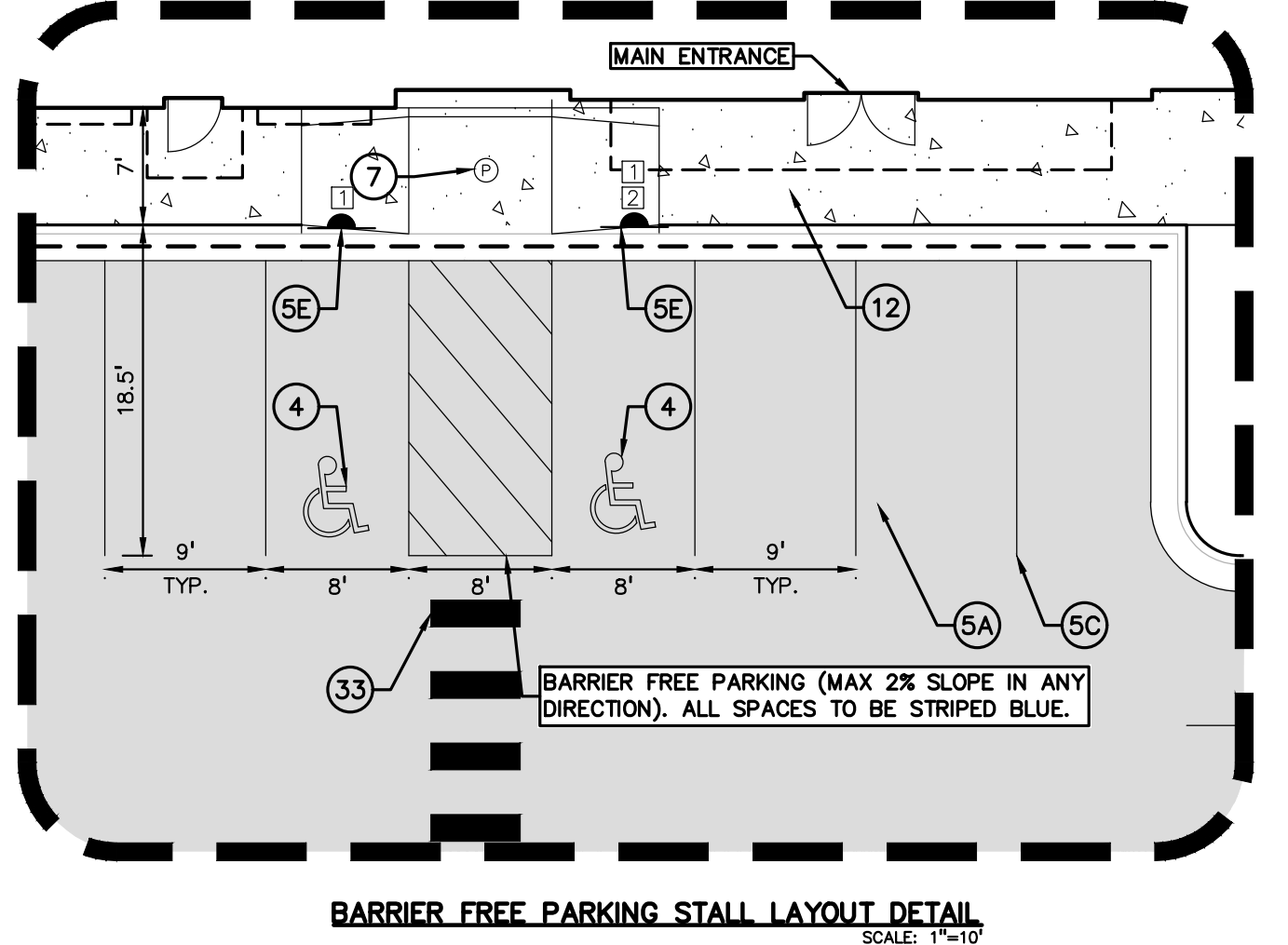
LANDSCAPE SETBACK REQUIREMENTS:	REQUIRED:	PROPOSED:
FRONT (EAST/WEST):	10' / 20'	10.47' / 20'
SIDE (NORTH):	10'	10'
REAR (SOUTH):	10'	10'

PARKING CALCULATIONS:
 RESTAURANT REQUIRED PARKING = 1 SPACE PER 5 SEATS
 PROPOSED SEATS = 98 SEATS

PARKING REQUIRED = 98/5 = 20 SPACES REQUIRED
 PARKING PROVIDED = 48 SPACES INCLUDING 2 BARRIER FREE SPACES

STACKING SPACES REQUIRED = 5 SPACES PRIOR TO ORDERING STATION AND AT LEAST ONE AFTER EXITING LAST PICK UP WINDOW
 STACKING SPACES PROVIDED = 43 (9'x20') STACKING SPACES PROVIDED

STATE ROAD 267
 (PUBLIC RIGHT-OF-WAY)



PAVING PLAN LEGEND:

CONCRETE PAVEMENT (DETAIL #12, C-400)	
ASPHALT PAVEMENT (DETAIL #3, C-402)	
CONCRETE CURB AND GUTTER (DETAIL #11, C-400)	
REVERSE GUTTER PAN (DETAIL #11, C-400)	
PARKING SPACE COUNTS	

SIDEWALK RAMP LEGEND:

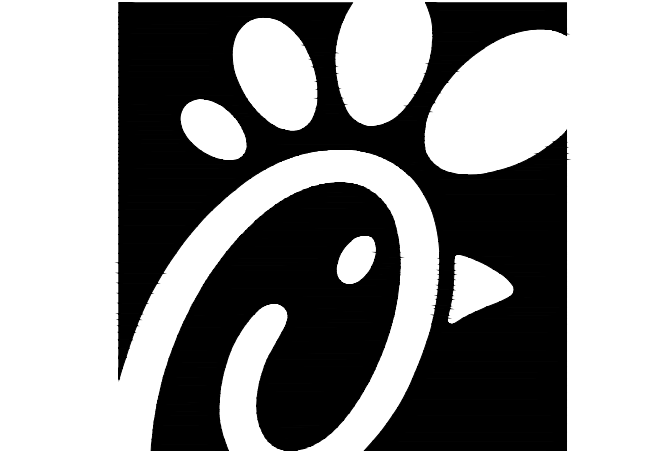
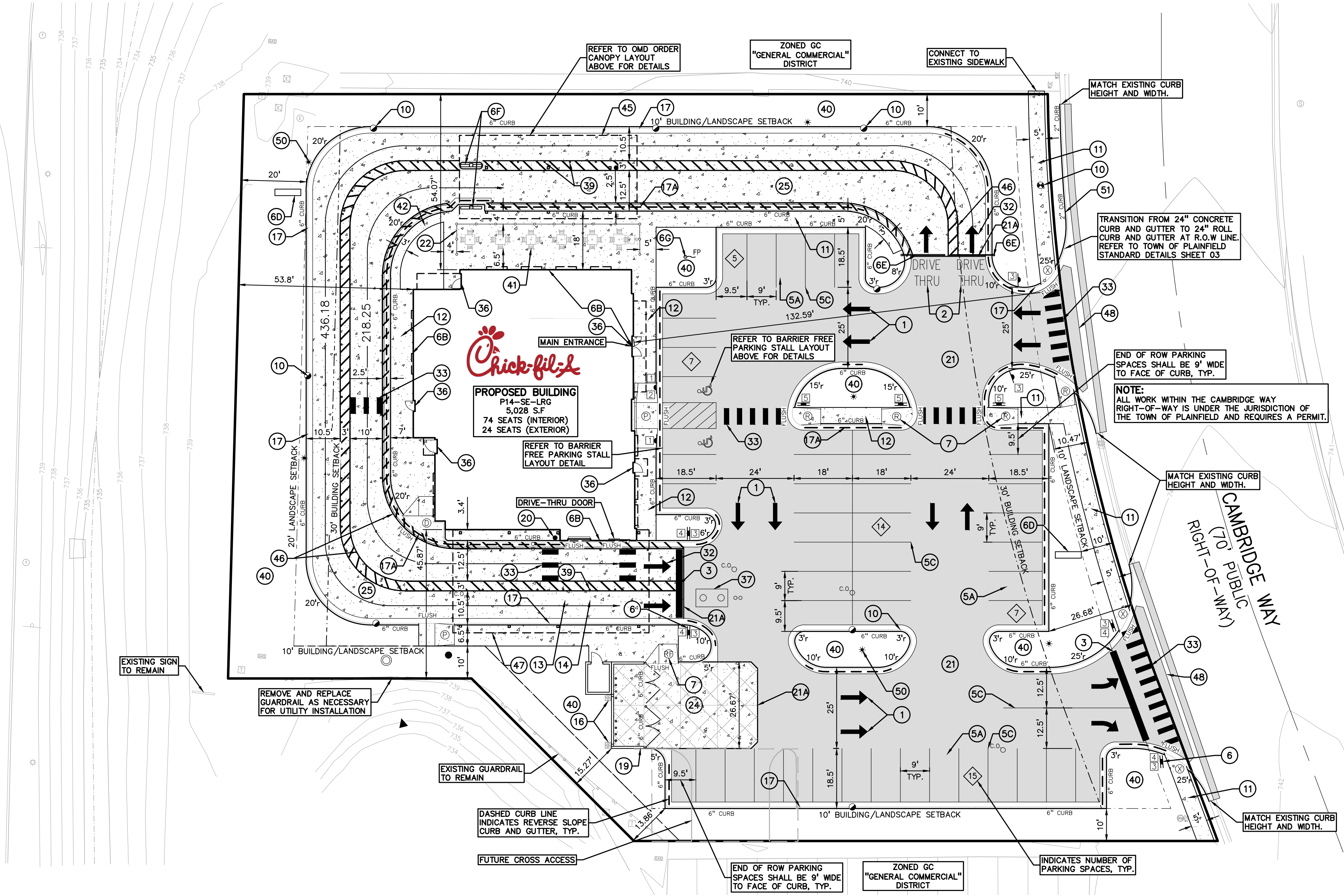
SIDEWALK RAMP "TYPE R"	
SIDEWALK RAMP "TYPE RF"	
SIDEWALK RAMP "TYPE D"	
SIDEWALK RAMP "TYPE P"	
CURB CUT ONLY (NO RAMP)	

REFER TO CHICK-FIL-A STANDARD RAMP DETAILS ON SHEET C-401 AND INDIANA DETAILS ON SHEET C-500

GENERAL NOTES:

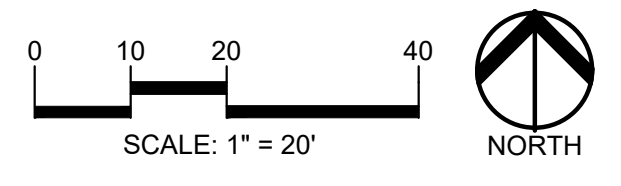
THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- REFER TO SHEETS C-400 THROUGH C-403 FOR ON-SITE PAVING DETAILS.



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CHICK-FIL-A
 PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2022-1054
 PRINTED FOR SPA
 DATE MARCH 20, 2023
 DRAWN BY AJM

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PRELIMINARY SITE PLAN

SHEET NUMBER
C-200

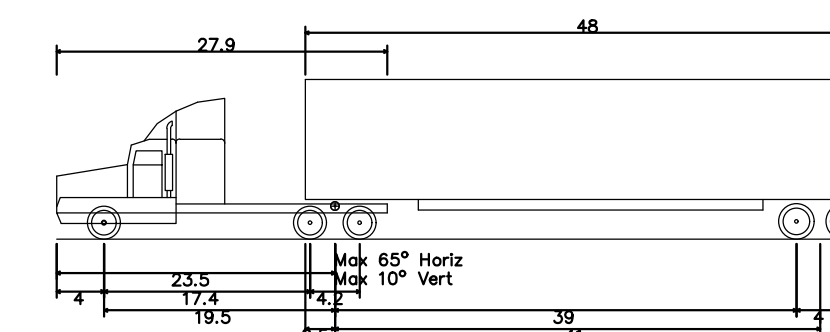
BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.



WB-62 - Interstate Semi-Trailer
 Overall Length 69.00ft
 Overall Width 8.50ft
 Overall Body Height 13.50ft
 Min Body Ground Clearance 1.33ft
 Max Track Width 8.50ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 28.40



Chick-fil-A

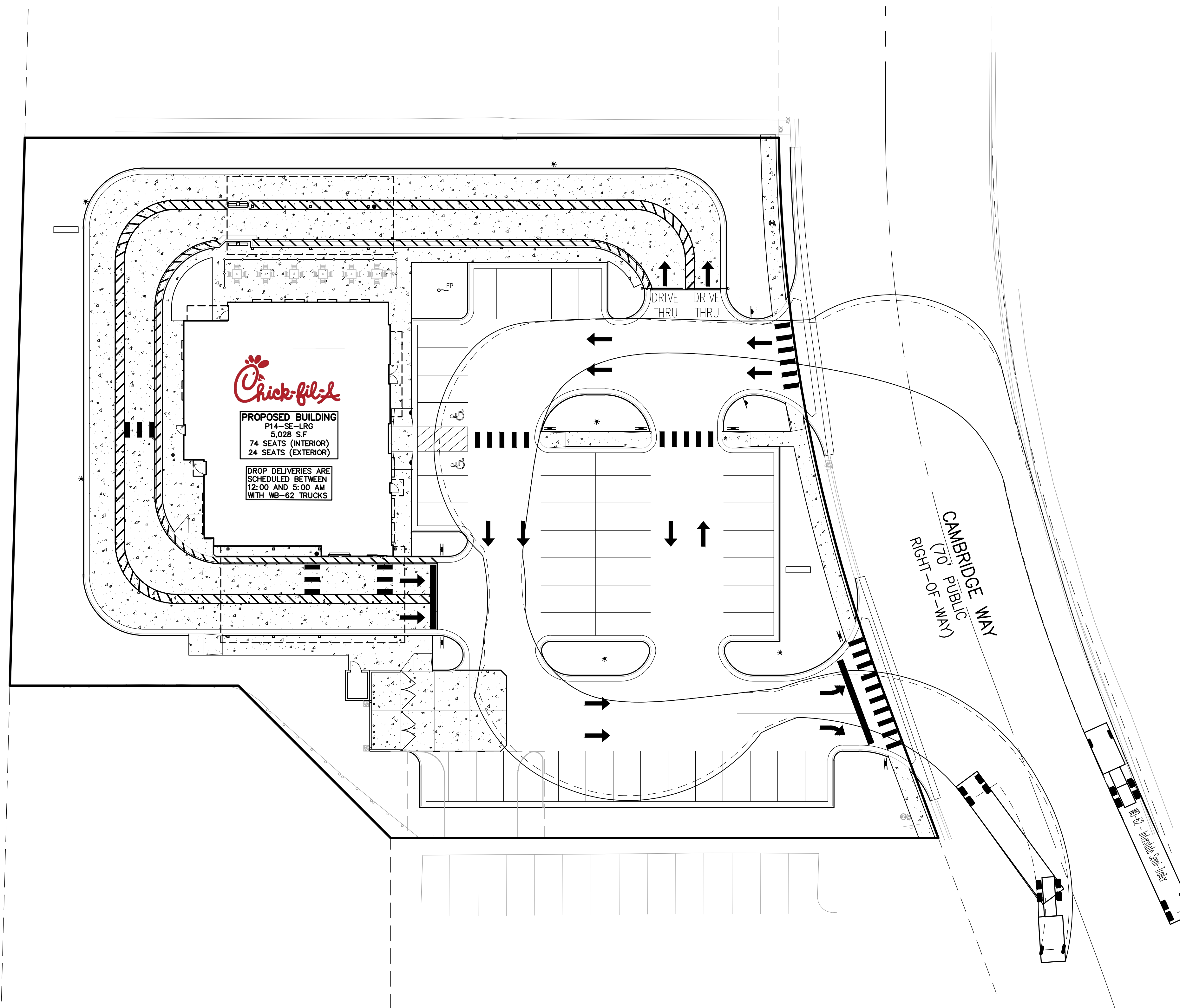
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 Atlanta, Georgia 30349-2998

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STATE ROAD 267
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CHICK-FIL-A
 PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2022-1054
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 DATE MARCH 20, 2023
 DRAWN BY AJM

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SHEET WB-62 TRUCK TURNING PLAN

SHEET NUMBER

C-201

BENCHMARK INFORMATION

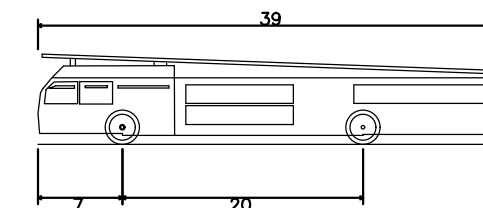
ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD

ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.



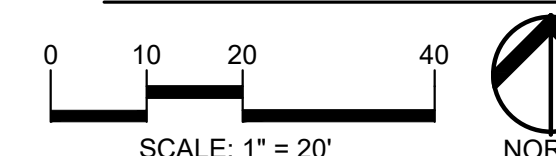
Aerial Fire Truck
 Overall Length 39.000ft
 Overall Width 8.167ft
 Overall Body Height 7.500ft
 Min Body Ground Clearance 0.750ft
 Track Width 8.167ft
 Lock-to-lock time 5.006s
 Max Wheel Angle 45.00°



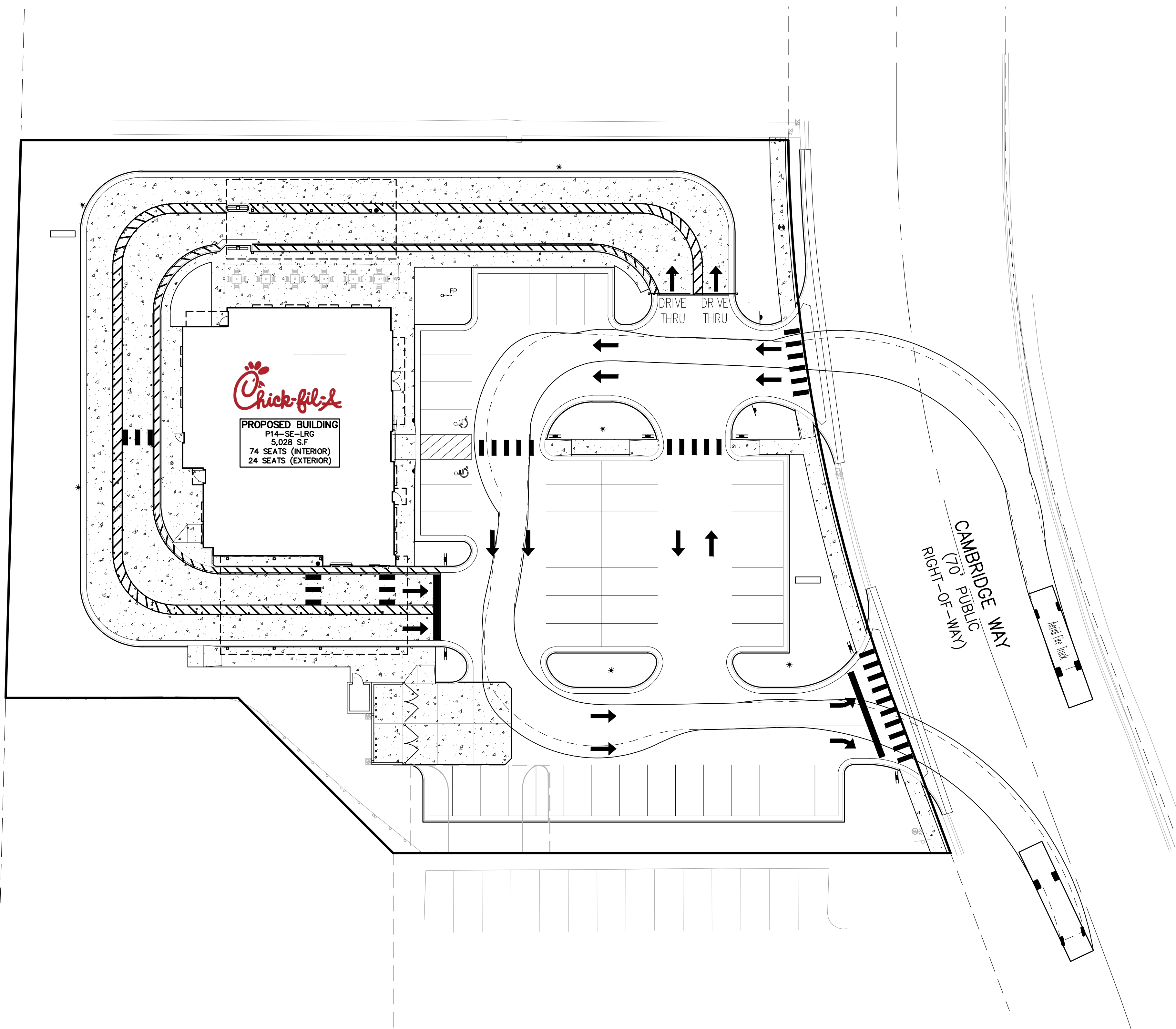
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STATE ROAD 267
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CAMBRIDGE WAY
 (70' PUBLIC RIGHT-OF-WAY)

CHICK-FIL-A
 PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

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SHEET
FIRE TRUCK TURNING PLAN

SHEET NUMBER

C-202

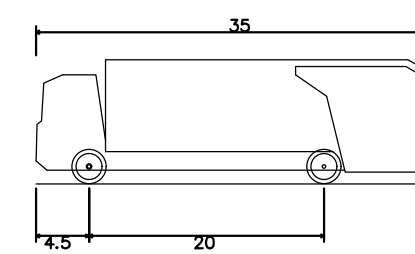
BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.

ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.



Rear-Load Garbage Truck
 Overall Length 35
 Overall Width 8.57
 Overall Body Height 10.546
 Min Body Ground Clearance 1.000
 Track Width 8.575
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 29.300ft

35.000ft
 8.575ft
 10.546ft
 1.000ft
 8.575ft
 6.00s
 29.300ft



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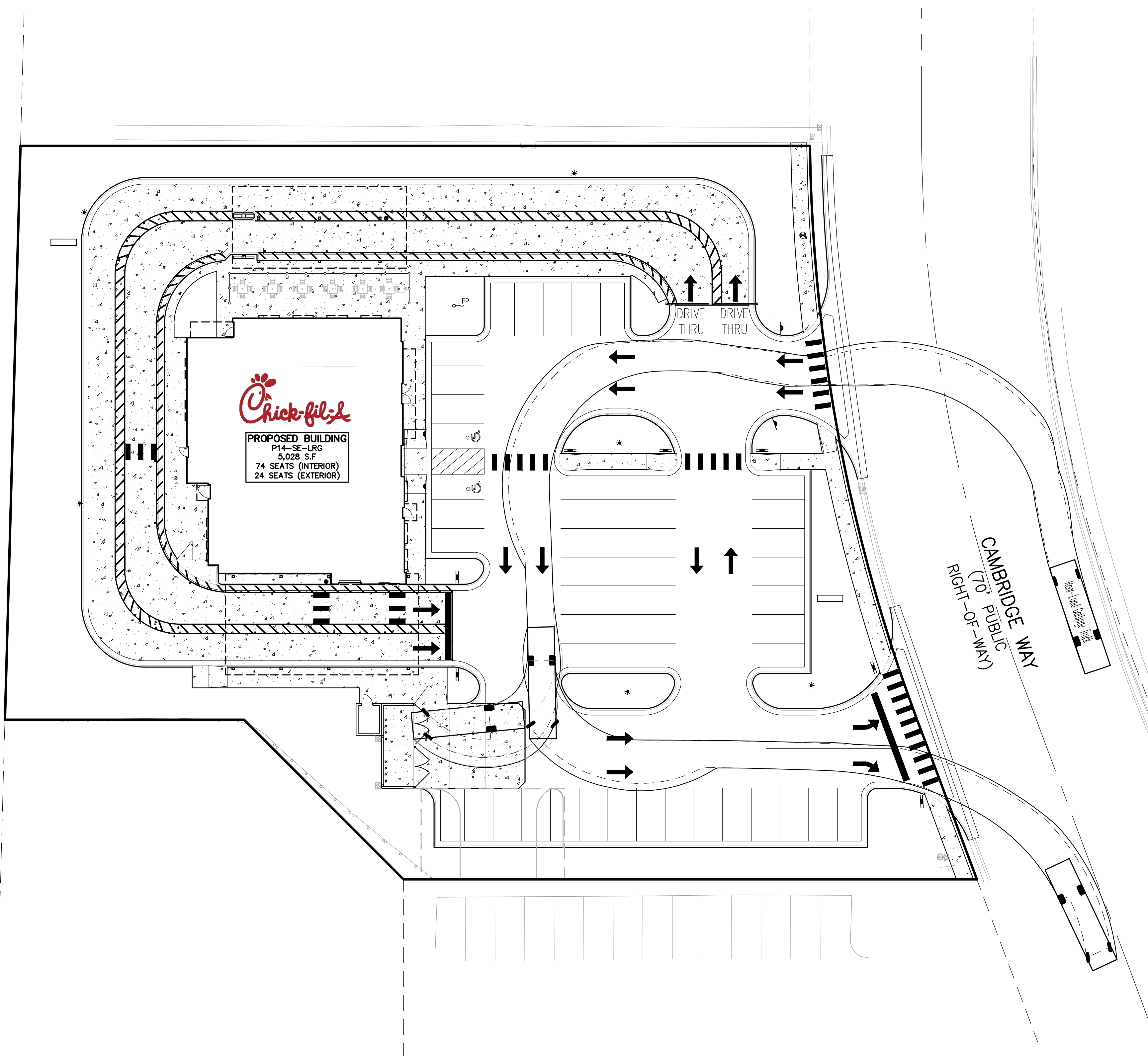
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STATE ROAD 267
 (PUBLIC RIGHT-OF-WAY)



CHICK-FIL-A
 PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

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SHEET
 GARBAGE TRUCK
 TURNING PLAN

SHEET NUMBER

C-203

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

SIDEWALK RAMP LEGEND:

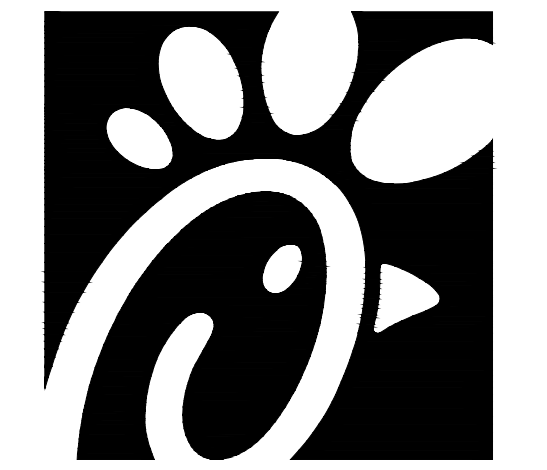
- SIDEWALK RAMP 'TYPE R' (R)
 - SIDEWALK RAMP 'TYPE RF' (RF)
 - SIDEWALK RAMP 'TYPE D' (D)
 - SIDEWALK RAMP 'TYPE P' (P)
 - CURB CUT ONLY (NO RAMP) (C)
- REFER TO CHICK-FIL-A STANDARD RAMP DETAILS ON SHEET C-401 AND INDIANA DETAILS ON SHEET C-500

GRADING LEGEND:

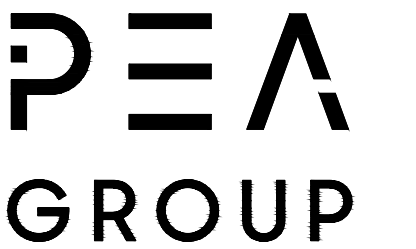
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

ABBREVIATIONS

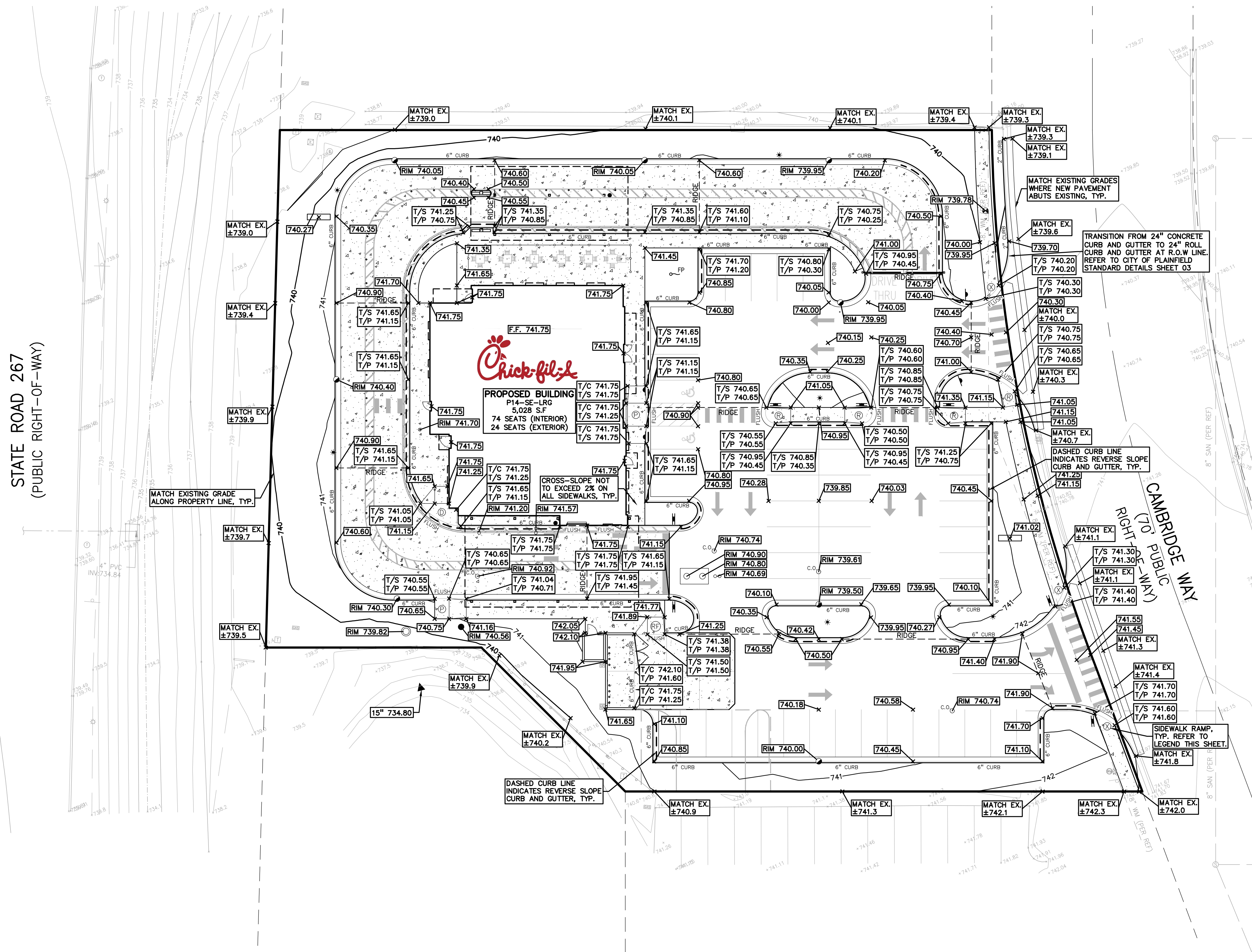
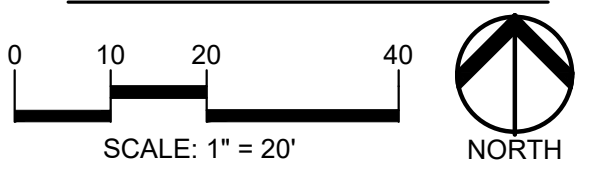
- T/C = TOP OF CURB
- T/P = TOP OF PAVEMENT
- T/S = TOP OF SIDEWALK
- G = GUTTER GRADE
- F.G. = FINISH GRADE
- RIM = RIM ELEVATION



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PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

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SHEET PRELIMINARY GRADING PLAN

SHEET NUMBER **C-300**

File Path
 3/15/2021
 S:\PROJECTS\2022\2022-1054_CFA_PLAINFIELD_05219\DWG\SITE_PLAN\03 - 05219 - C-300-GRADE-221054.dwg

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
L-61 (PID: KA0040)
1.2 MILES SOUTHEAST FROM PLAINFIELD
ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1846 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF PLAINFIELD AND HENDRICKS COUNTY.
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
6. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

STORM SEWER NOTES:

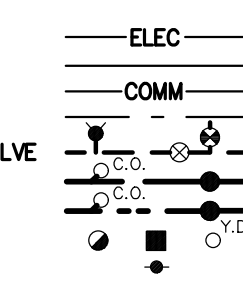
1. ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE HP STORM WITH WATERTIGHT BELL-AND SPIGOT JOINTS UNLESS SPECIFIED OTHERWISE.
2. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26.
4. JOINTS FOR P.V.C. PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3212.

END SECTIONS	
1	END SECTION 15" 734.80

STORM STRUCTURES	
WOU 2	(6' DIA./4' SUMP) RIM = 739.82 15" N 734.86 15" S 734.86
CB 3	(6' DIA./2' SUMP) RIM = 740.30 12" E 735.35 12" N 735.10 15" S 734.90
CB 4	(4' DIA./2' SUMP) RIM = 740.40 12" N 735.35 12" S 735.35
CB 5	(4' DIA./2' SUMP) RIM = 740.05 12" E 735.80 12" S 735.60
CB 6	(4' DIA./2' SUMP) RIM = 740.05 12" E 735.80 12" W 735.88
CB 7	(4' DIA./2' SUMP) RIM = 739.95 12" S 736.09 12" W 736.09
CB 8	(4' DIA./2' SUMP) RIM = 739.95 12" N 736.25
MH 9	(4' DIA./0' SUMP) RIM = 740.56 12" E 735.43 12" W 735.43
CB 10	(4' DIA./2' SUMP) RIM = 739.50 12" S 735.83 12" W 735.83
CB 11	(4' DIA./2' SUMP) RIM = 740.00 12" N 736.00

UTILITY PLAN LEGEND:

OH/UG ELECTRIC LINE
OH/UG CABLE LINE
OH/UG COMMUNICATION LINE
GAS LINE, VALVE & GAS LINE MARKER
WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE
SANITARY SEWER, CLEANOUT & MANHOLE
STORM SEWER, CLEANOUT & MANHOLE
CATCH BASIN, INLET, AND YARD DRAIN
POST INDICATOR VALVE

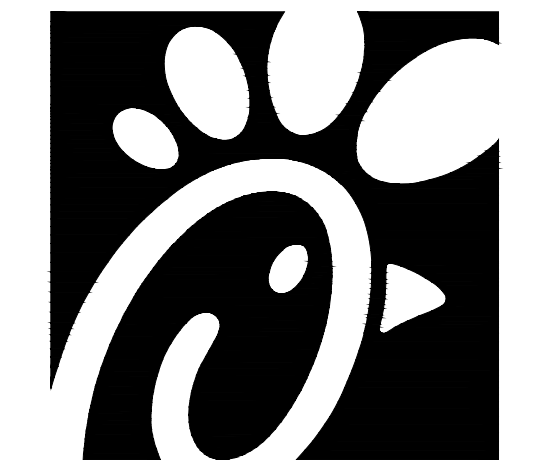


DETENTION / WATER QUALITY REQUIREMENTS:

EXISTING CONDITIONS:
SITE AREA = 48,060 S.F. (1.10 ACRES)
IMPERVIOUS AREA = 47,014 S.F. (1.08 ACRES)
PERVIOUS AREA = 1,046 S.F. (0.02 ACRES)
"C" VALUE = 0.83

PROPOSED CONDITIONS:
SITE AREA = 48,060 S.F. (1.10 ACRES)
IMPERVIOUS AREA = 40,608 S.F. (0.93 ACRES)
PERVIOUS AREA = 7,452 S.F. (0.17 ACRES)
"C" VALUE = 0.74

NOTE: THE STORM SYSTEM FOR THE EXISTING BOB EVANS RESTAURANT DRAINS TO THE EXISTING RETENTION BASIN LOCATED IN THE SOUTHWEST CORNER OF THE PROPERTY. THE PROPOSED CHICK-FIL-A REDUCES THE AMOUNT OF IMPERVIOUS AREA TRIBUTARY TO THE EXISTING RETENTION BASIN, THEREFORE NO ADDITIONAL DETENTION IS PROPOSED AT THIS TIME. WATER QUALITY UNIT IS PROPOSED DOWNSTREAM OF ALL CATCH BASINS TO MEET HENDRICKS COUNTY WATER QUALITY STANDARDS.

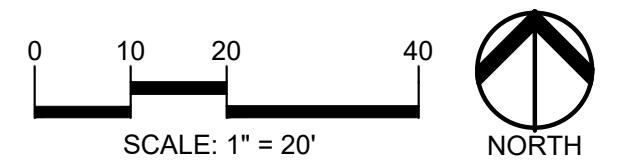


Chick-fil-A

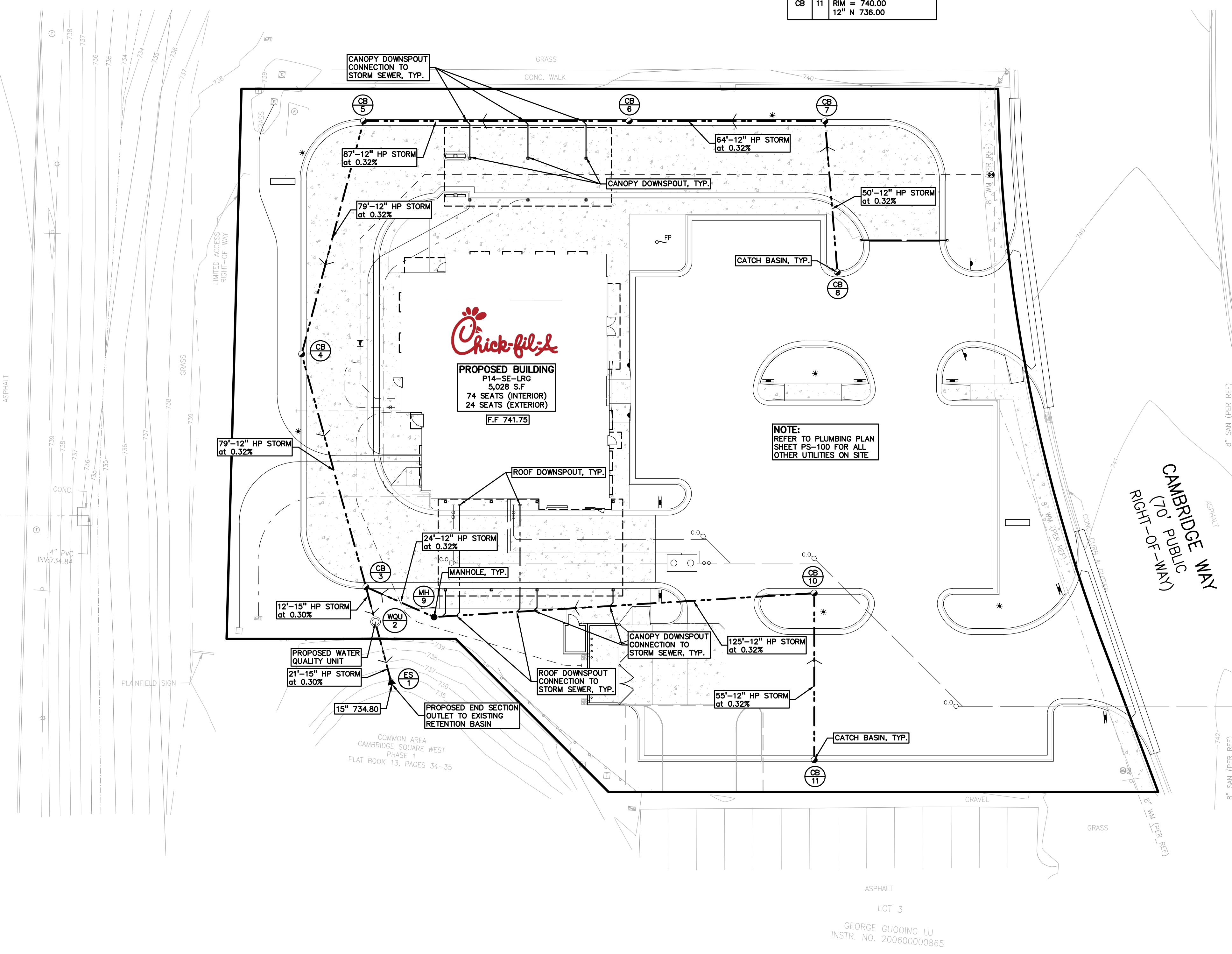
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

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STATE ROAD 267
(PUBLIC RIGHT-OF-WAY)



Chick-fil-A
PROPOSED BUILDING
P14-SE-LRG
5,028 S.F.
74 SEATS (INTERIOR)
24 SEATS (EXTERIOR)
F.F. 741.75

NOTE:
REFER TO PLUMBING PLAN SHEET PS-100 FOR ALL OTHER UTILITIES ON SITE

CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

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SHEET
PRELIMINARY STORM SEWER PLAN

SHEET NUMBER

C-301

File Path
3/15/2021
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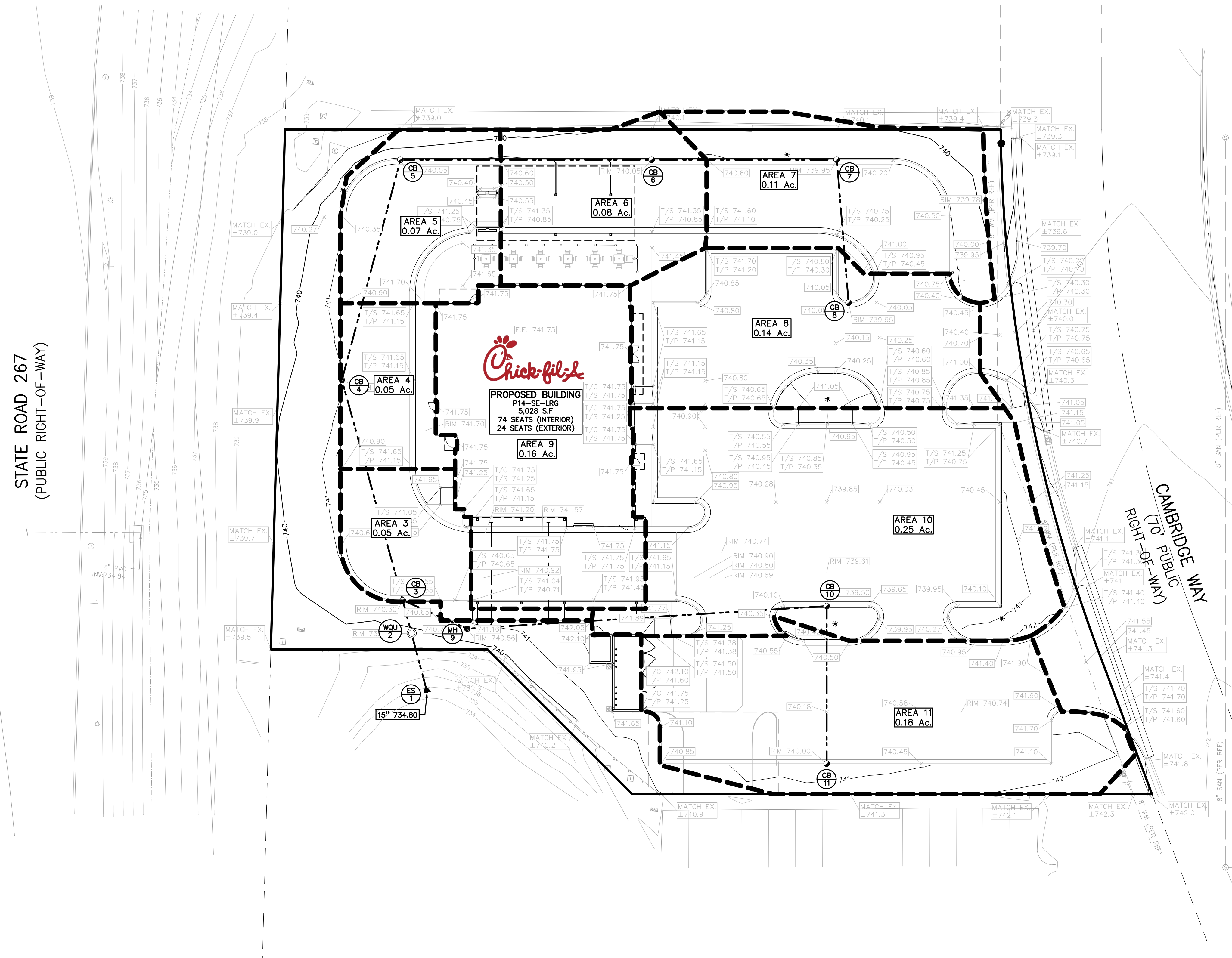
BENCHMARK INFORMATION
 ORIGINATING BENCHMARK
 L-61 (PID: KA0040)
 1.2 MILES SOUTHEAST FROM PLAINFIELD
 ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1946 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
 ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION
 LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 23, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

STORM SEWER SYSTEM DESIGN

$I = B / (T + D) \times E$ $B = 85.60$ $D = 10.00$ $E = 1.00$
 $C = \text{varies}$
 $T = 10$ (min.) Pipe "n" Value = 0.013

FROM STR	TO STR	AREA (A) (Acres)	COEF. C	A x C	TOTAL AREA (AxC) (Acres)	TIME t (min.)	INT. I (In/hr)	FLOW Q (cfs)	PIPE CAP. (cfs)	PIPE DIA. (in.)	PIPE LENGTH (ft.)	PIPE SLOPE (%)	MIN HG PER "Q" (ft.)	VEL. FULL (ft./sec)	TIME FLOW (min.)	H.G.L. ELEV.		RIM ELEV.		INVERT ELEV.		PIPE COVER		HGL COVER		
																UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	UP STREAM	DOWN STREAM	
8	7	0.14	0.75	0.11	0.11	0.14	10.00	4.28	0.45	2.02	12	50	0.32	0.02%	2.6	0.3	737.05	736.89	739.95	739.95	736.25	736.09	2.54	2.70	2.90	3.06
7	6	0.11	0.59	0.07	0.17	0.25	10.30	4.22	0.73	2.02	12	64	0.32	0.04%	2.6	0.4	736.89	736.68	739.95	740.05	736.09	735.88	2.70	3.00	3.06	3.37
6	5	0.08	0.69	0.06	0.23	0.34	10.70	4.14	0.96	2.02	12	87	0.32	0.07%	2.6	0.6	736.68	736.40	740.05	740.05	735.88	735.60	3.00	3.00	3.37	3.65
5	4	0.07	0.70	0.05	0.28	0.41	11.30	4.02	1.13	2.02	12	79	0.32	0.10%	2.6	0.5	736.40	736.15	740.05	740.40	735.60	735.35	3.28	3.88	3.65	4.25
4	3	0.05	0.85	0.04	0.32	0.45	11.80	3.93	1.25	2.02	12	79	0.32	0.12%	2.6	0.5	736.15	735.90	740.40	740.30	735.35	735.10	3.88	4.03	4.25	4.40
3	2	0.05	0.85	0.04	0.82	1.10	12.30	3.84	3.14	3.54	15	12	0.30	0.24%	2.9	0.1	735.90	735.86	740.30	739.82	734.90	734.86	3.96	3.52	4.40	3.95
2	1	0.00	0.00	0.00	0.82	1.10	12.40	3.82	3.14	3.54	15	21	0.30	0.24%	2.9	0.1	735.86	735.80	739.82	735.76	734.86	734.80	3.52	-0.48	3.95	-0.04
11	10	0.18	0.70	0.13	0.13	0.18	10.00	4.28	0.55	2.02	12	55	0.32	0.02%	2.6	0.4	736.80	736.63	740.00	739.50	736.00	735.83	2.83	2.51	3.20	2.87
10	9	0.25	0.75	0.19	0.32	0.44	10.40	4.20	1.33	2.02	12	125	0.32	0.14%	2.6	0.8	736.63	736.23	739.50	740.56	735.83	735.43	2.51	3.97	2.87	4.34
9	3	0.16	0.85	0.14	0.46	0.60	11.20	4.04	1.84	2.02	12	24	0.32	0.27%	2.6	0.2	736.23	736.15	740.56	740.30	735.43	735.35	3.97	3.78	4.34	4.15

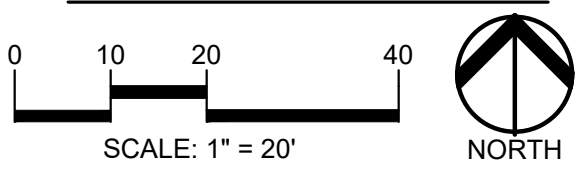


Chick-fil-A

Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia 30349-2998

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t: 844.813.2949
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CHICK-FIL-A
PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE
 NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2022-1054
 PRINTED FOR SPA
 DATE MARCH 20, 2023
 DRAWN BY AJM

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SHEET PRELIMINARY DRAINAGE MAP

SHEET NUMBER

C-302

BENCHMARK INFORMATION

ORIGINATING BENCHMARK
L-61 (PID: KA0040)
1.2 MILES SOUTHEAST FROM PLAINFIELD
ABOUT 1.2 MILES ALONG STATE HIGHWAY 267 FROM ITS JUNCTION WITH U.S. HIGHWAY 40 AT PLAINFIELD, AT A CROSS ROAD, 45 FEET WEST OF AND ABOUT LEVEL WITH THE CENTER LINE OF THE HIGHWAY, 26 FEET NORTH OF THE CENTER LINE OF THE ENTRANCE TO THE EDWARD CUMMINGS FARM, 14 FEET NORTHWEST OF THE NORTH END OF A 12-INCH CORRUGATED PIPE CULVERT, 7 FEET WEST OF TELEPHONE POLE NO. 36-H 62, 4 FEET WEST OF A CONCRETE FENCE CORNER POST, AND 2 FEET EAST OF A WHITE WOODEN WITNESS POST. A STANDARD DISK, STAMPED L 61 1846 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 8 INCHES ABOVE GROUND.
ELEV: 715.41 (NAVD 88)

LAND DESCRIPTION

LOT NUMBERED TWO (2) IN CAMBRIDGE SQUARE WEST, PHASE 1, A SUBDIVISION IN THE TOWN OF PLAINFIELD, HENDRICKS COUNTY, INDIANA, AS PER PLAT THEREOF AS RECORDED MARCH 4, 1988 IN PLAT BOOK 13, PAGES 34-35 AND SURVEYOR'S CERTIFICATE OF ERROR RECORDED MARCH 22, 1988 AS BOOK 114, PAGE 66 IN THE OFFICE OF THE RECORDER OF HENDRICKS COUNTY, INDIANA.

GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF PLAINFIELD AND HENDRICKS COUNTY.
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
6. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

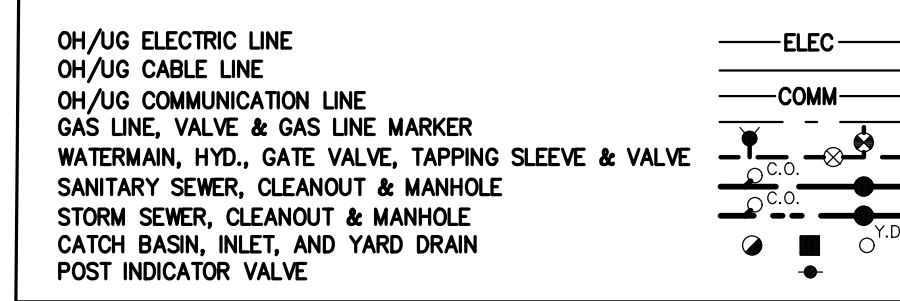
WATER MAIN NOTES:

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5°) DEGREE BENDS, PROPERLY ANCHORED.
2. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
3. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL REQUIRED TESTING IS SATISFACTORILY COMPLETED.
4. NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF HENDRICKS COUNTY.
5. ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
6. WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
7. ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY HENDRICKS COUNTY.

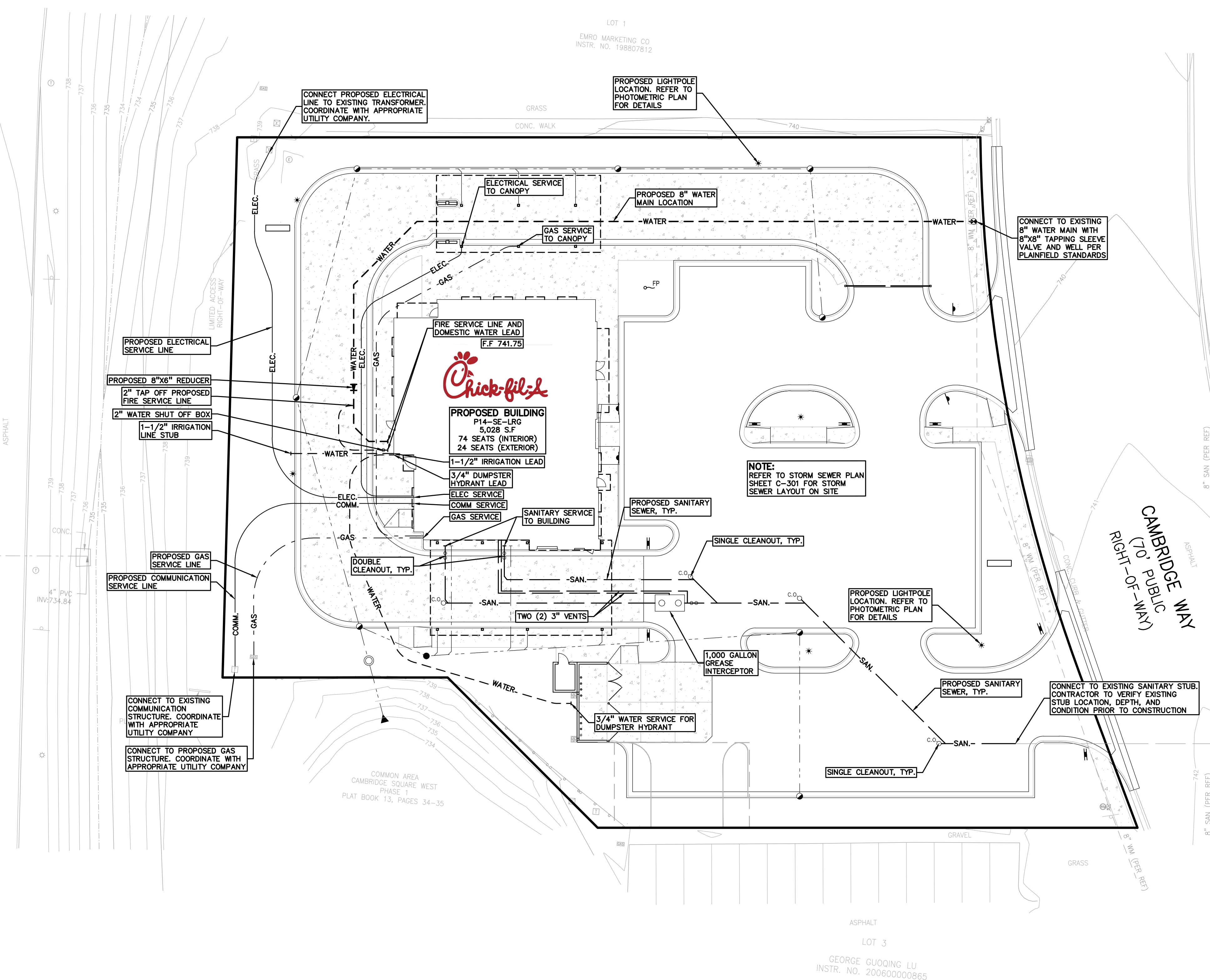
SANITARY SEWER NOTES:

1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
4. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.I.W. #1565 BOX OR EQUAL.

UTILITY PLAN LEGEND:



STATE ROAD 267
(PUBLIC RIGHT-OF-WAY)

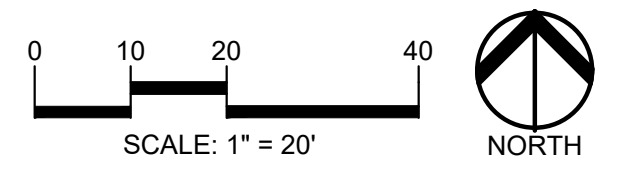


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5200 Buffington Road
Atlanta, Georgia 30349-2998

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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2022-1054
PRINTED FOR SPA
DATE MARCH 20, 2023
DRAWN BY AJM

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SHEET
PRELIMINARY PLUMBING PLAN

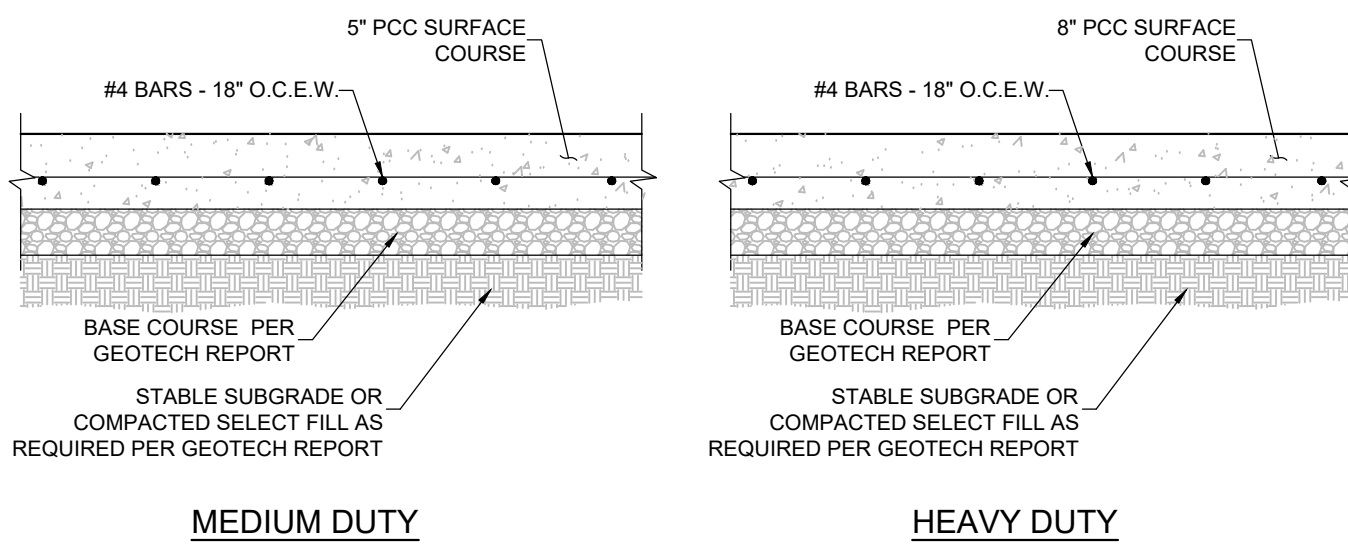
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PS-100

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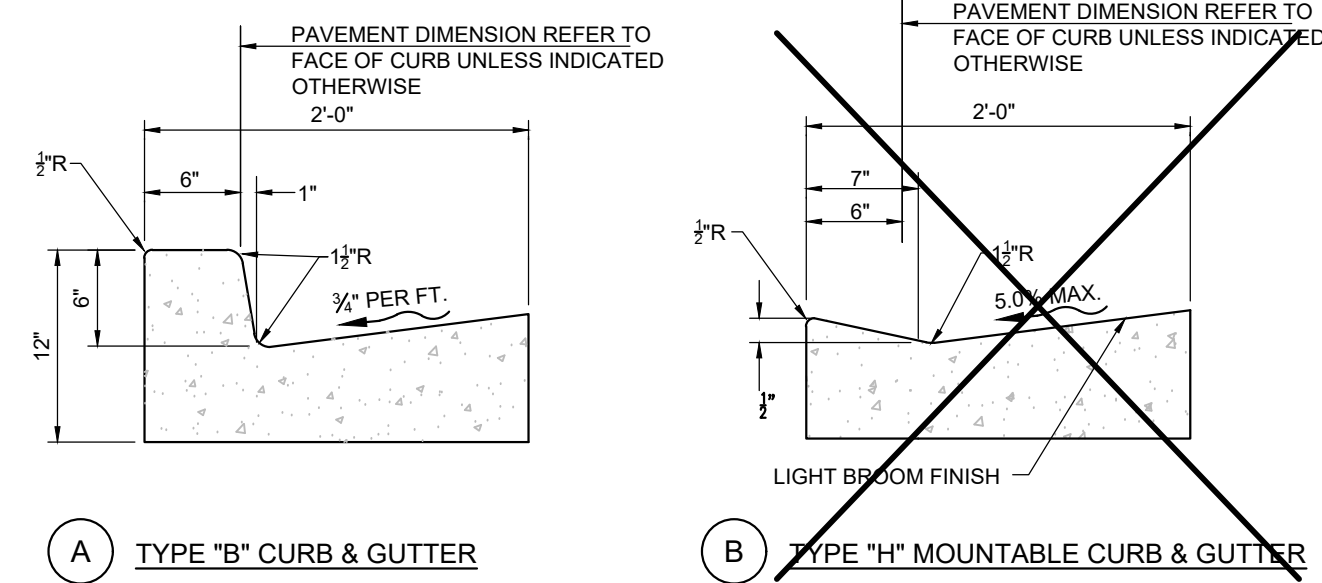
LOT 3
GEORGE GUOJING LU
INSTR. NO. 200600000865

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-05219 - C-400-CFASITDETAILS-221054.dwg

- NOTES:**
- DESIGN PER GEOTECH REPORT BY TERRACON, DATED APRIL 4, 2022.
 - PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION.
 - JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS.
 - CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS.

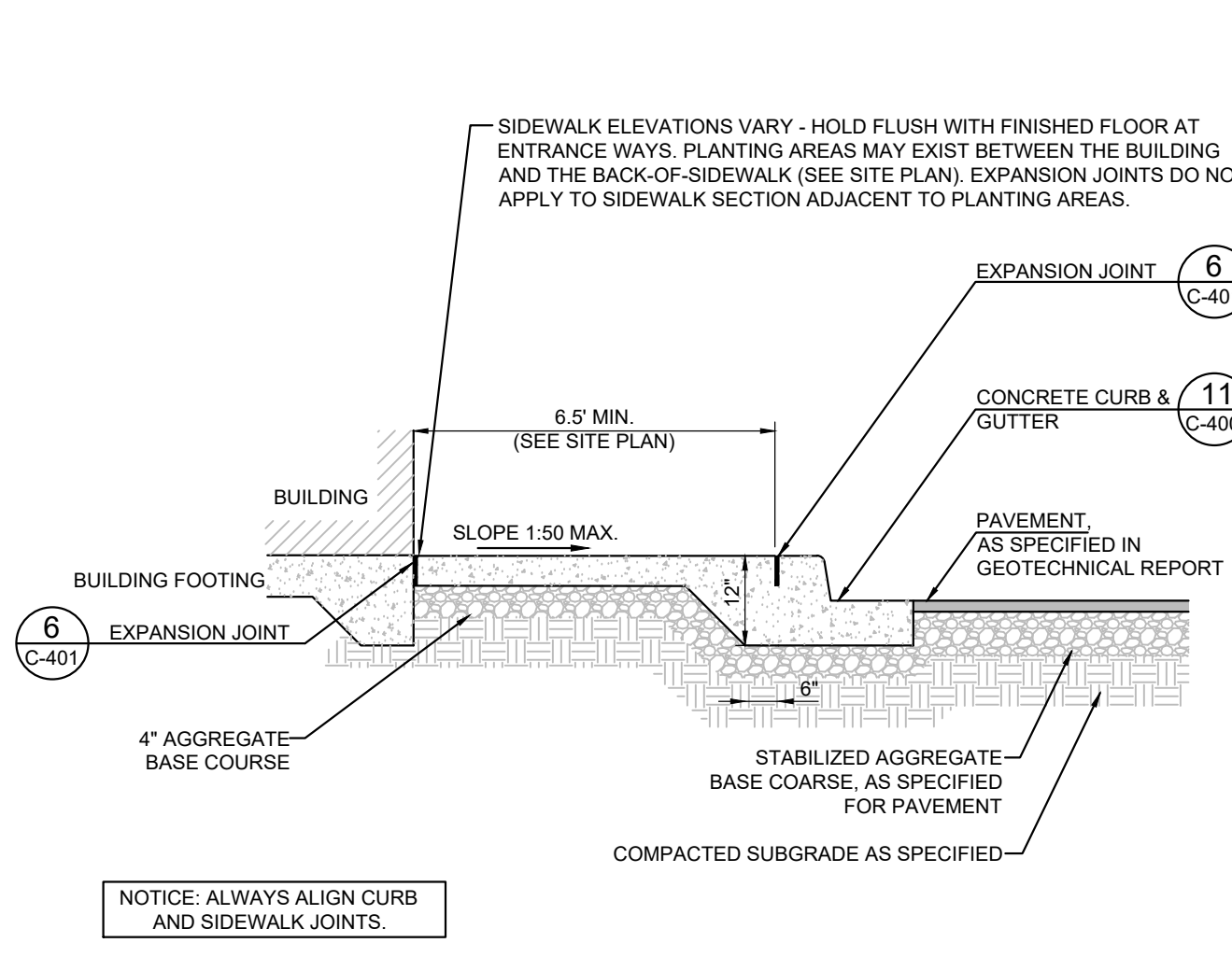


12 CONCRETE PAVEMENTS
C-400 NOT TO SCALE

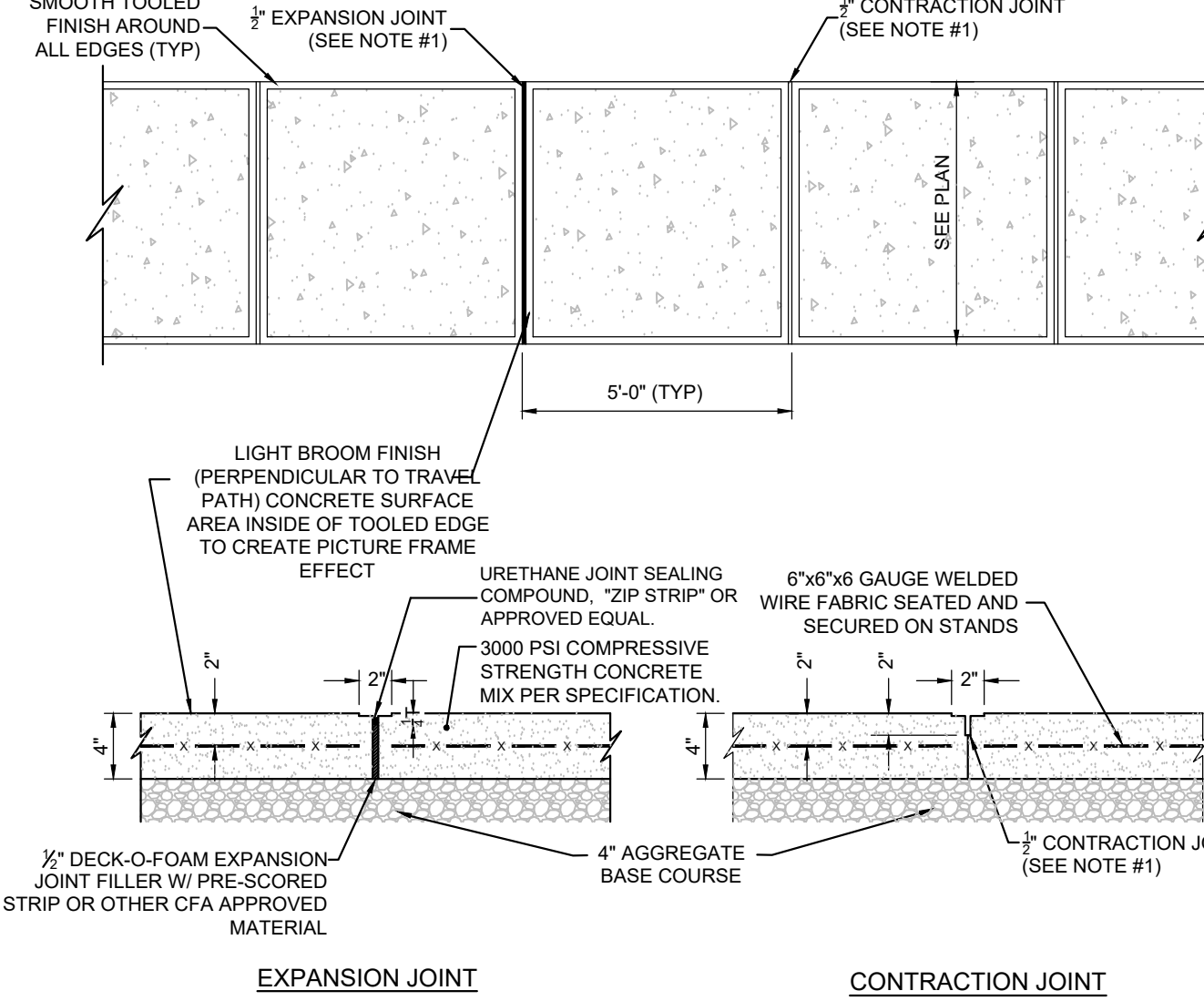


- NOTES:**
- CONC. FOR CURBING SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS
 - CONTRACTION JOINTS @ 1'-0" O.C. TOOLED 1/2" (+ 1/4", -0) WIDE, 1" OR MAX. DIA DEPTH WHICHEVER IS GREATER. EXPANSION JOINTS @ 40'-0" MAX. UNLESS NOTED OTHERWISE ON PLANS
 - IF NEEDED, DOWEL INTO ADJACENT CONC. SLAB PER THE EXPANSION JOINT DETAIL
 - GUTTER SLOPE TO MATCH ADJACENT PAVEMENT, TRANSVERSE & LONGITUDINAL.

11 CONCRETE CURB & GUTTER
C-400 NOT TO SCALE

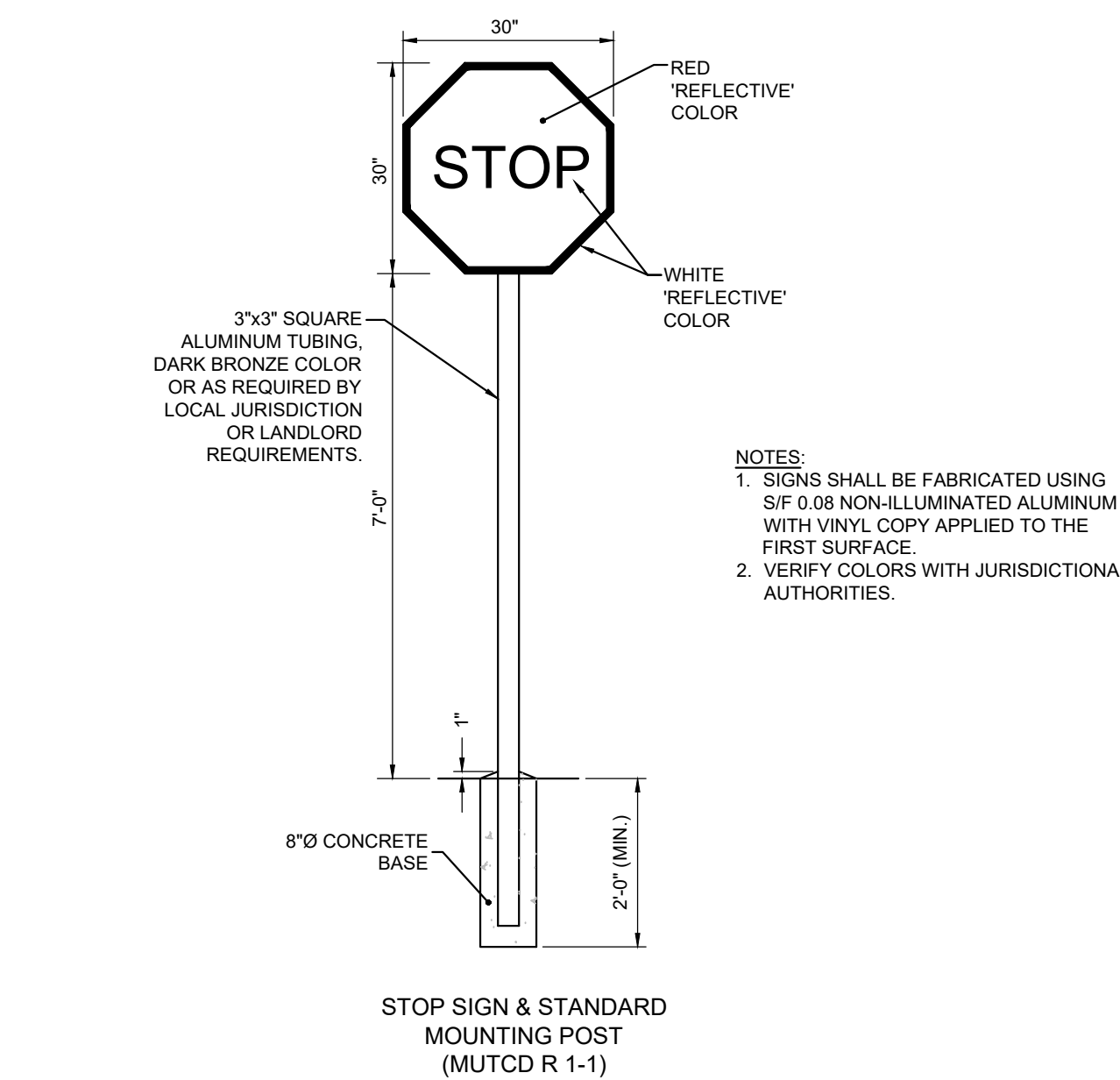


10 SIDEWALK W/ CURB & GUTTER
C-400 NOT TO SCALE

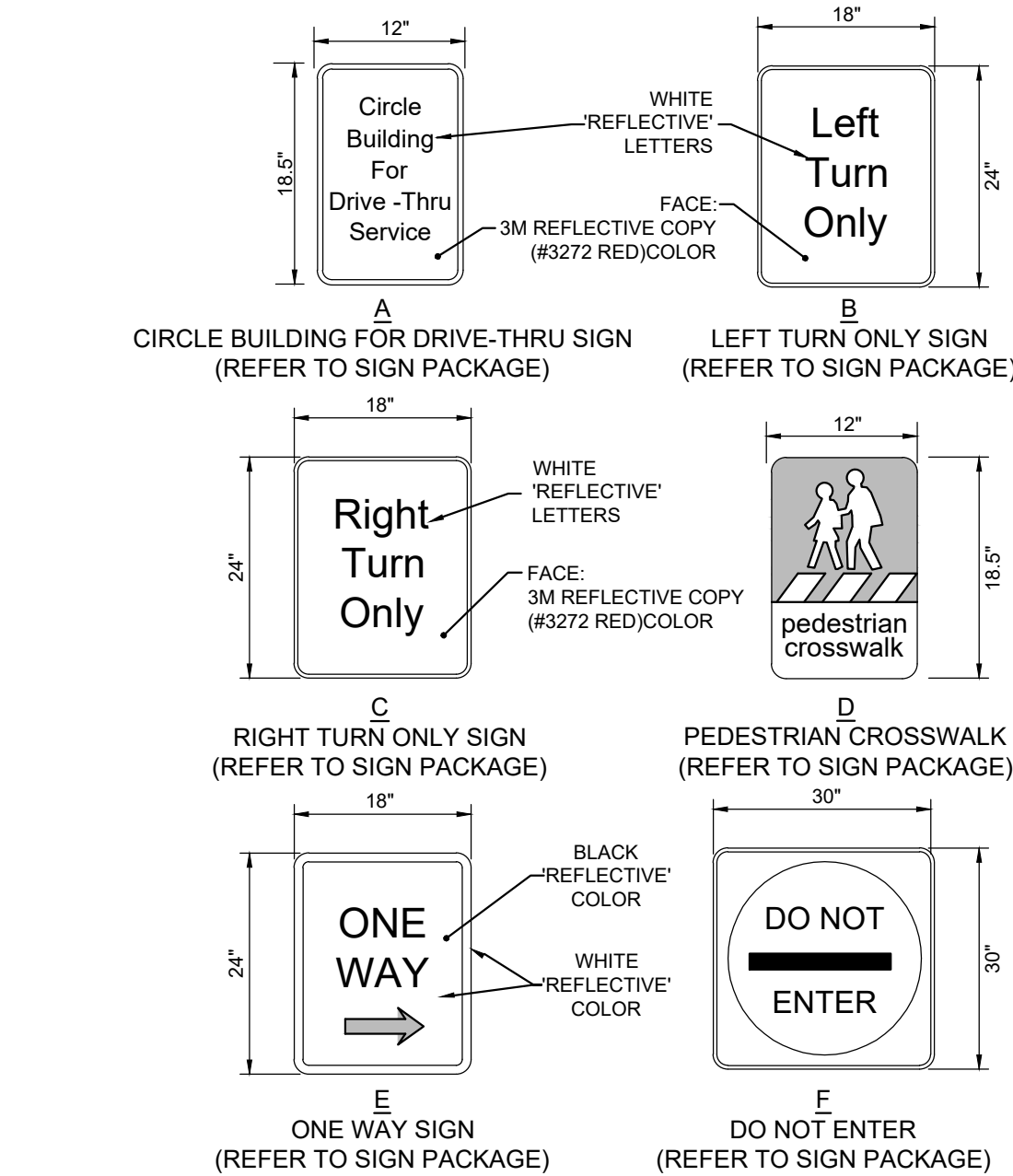


- NOTES:**
- JOINTS AT 5'-0" O.C. TOOLED 1/2" WIDE, 1" DEEP OR MAX. 1/2" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.s. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

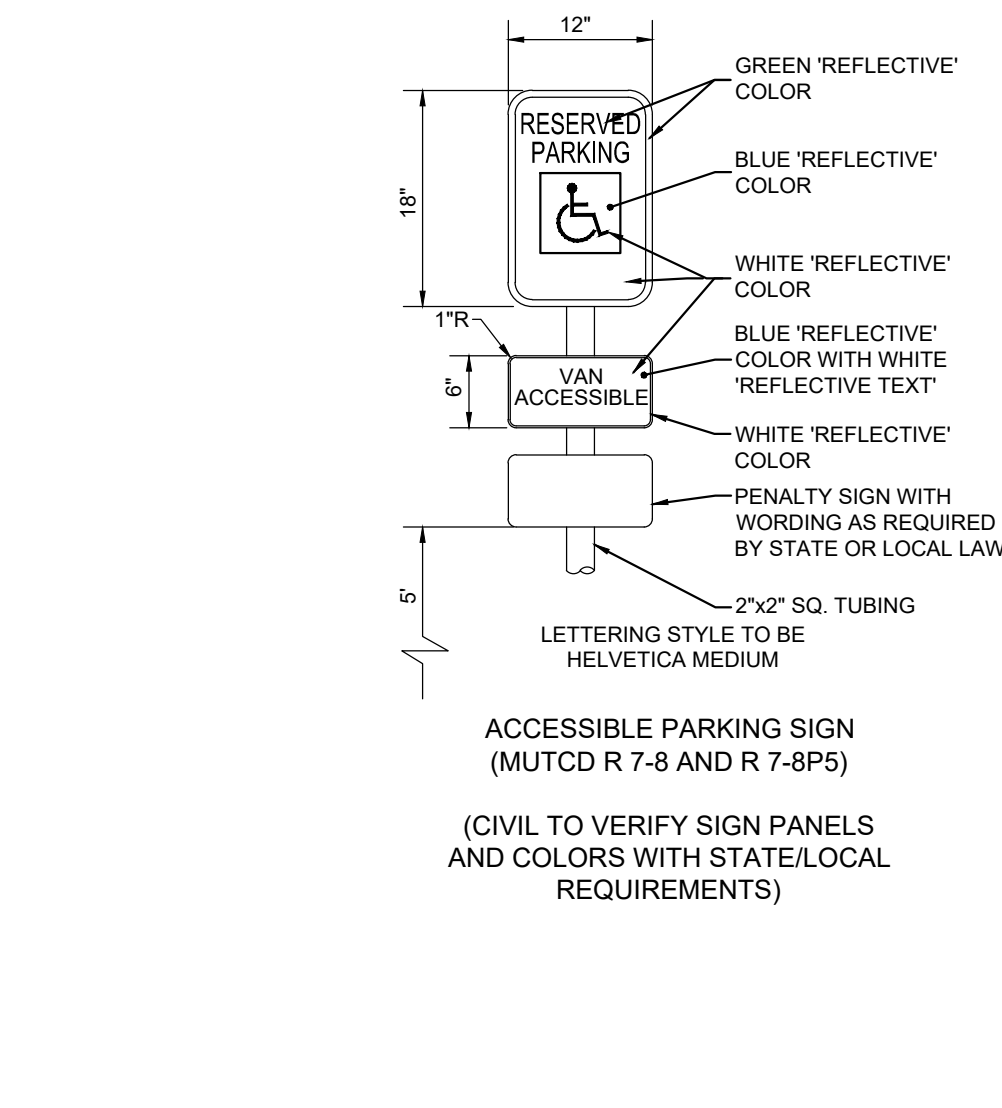
9 CONCRETE SIDEWALK
C-400 NOT TO SCALE



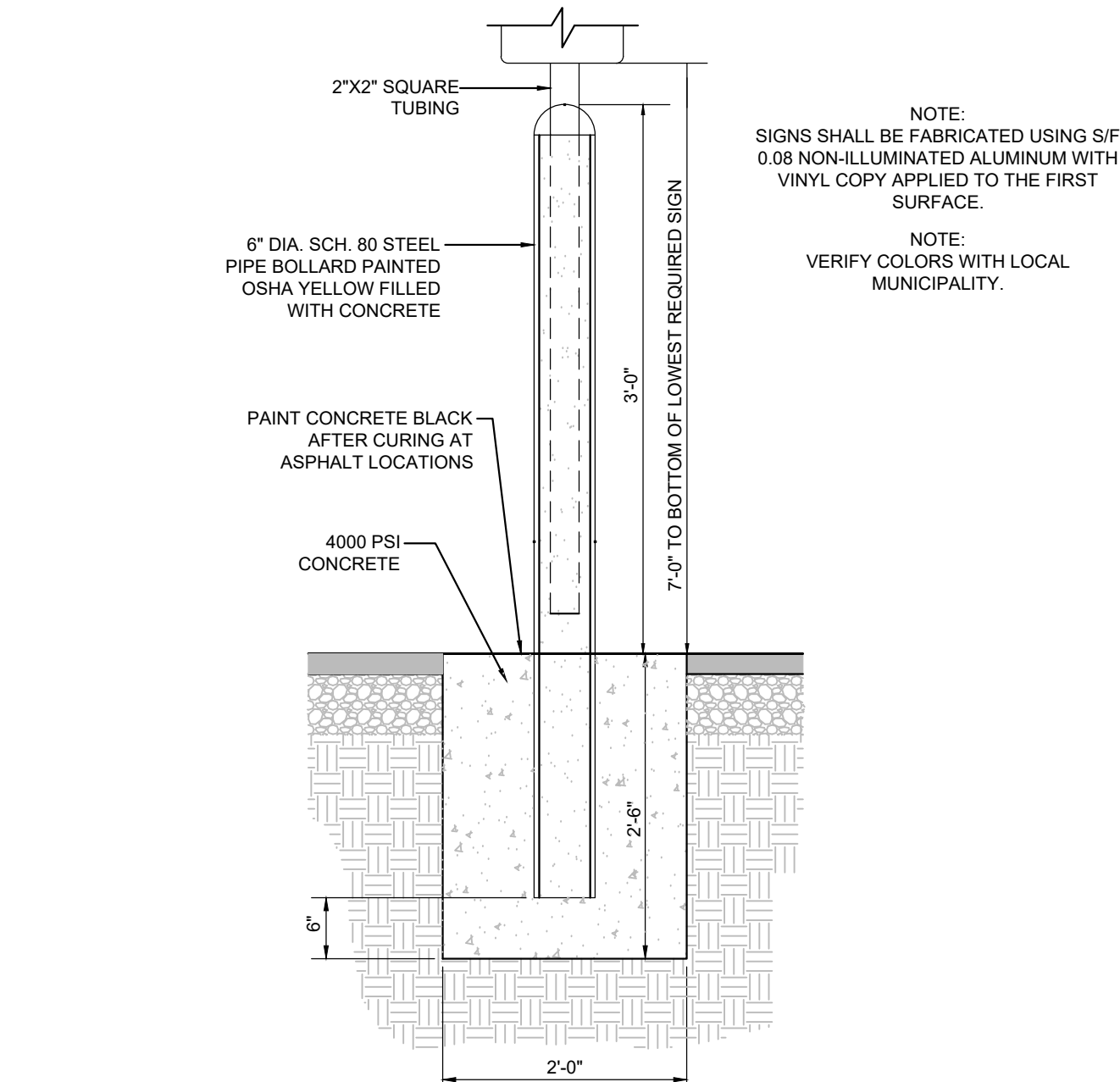
8 STOP SIGN
C-400 NOT TO SCALE



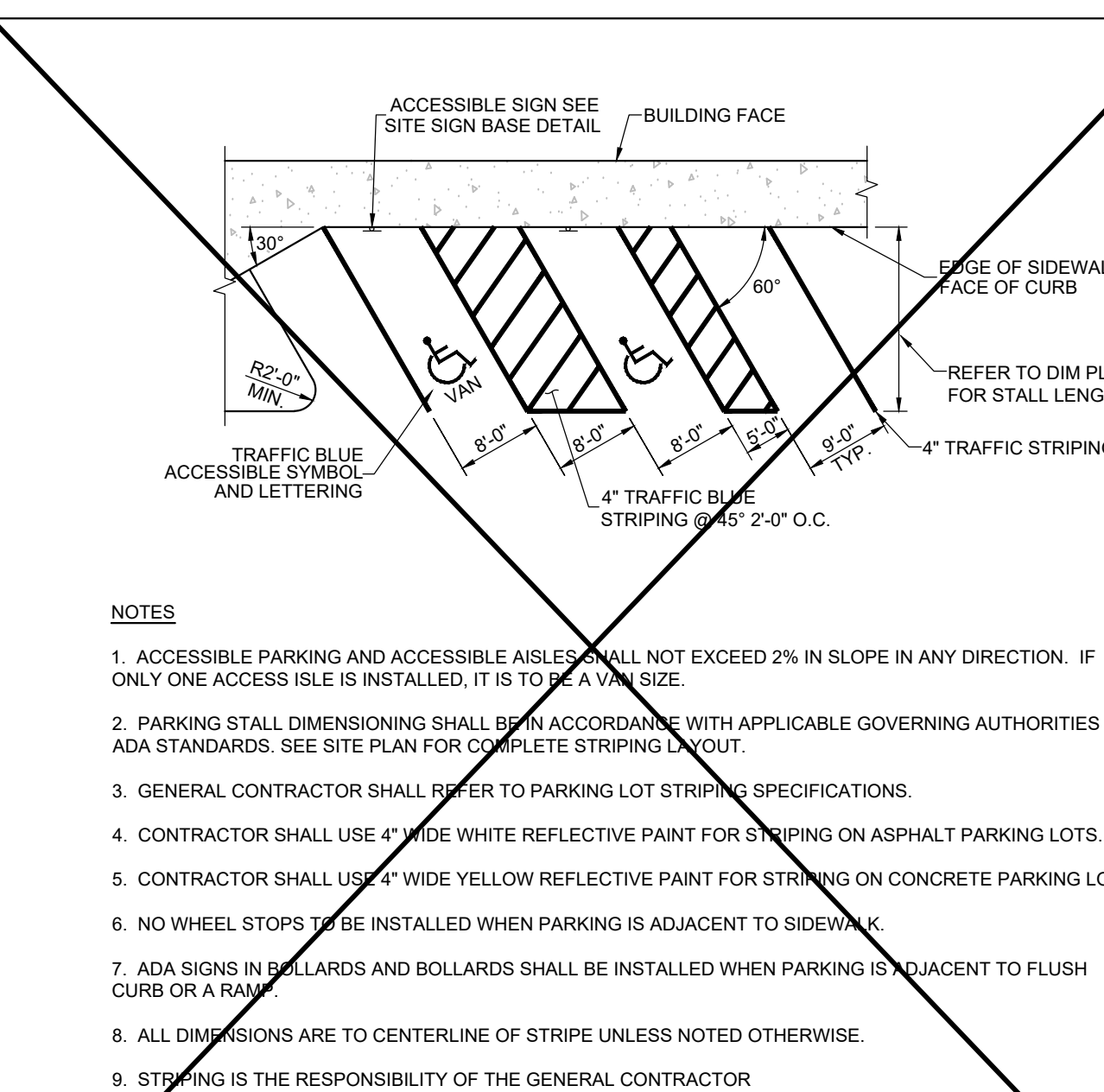
7 DIRECTIONAL SIGNAGE
C-400 NOT TO SCALE



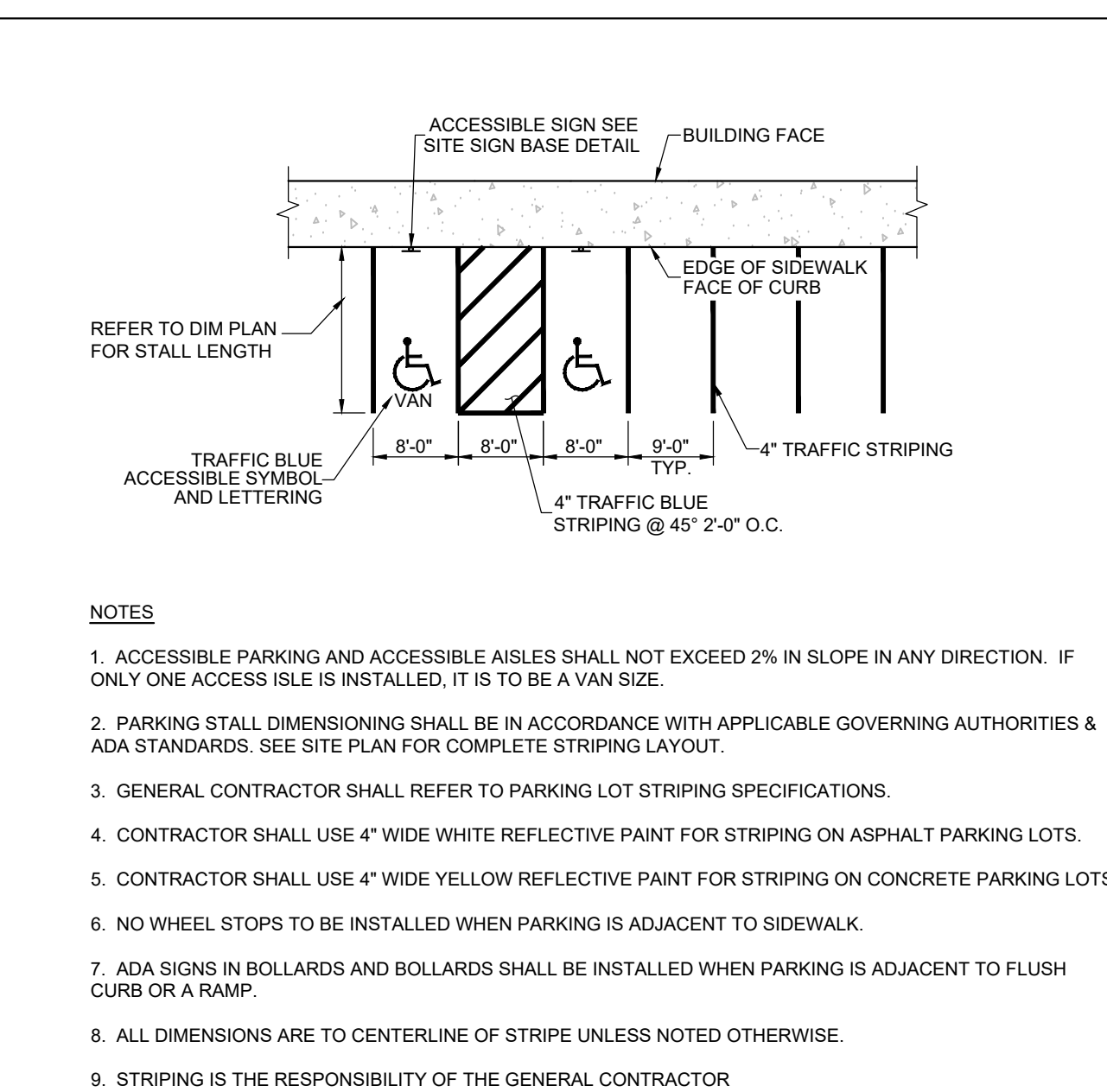
6 ACCESIBLE PARKING SIGN
C-400 NOT TO SCALE



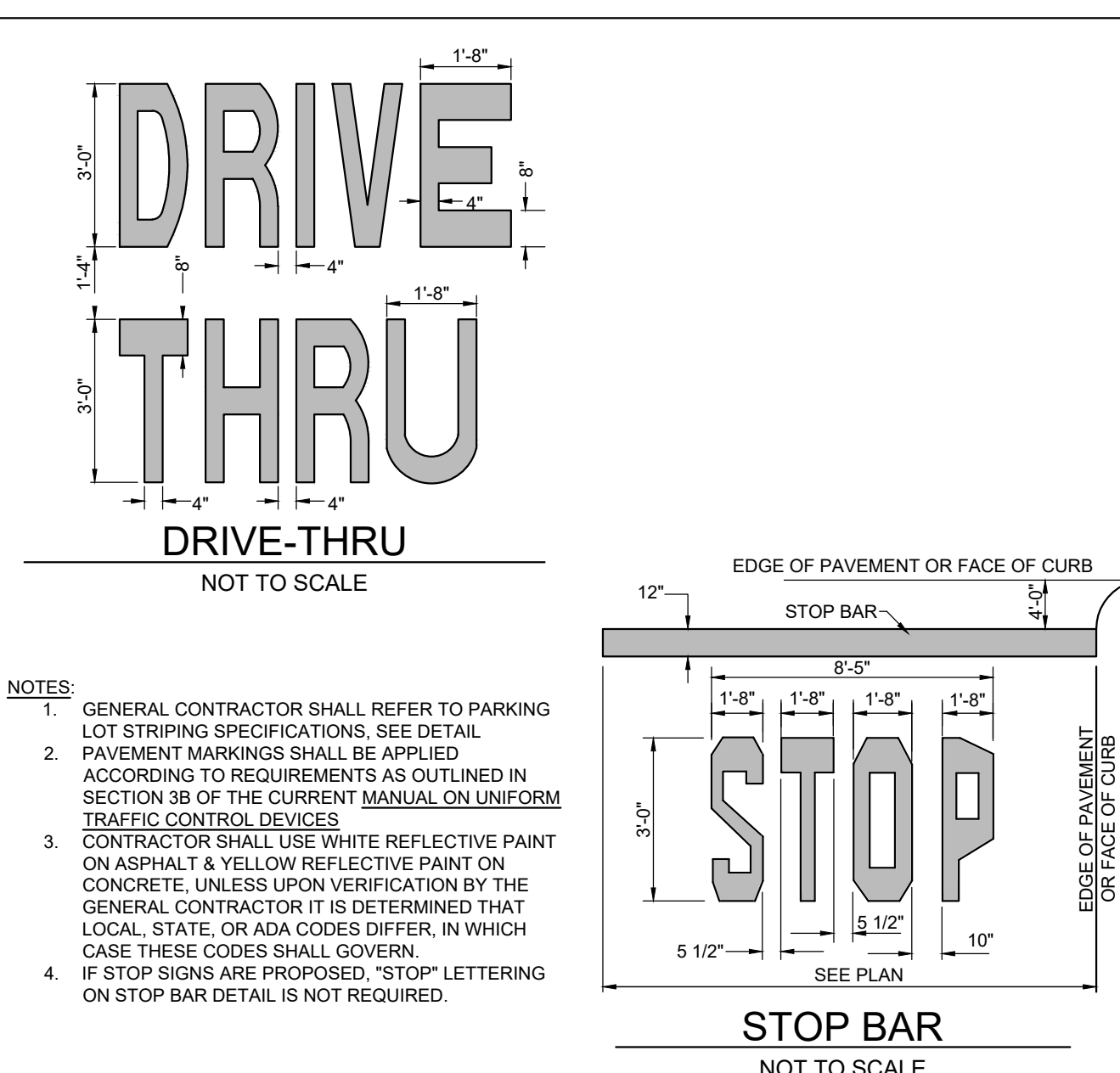
5 BOLLARD MOUNTED SIGN
C-400 NOT TO SCALE



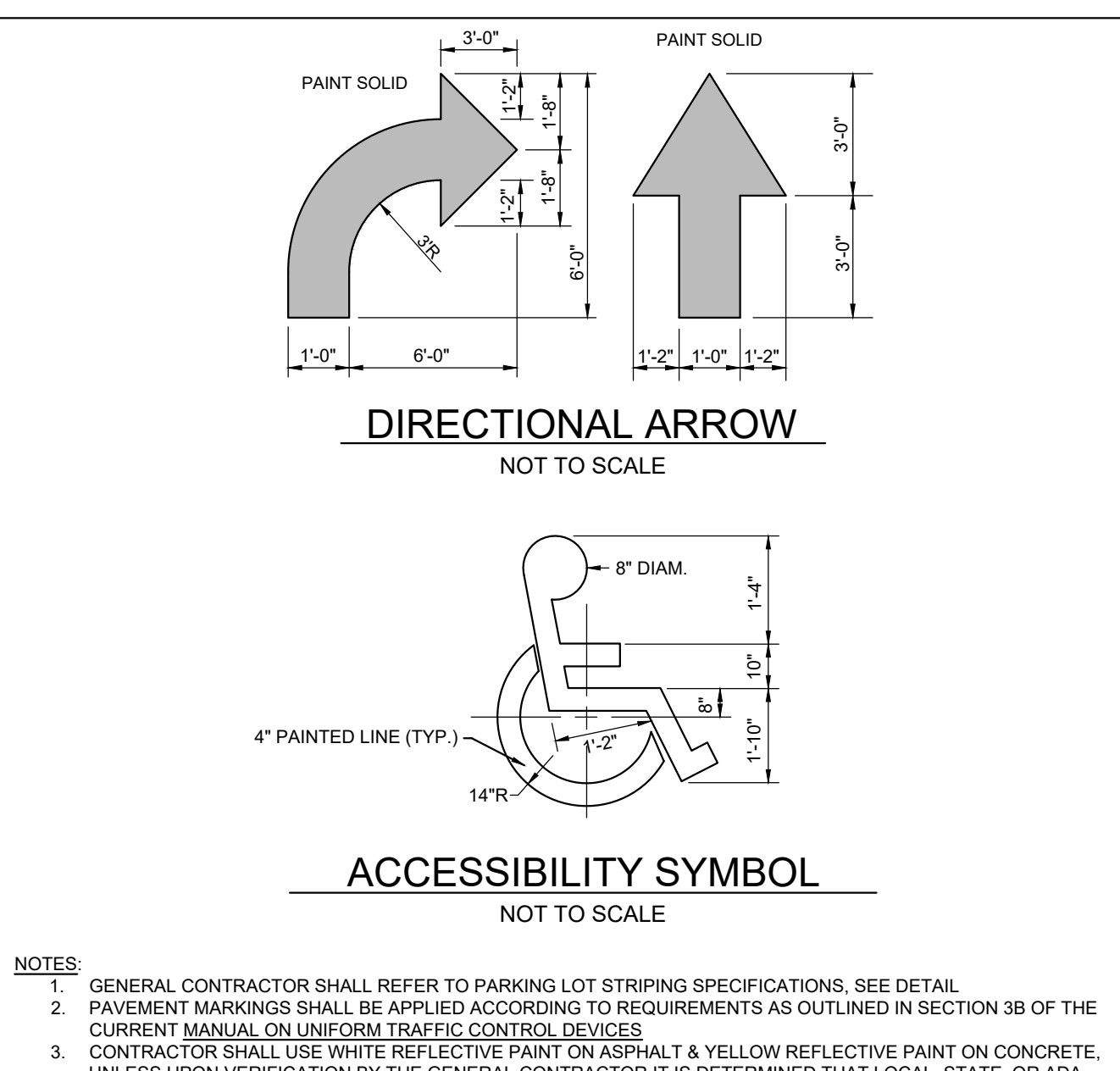
4 60° ANGLED PARKING STRIPING
C-400 NOT TO SCALE



3 90° PARKING STRIPING
C-400 NOT TO SCALE



2 PAVEMENT MARKINGS - 2
C-400 NOT TO SCALE

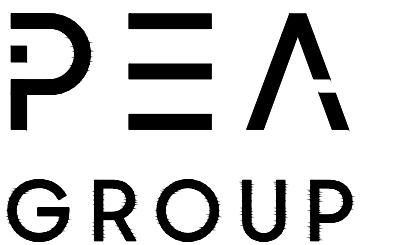


1 PAVEMENT MARKINGS - 1
C-400 NOT TO SCALE



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Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



t: 844.813.2949
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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

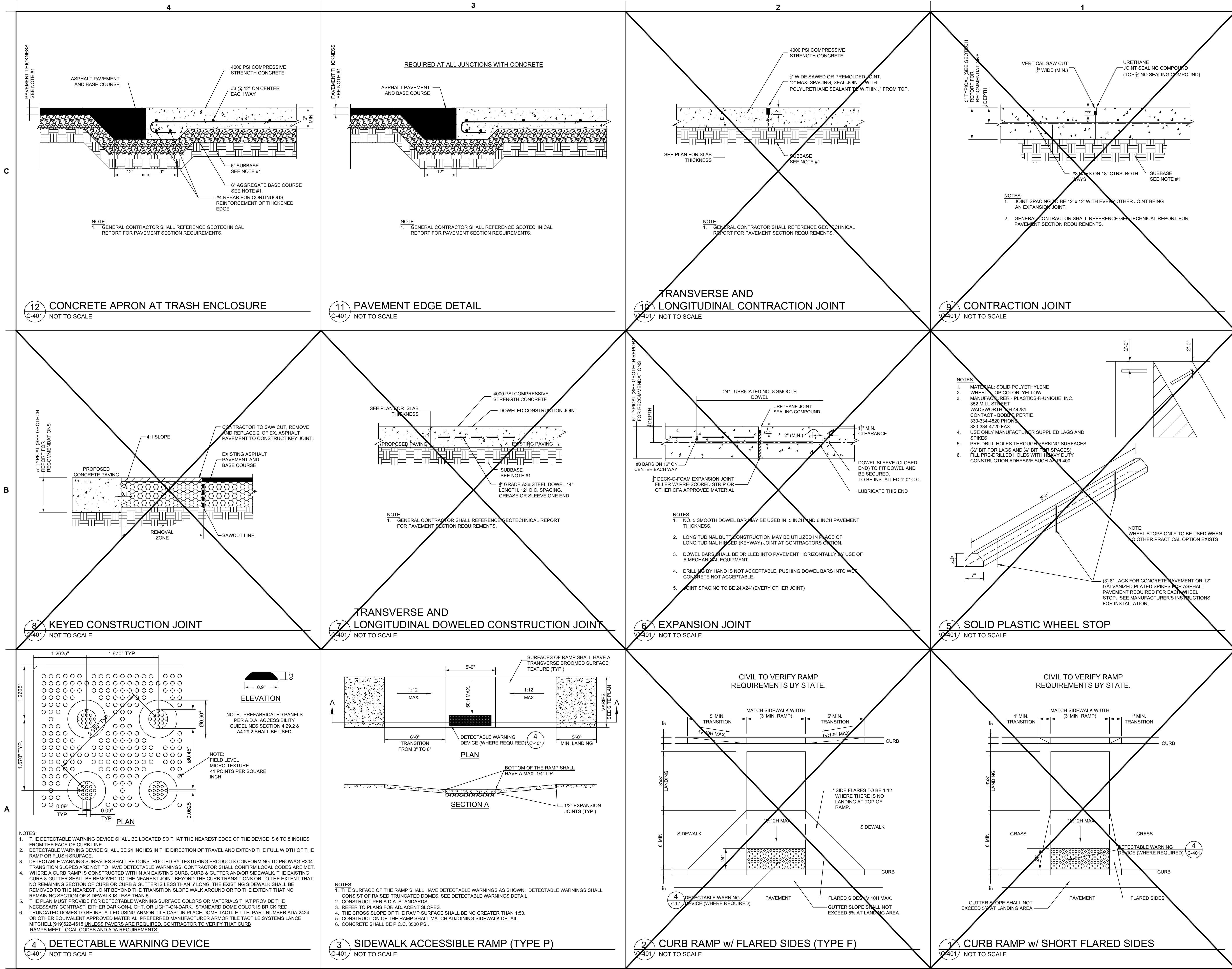
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2022-1054
PRINTED FOR SPA
DATE MARCH 20, 2023
DRAWN BY AJM

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SHEET
CFA STANDARD DETAILS (1)
SHEET NUMBER

C-400



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Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



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www.peagroup.com



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PLAINFIELD, IN 46168

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BUILDING TYPE / SIZE: P14-SE-LRG
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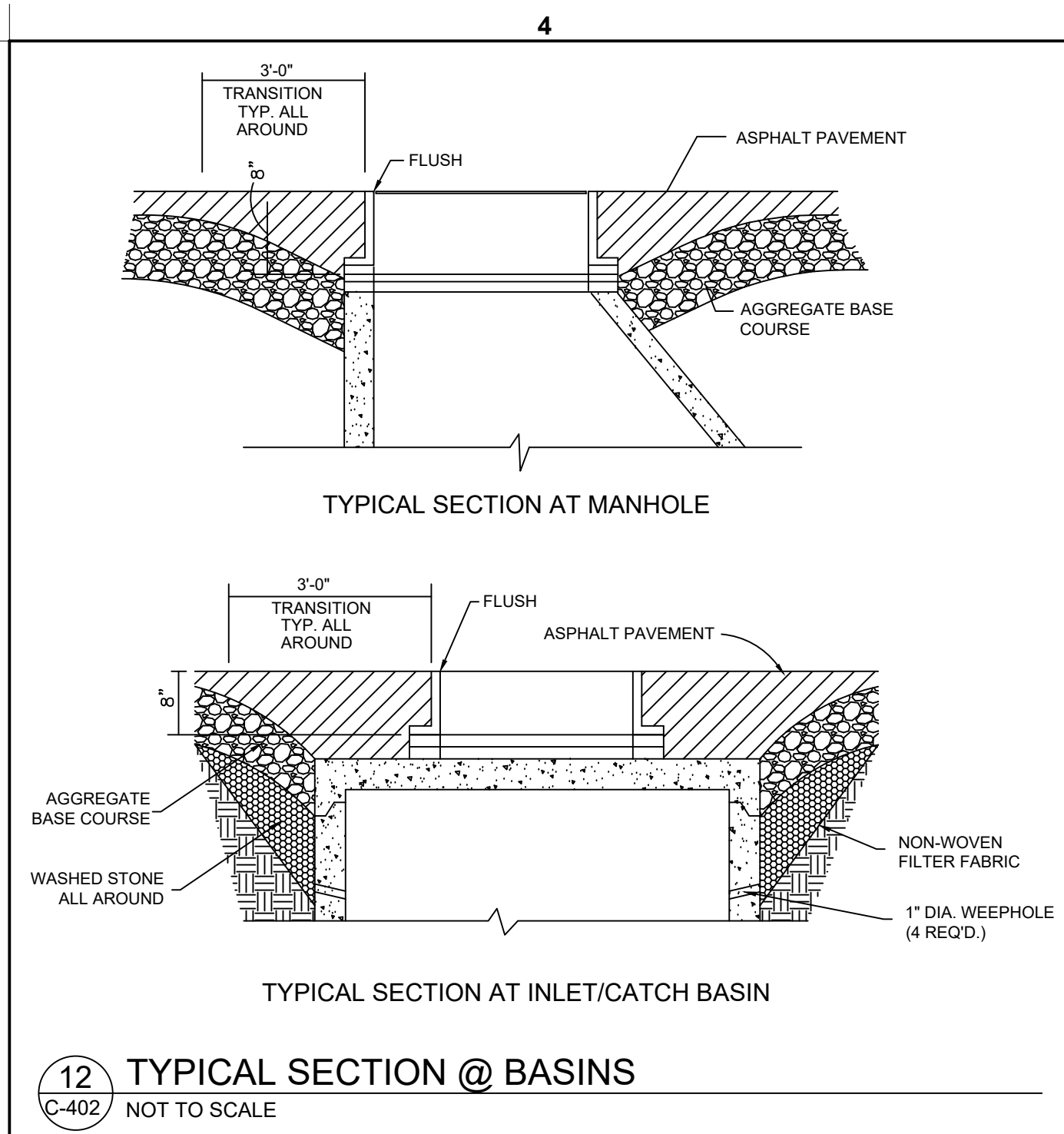
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SHEET

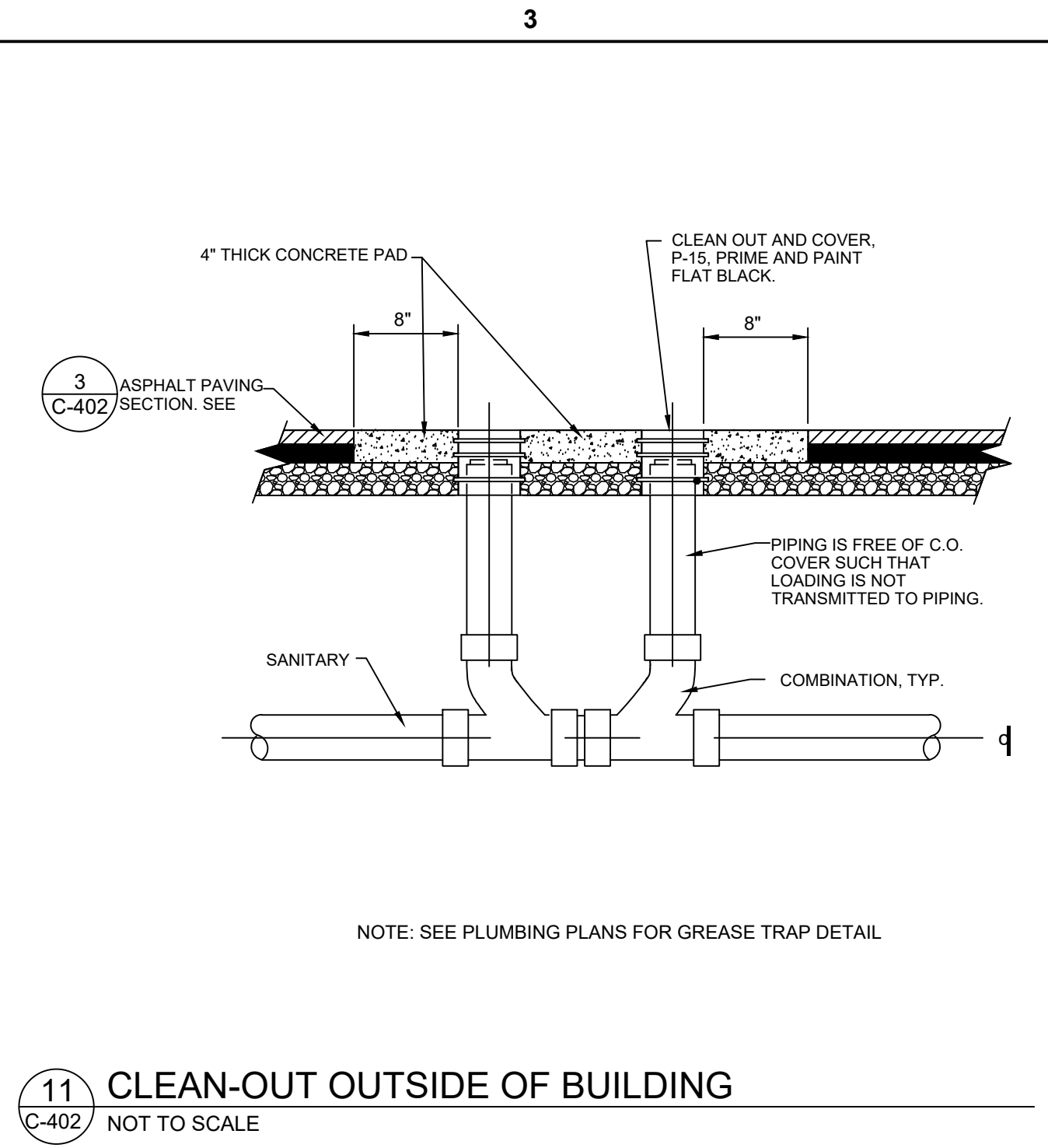
CFA STANDARD
DETAILS (2)

C-401

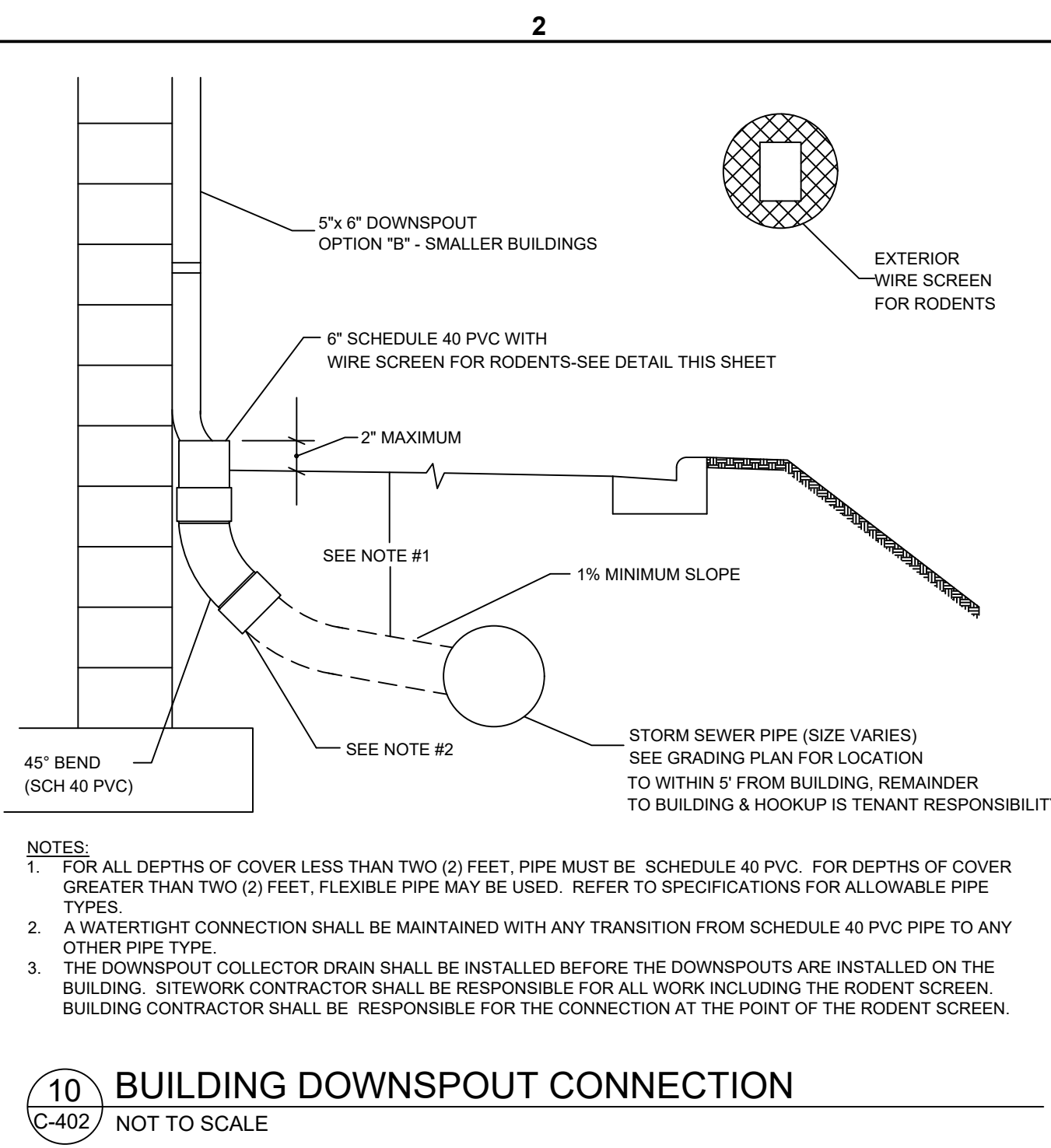
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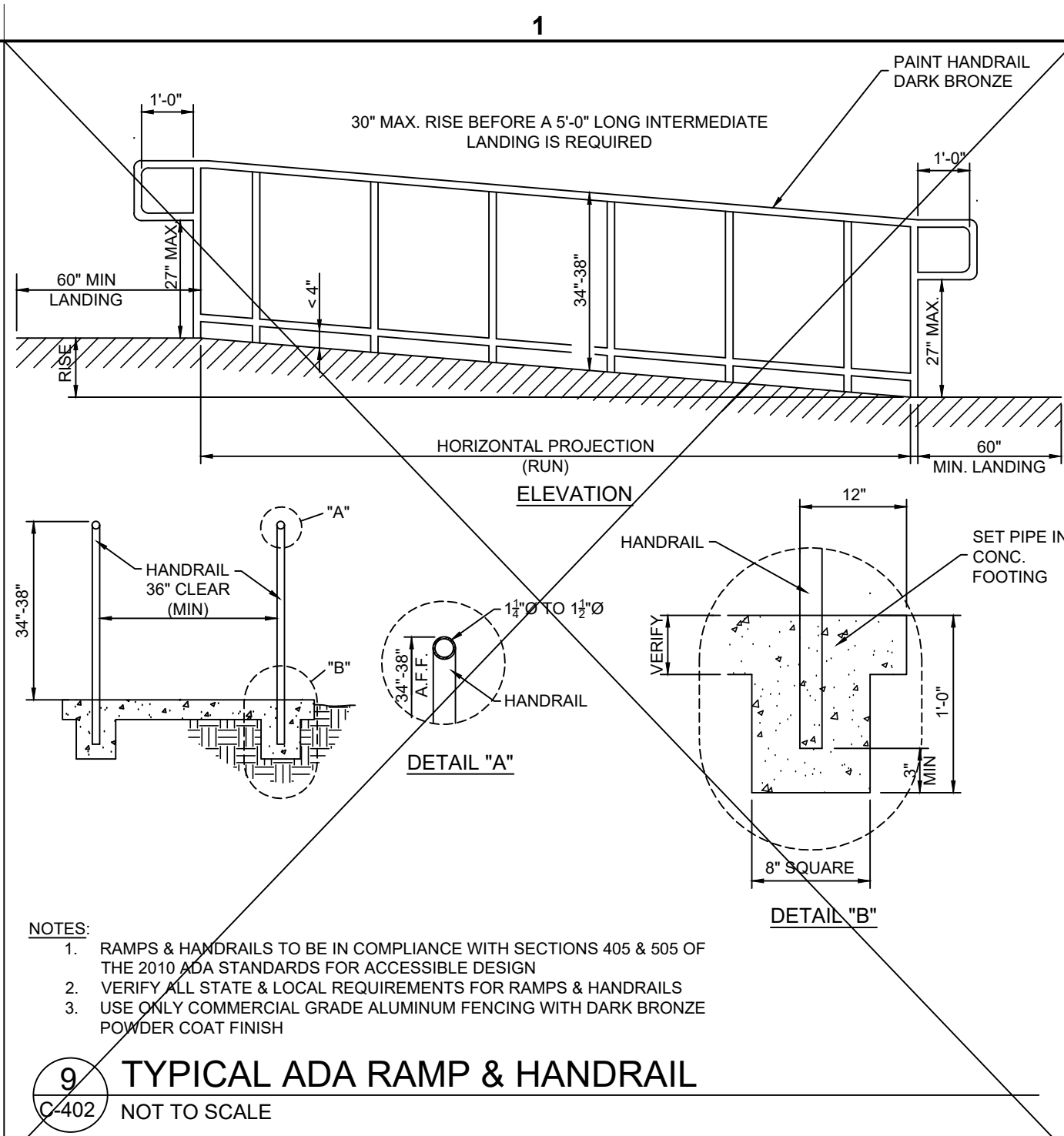
12
TYPICAL SECTION @ BASINS
C-402 NOT TO SCALE



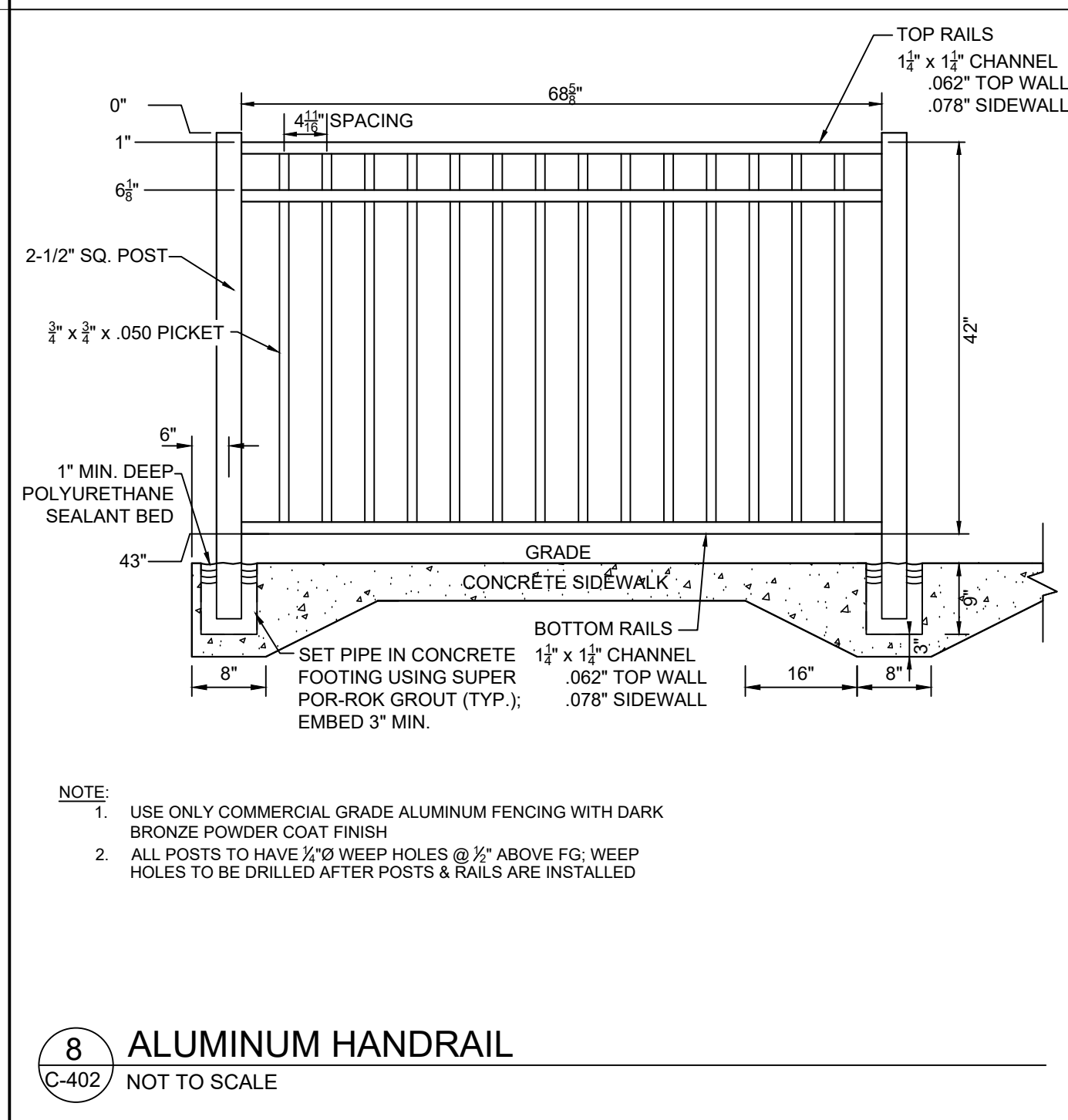
11
CLEAN-OUT OUTSIDE OF BUILDING
C-402 NOT TO SCALE



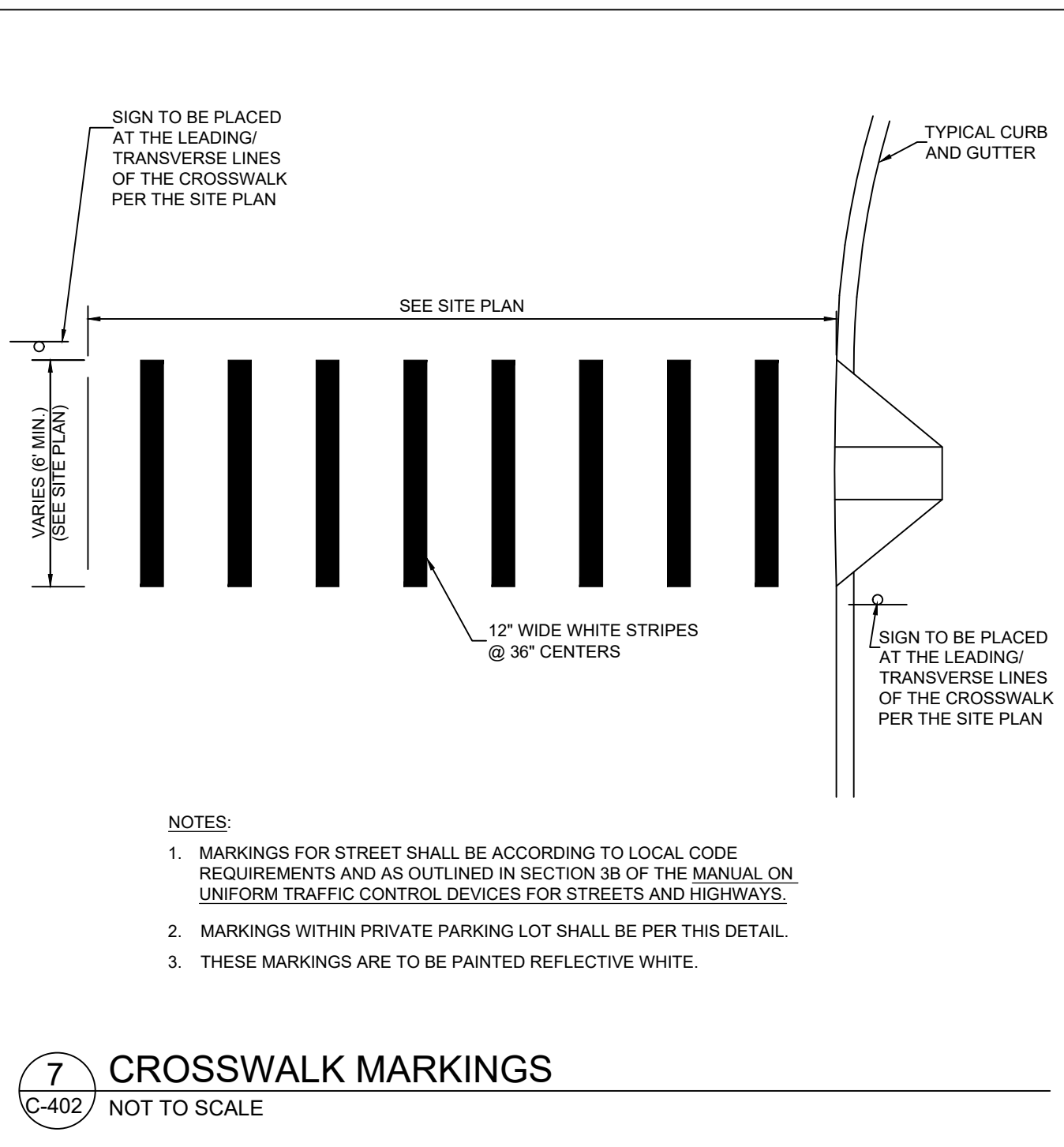
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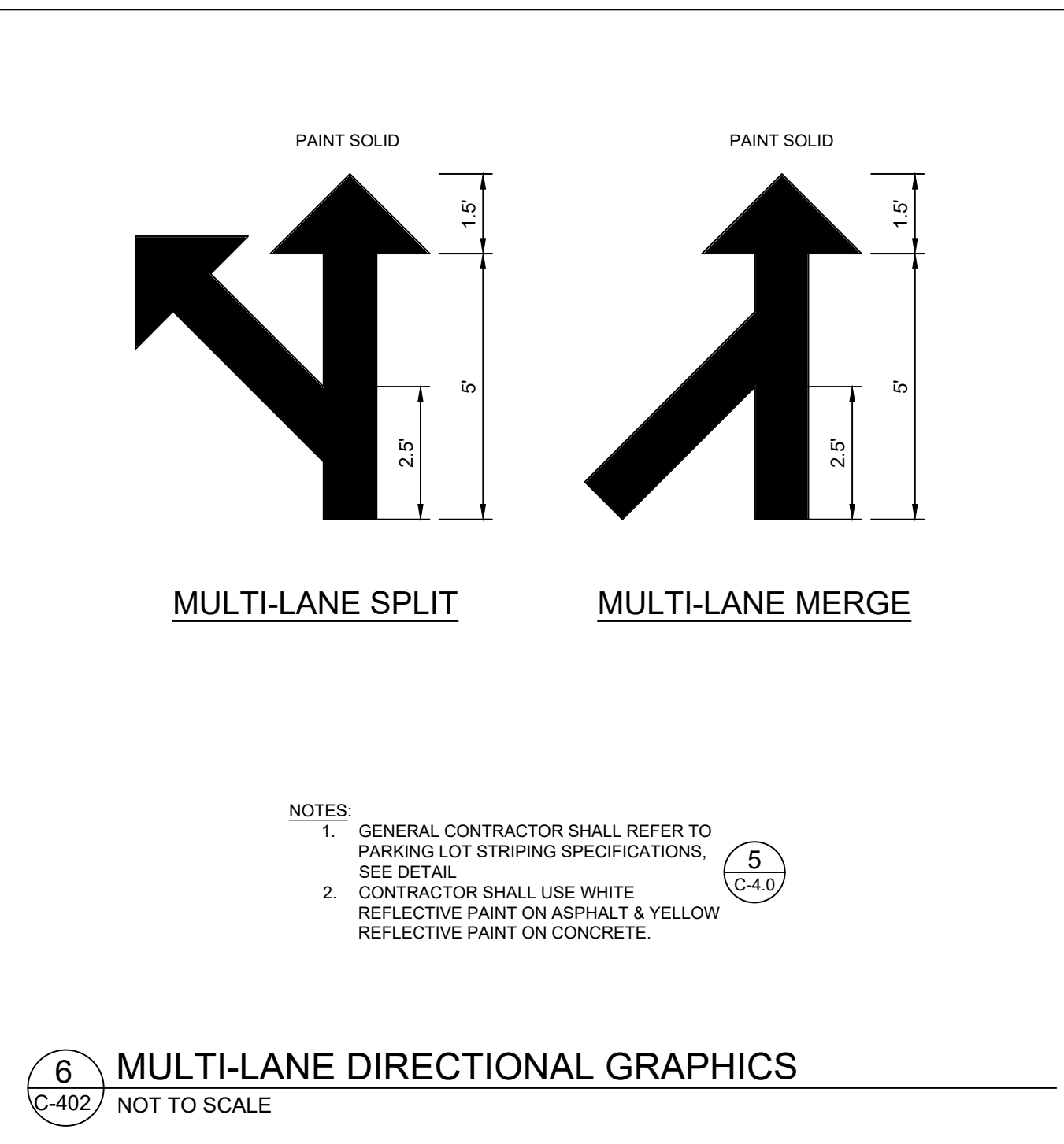
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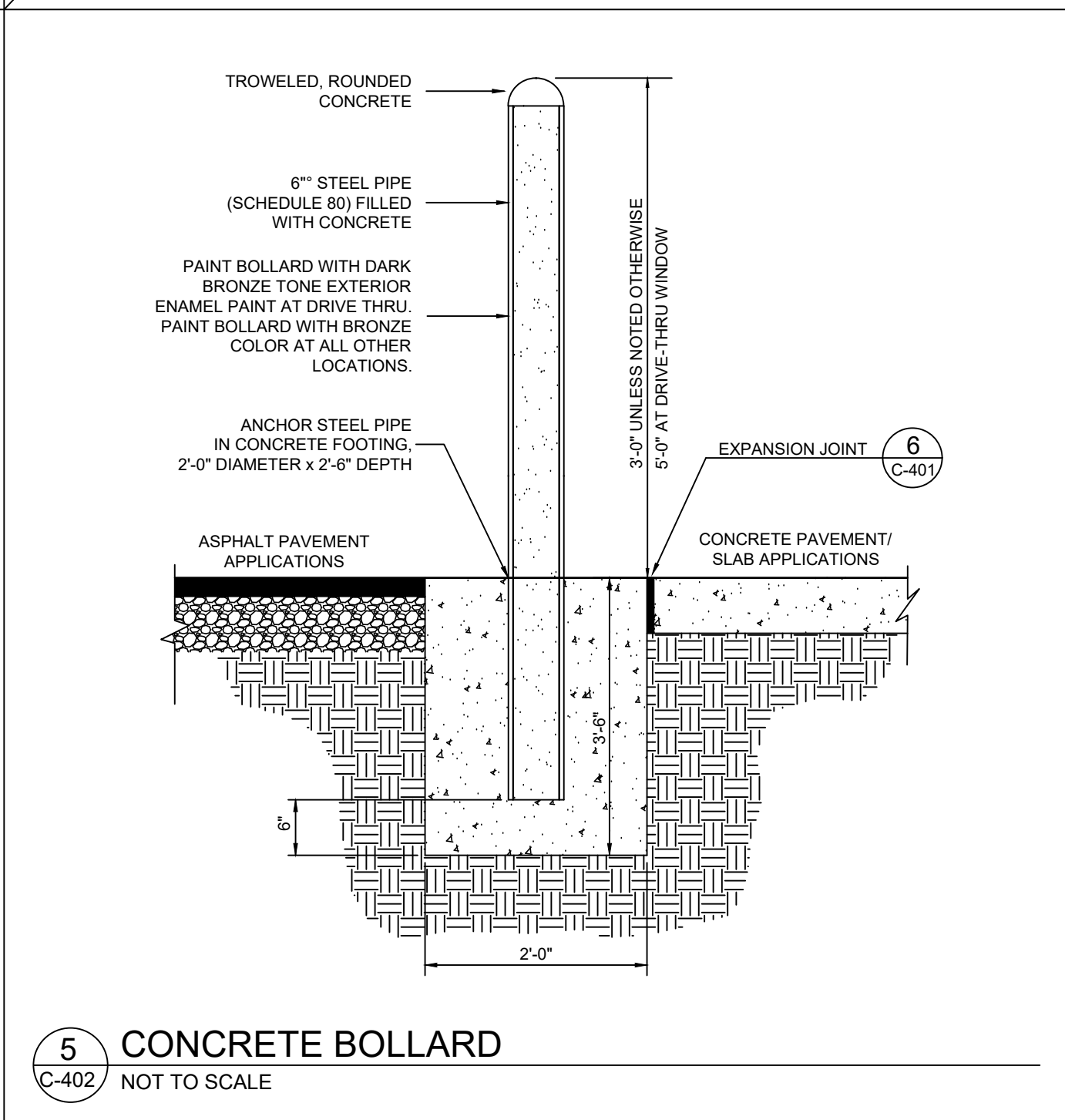
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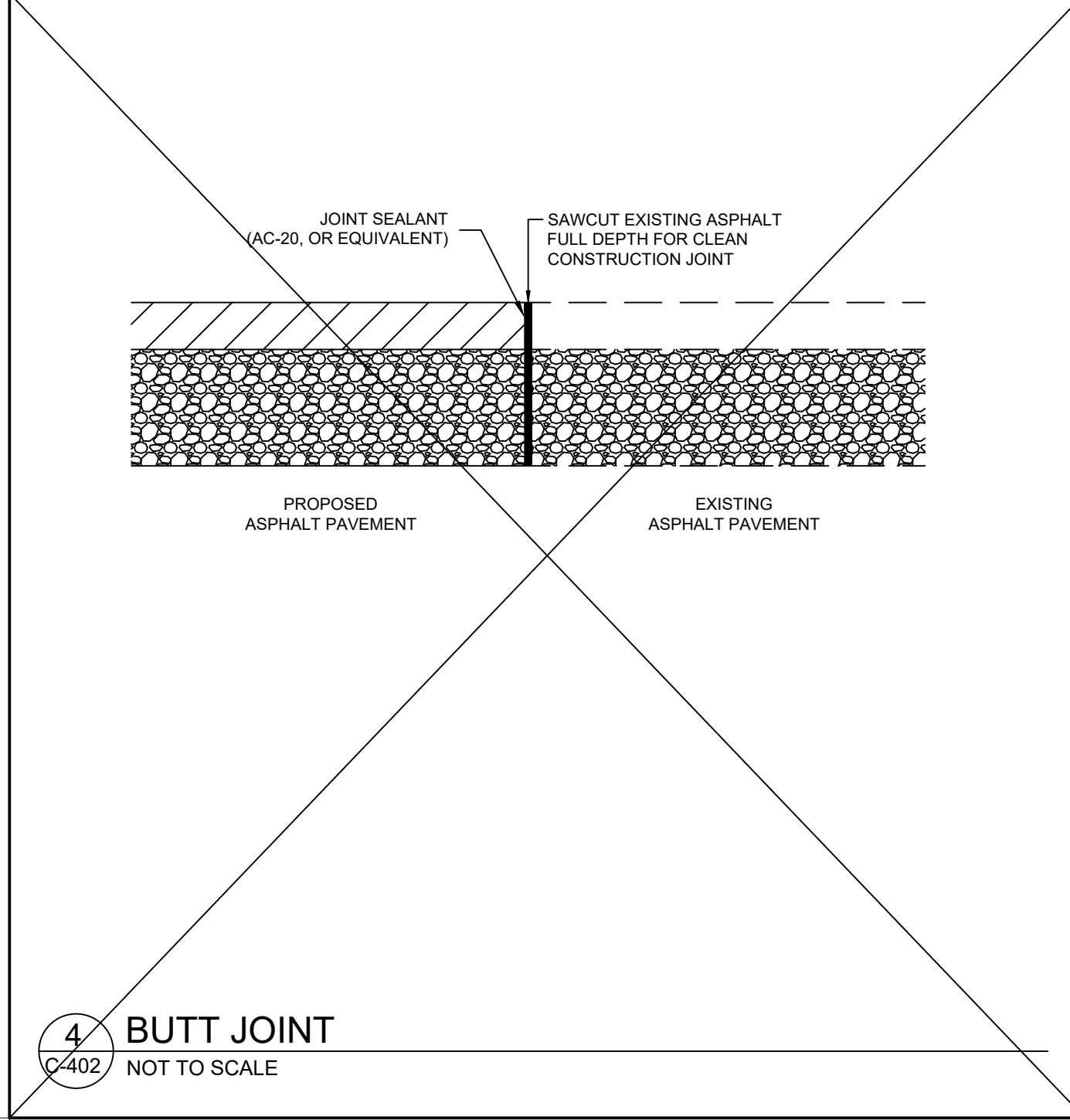
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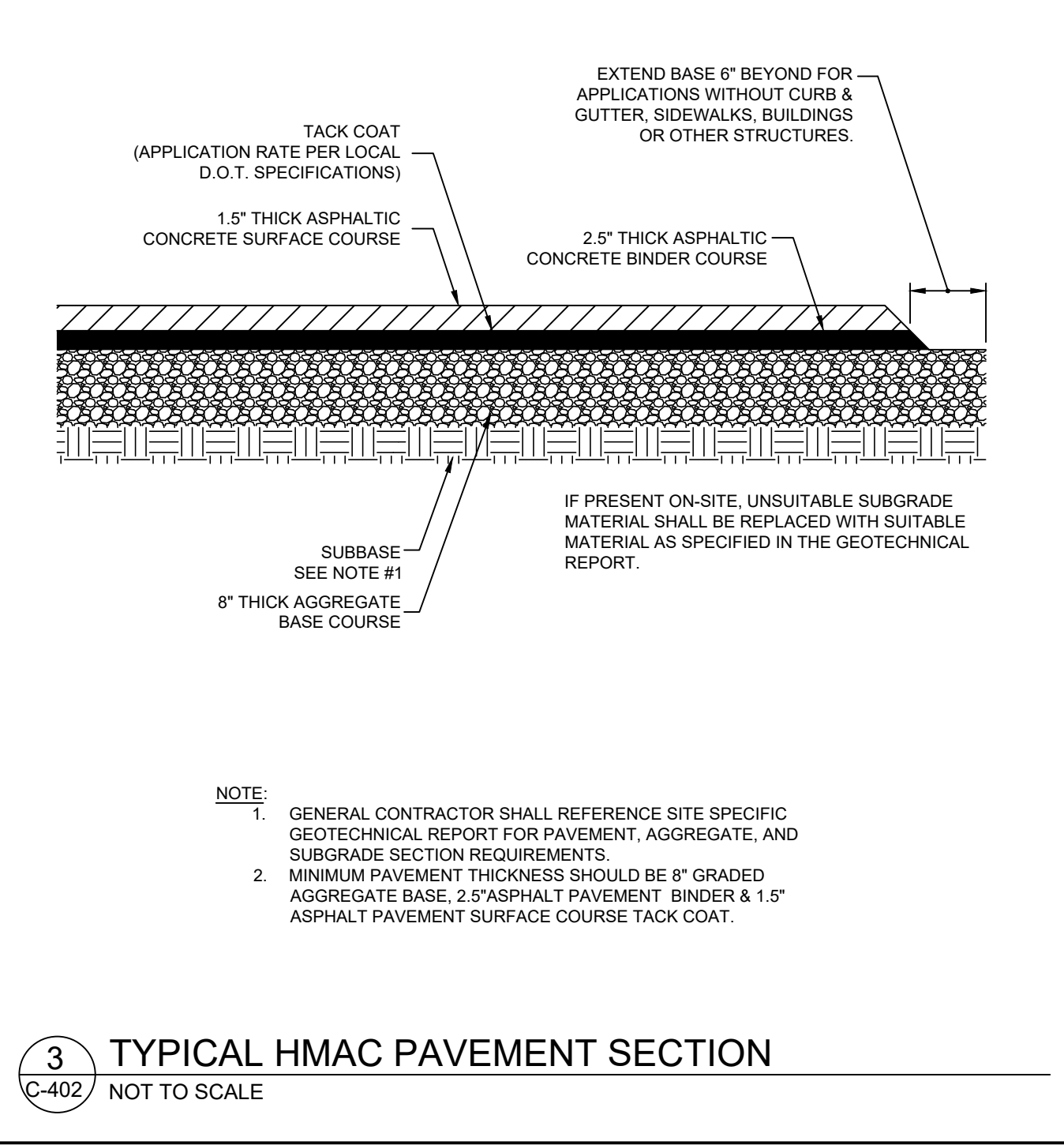
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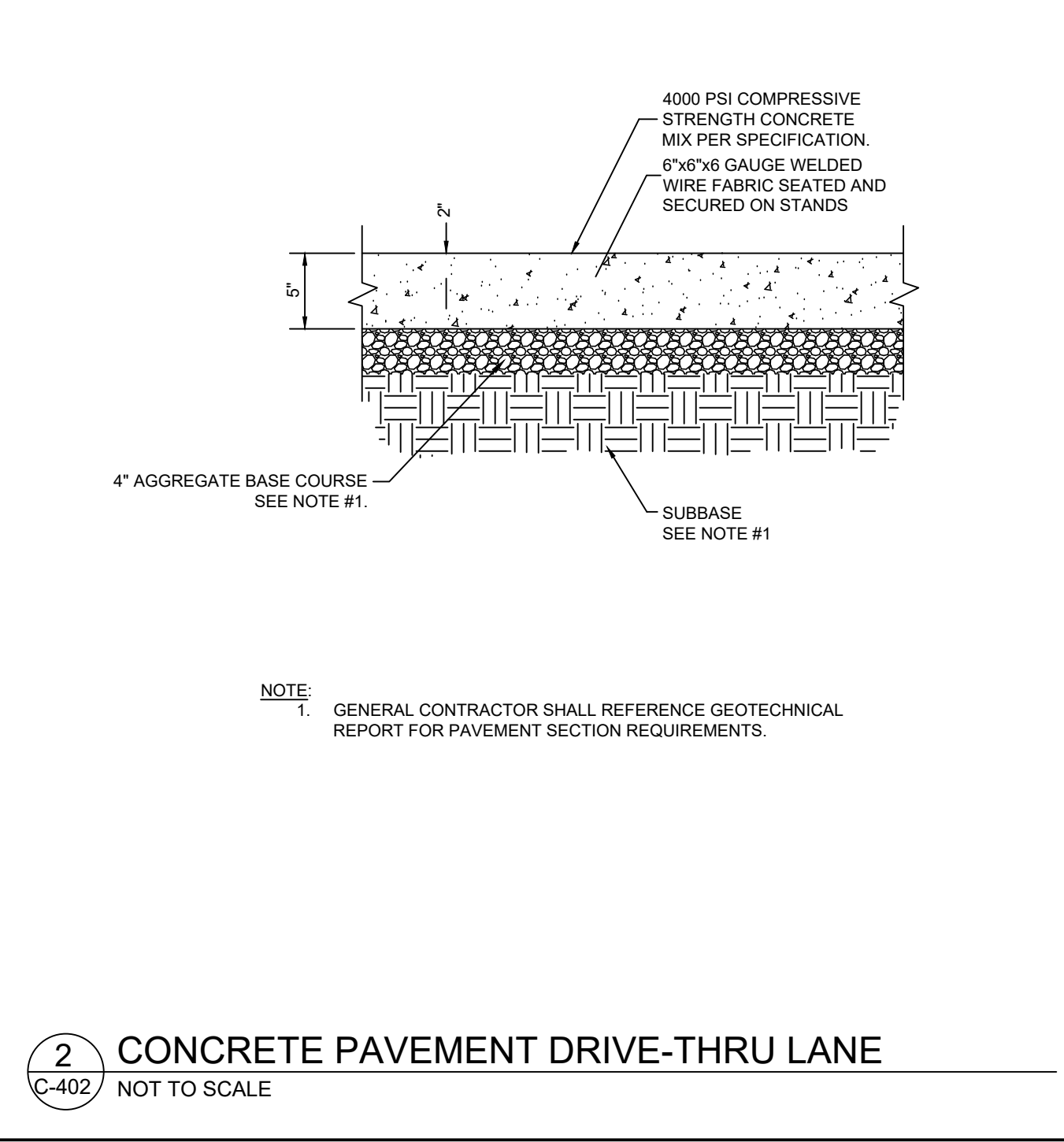
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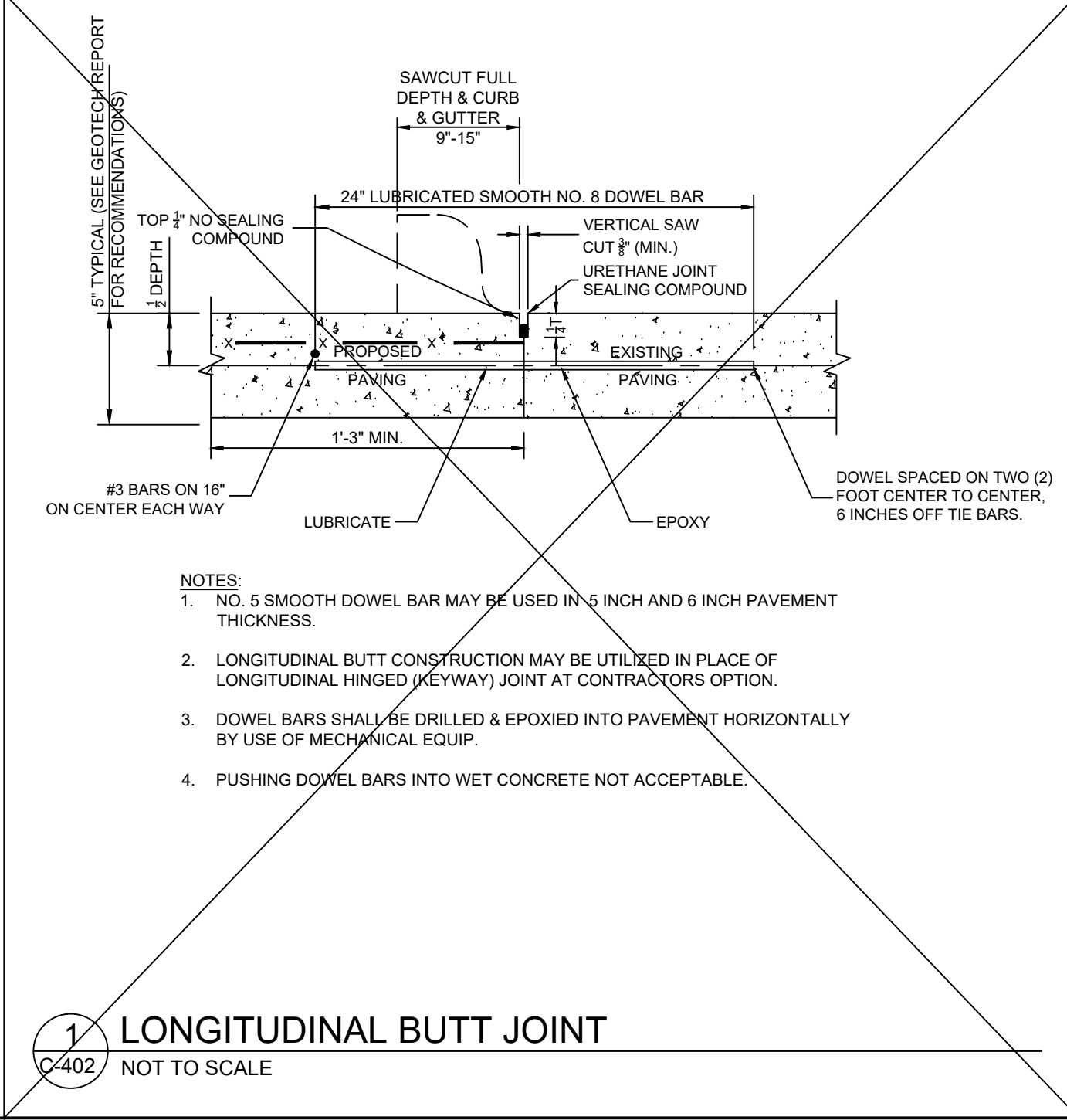
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3
TYPICAL HMAc PAVEMENT SECTION
C-402 NOT TO SCALE



2
CONCRETE PAVEMENT DRIVE-THRU LANE
C-402 NOT TO SCALE



1
LONGITUDINAL BUTT JOINT
C-402 NOT TO SCALE



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Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



t: 844.813.2949
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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AJM

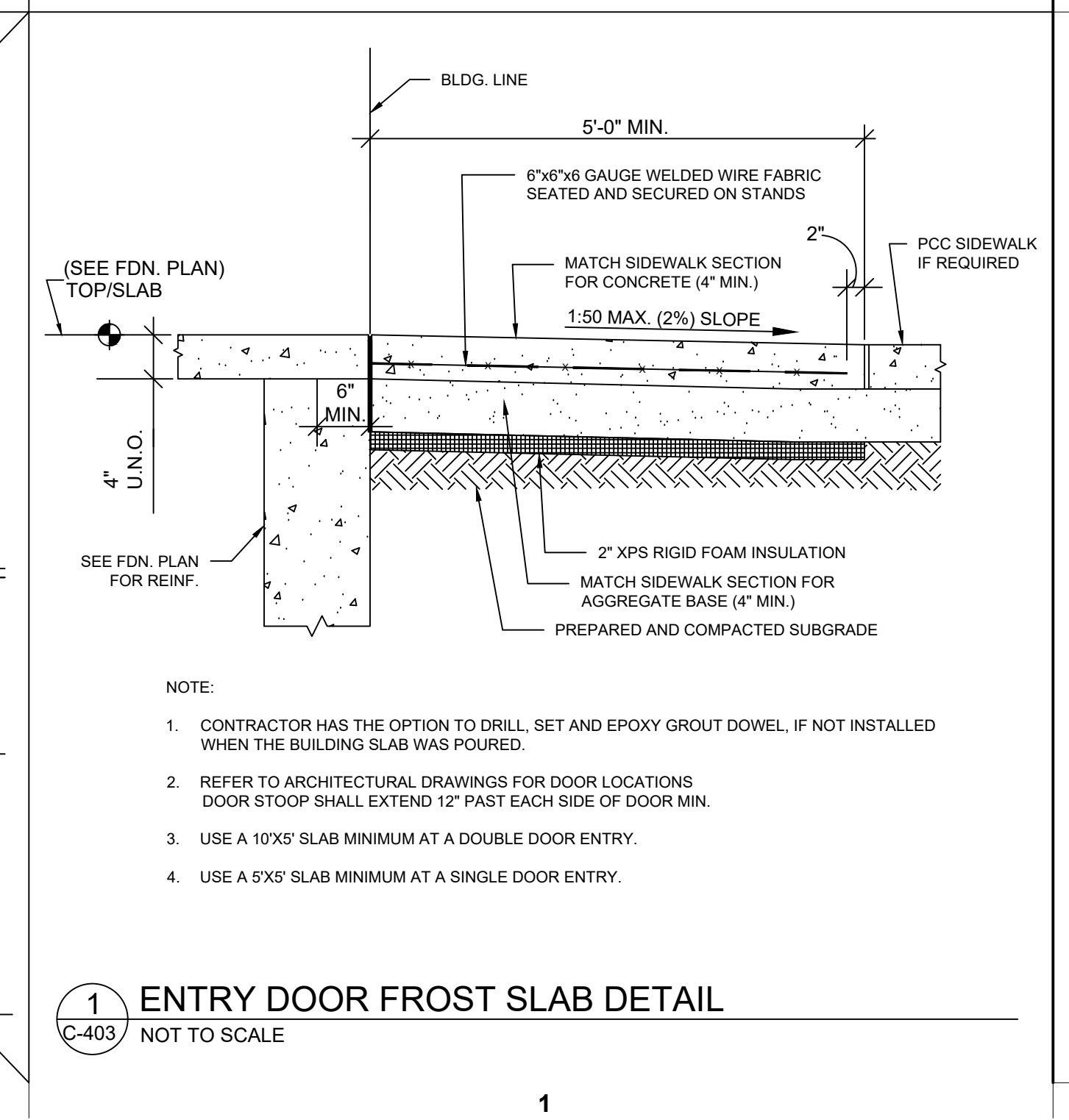
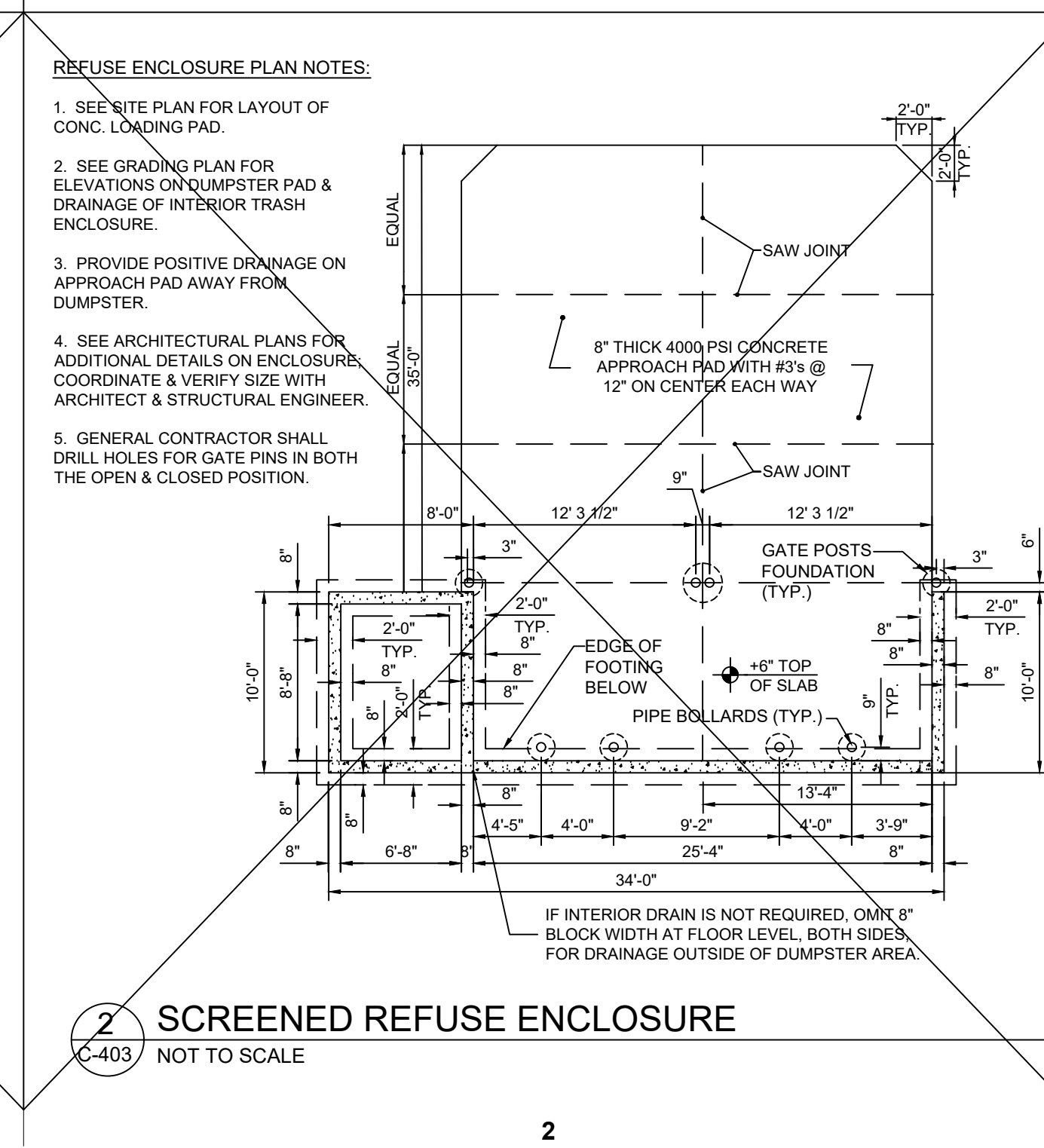
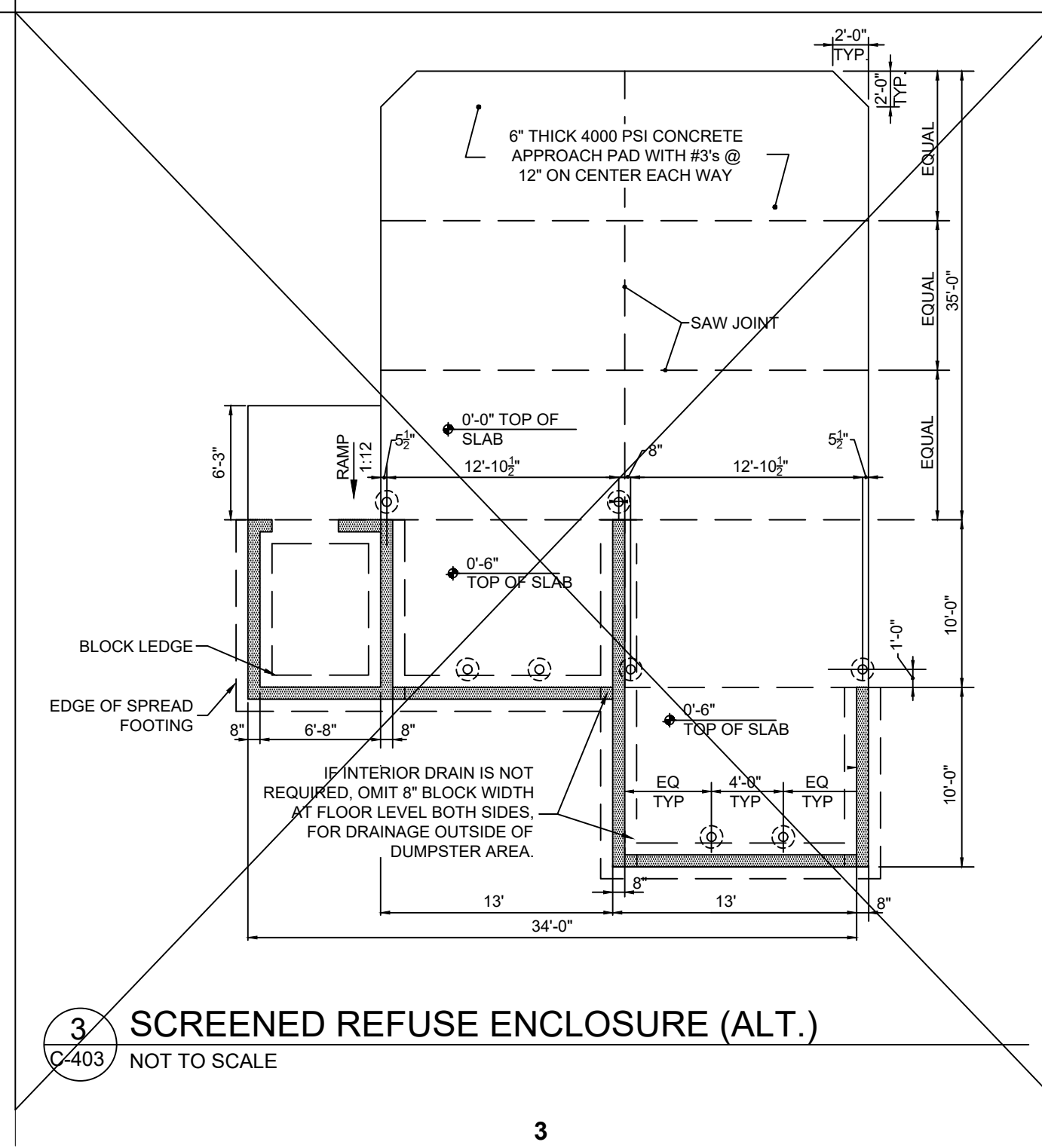
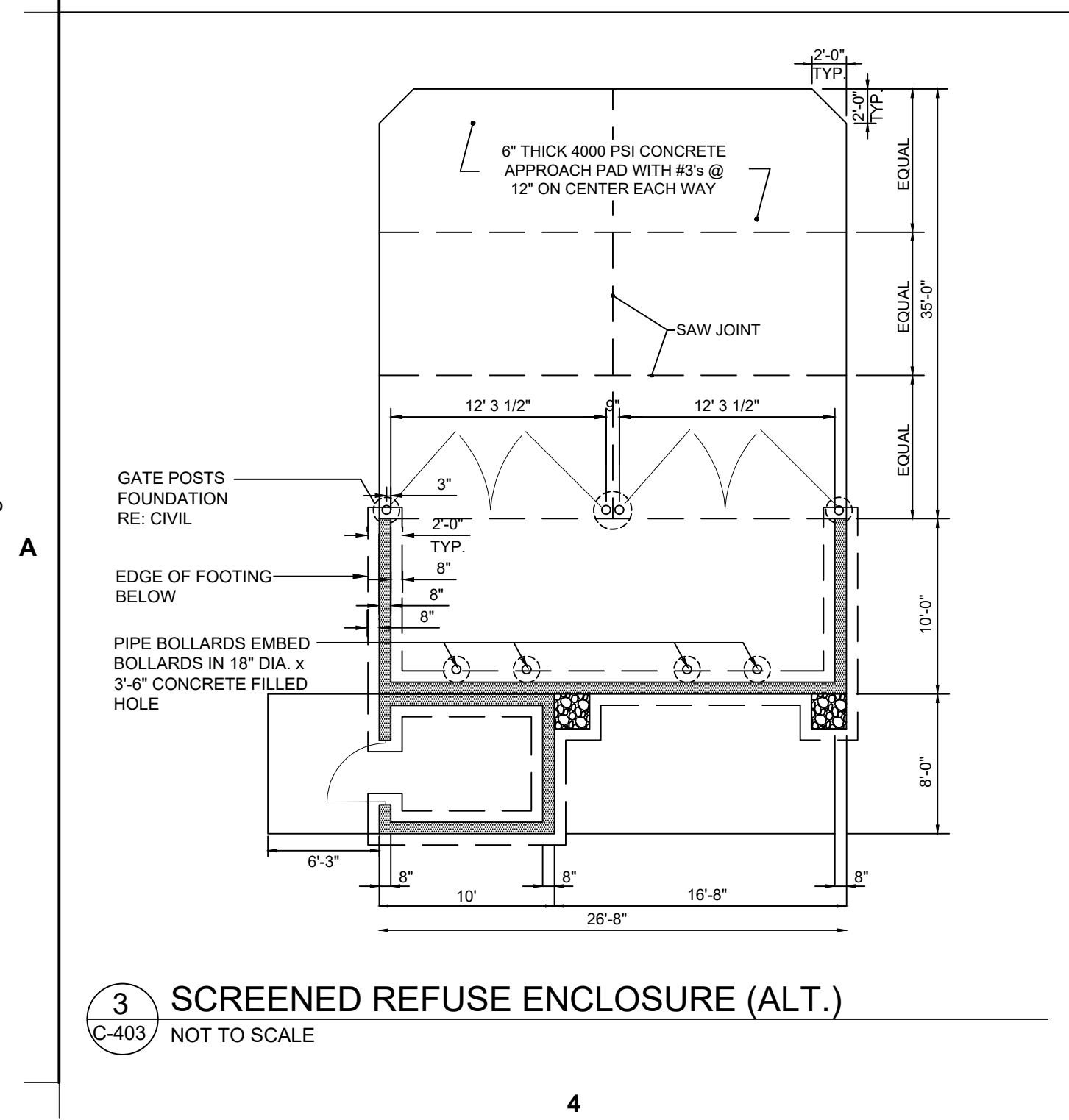
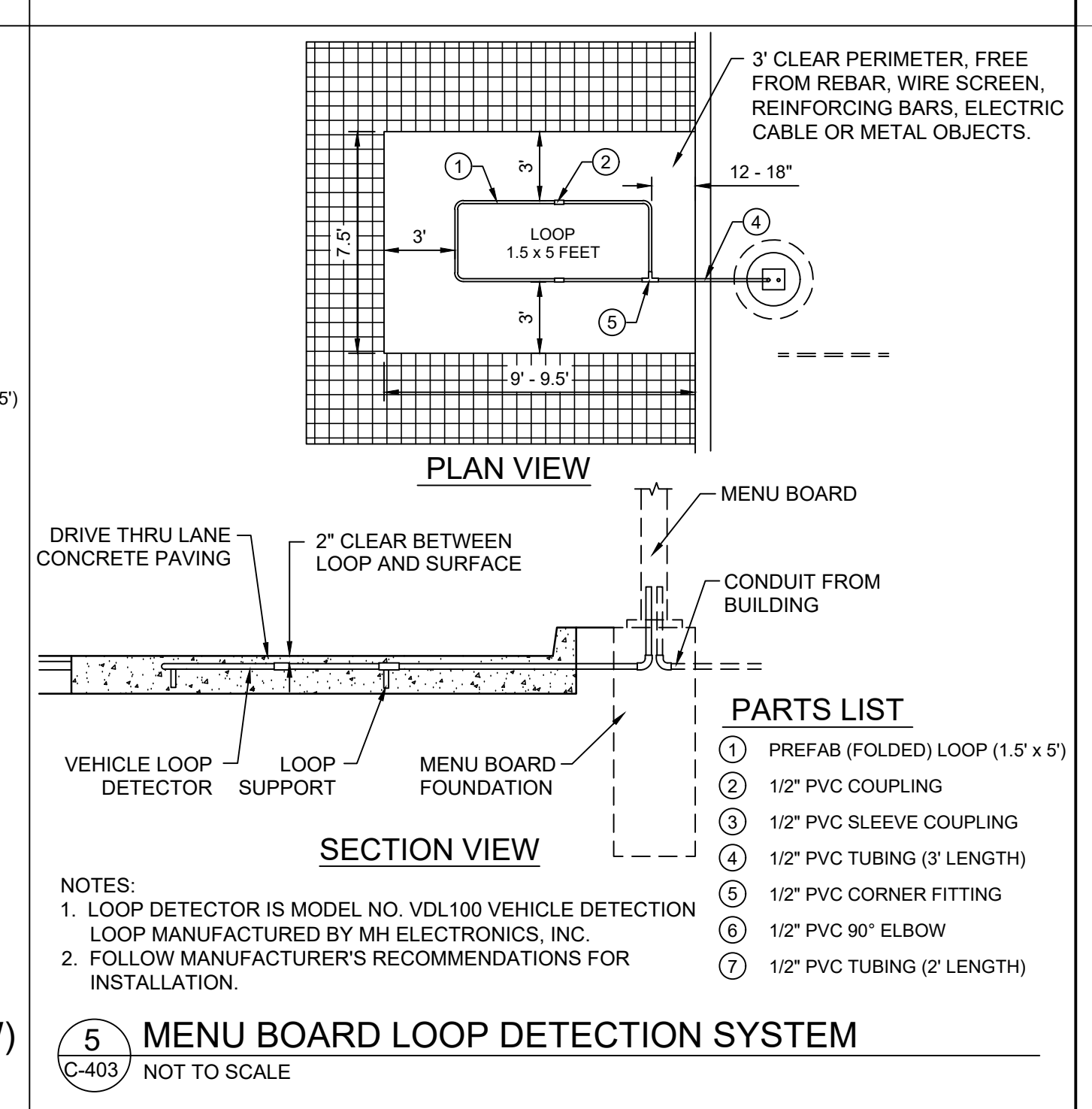
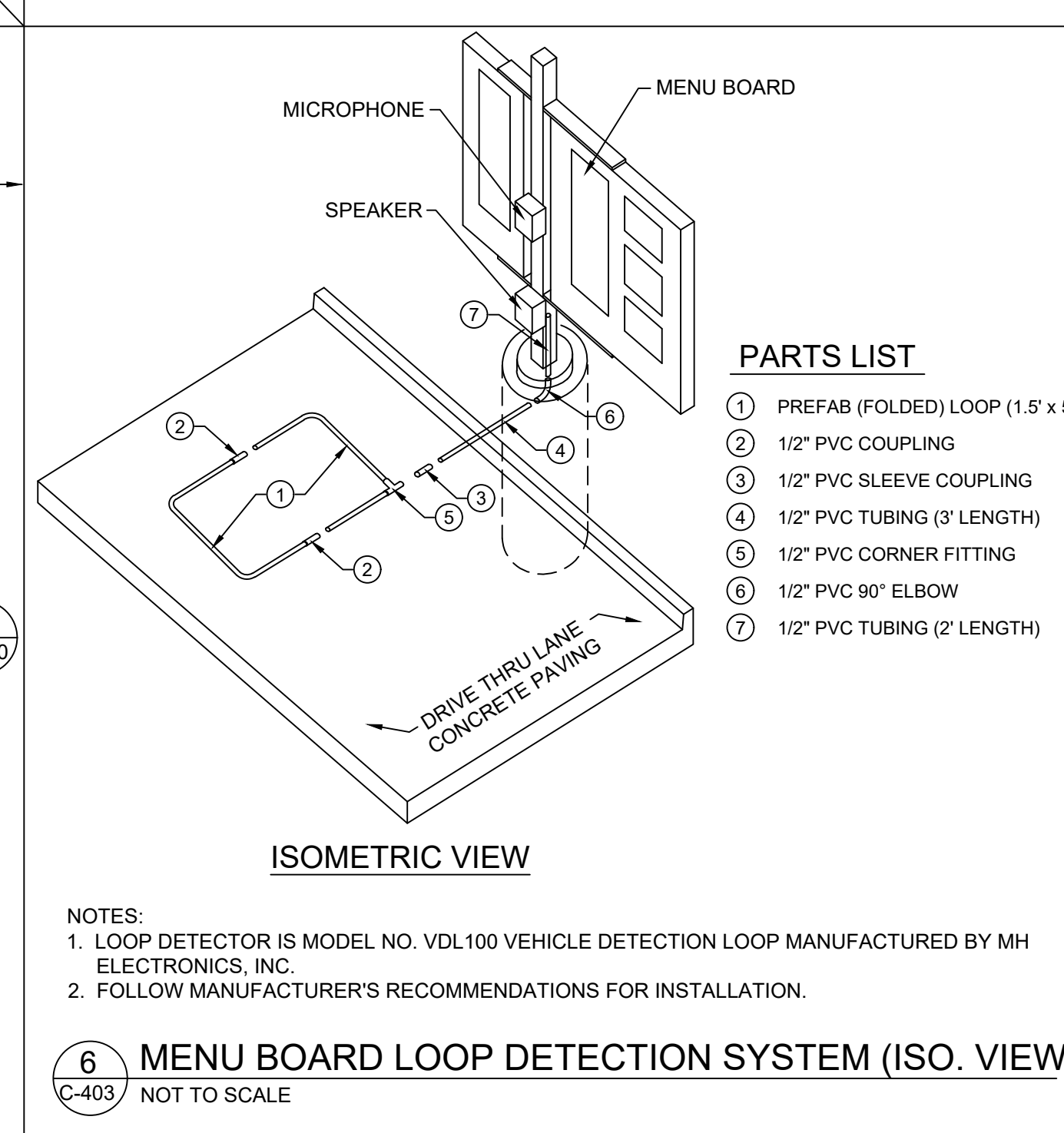
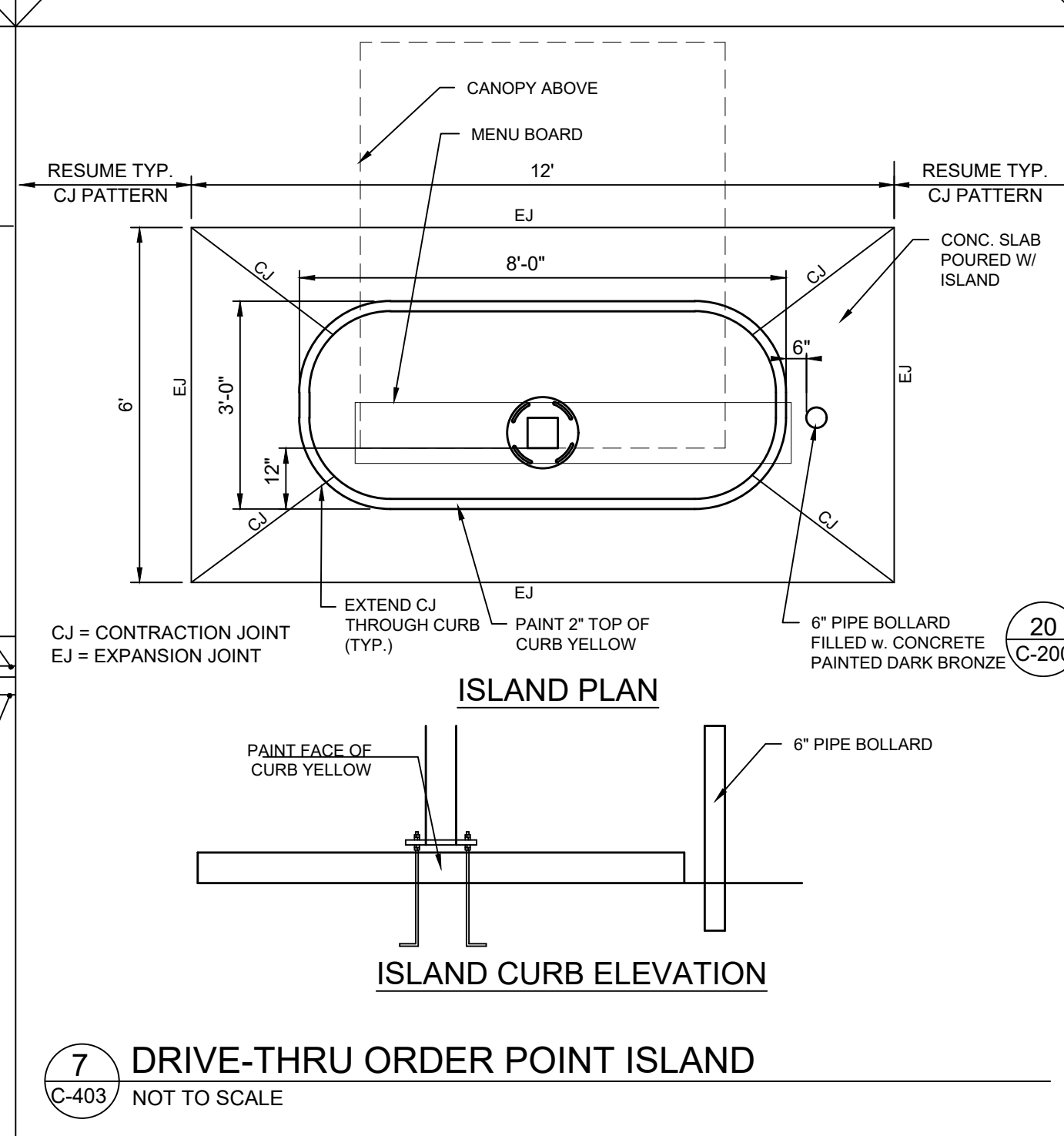
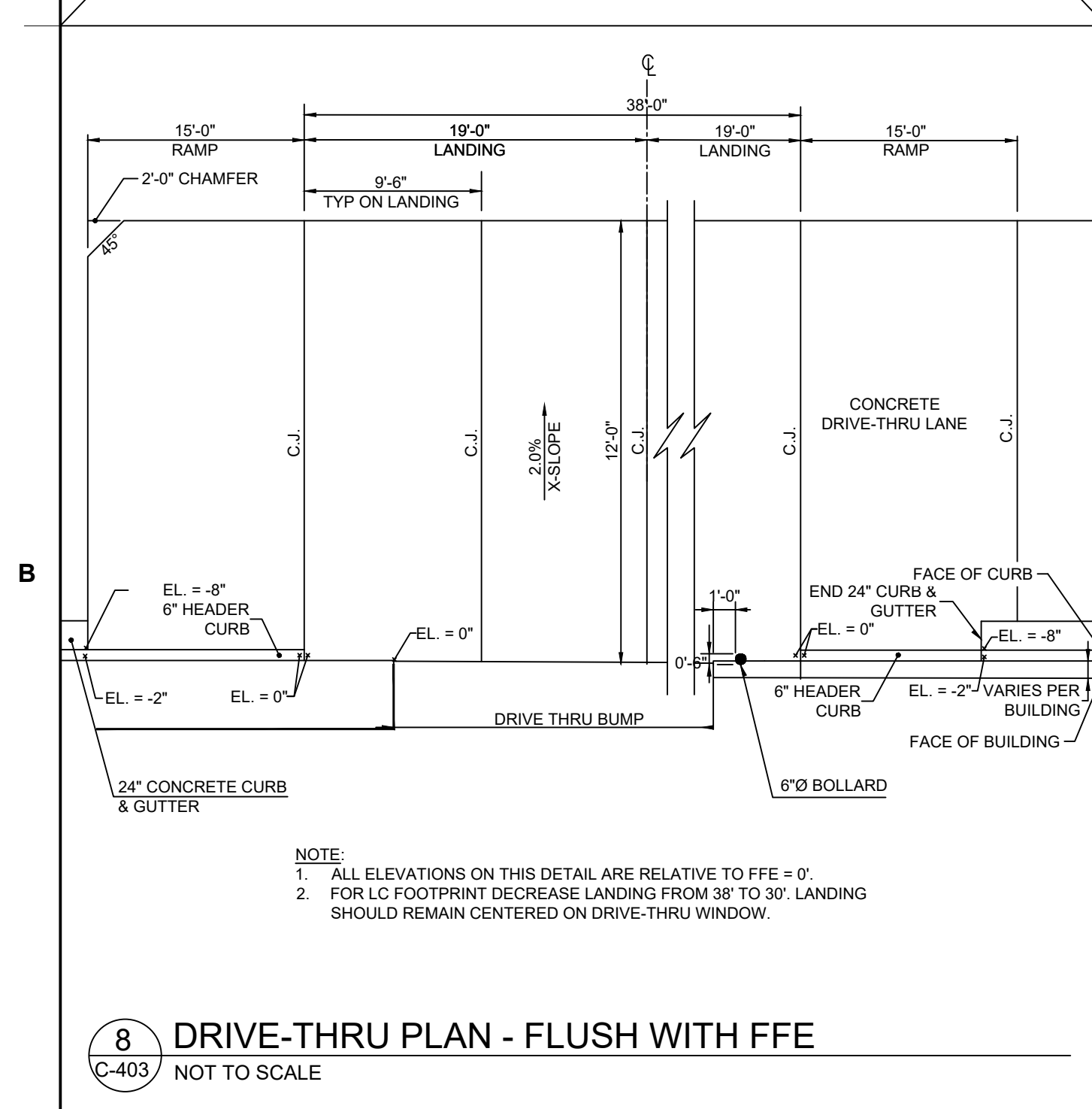
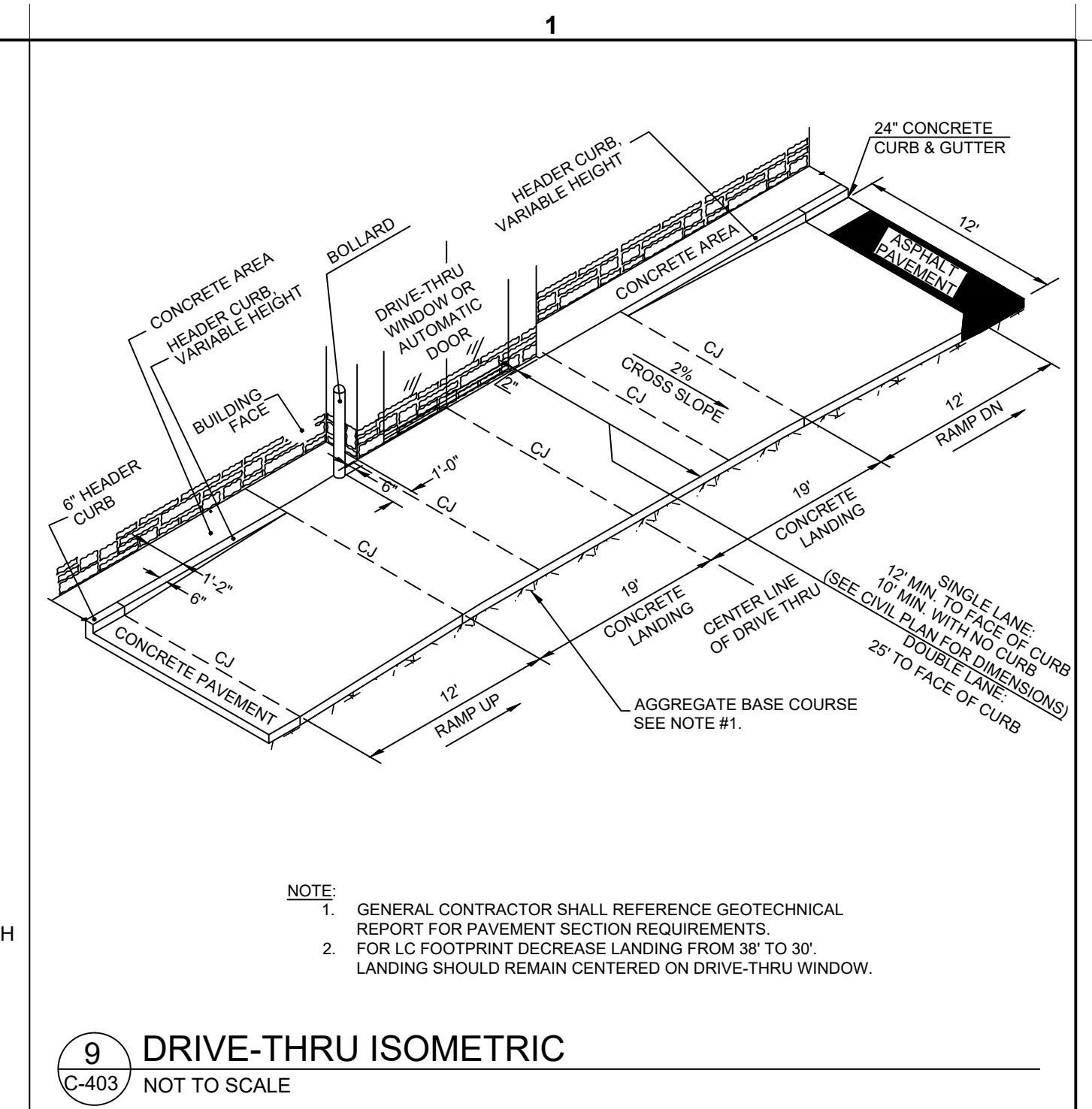
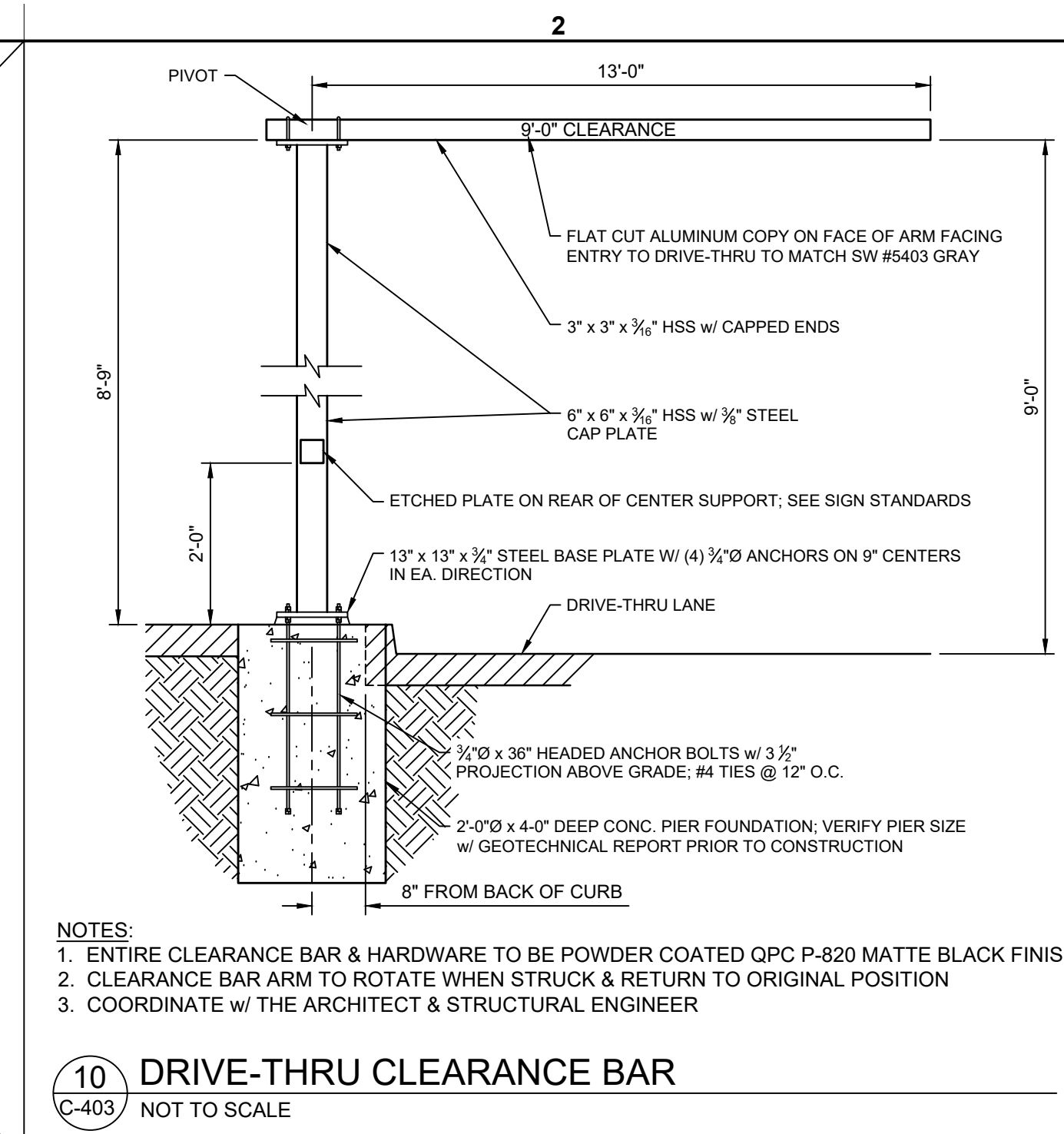
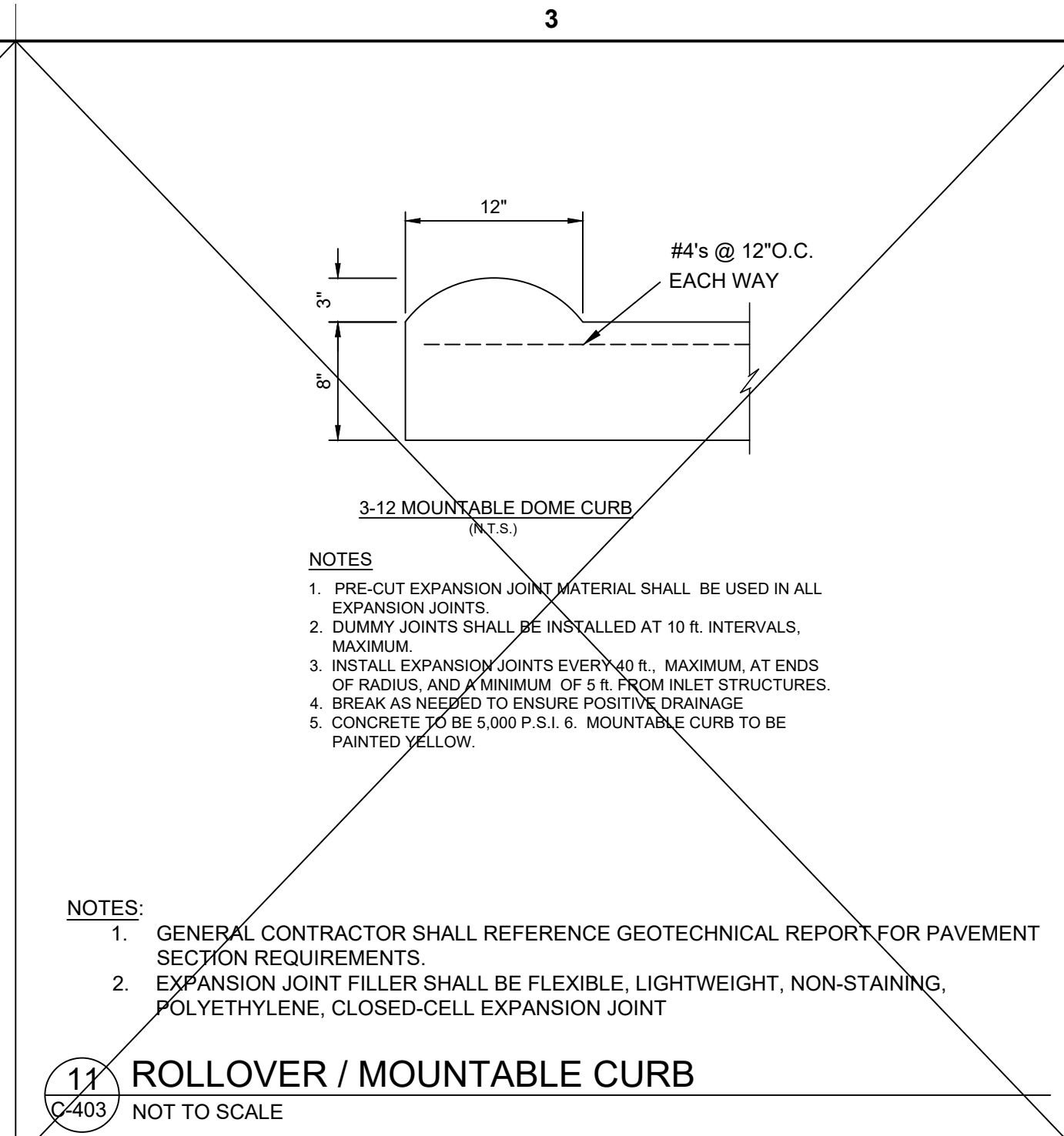
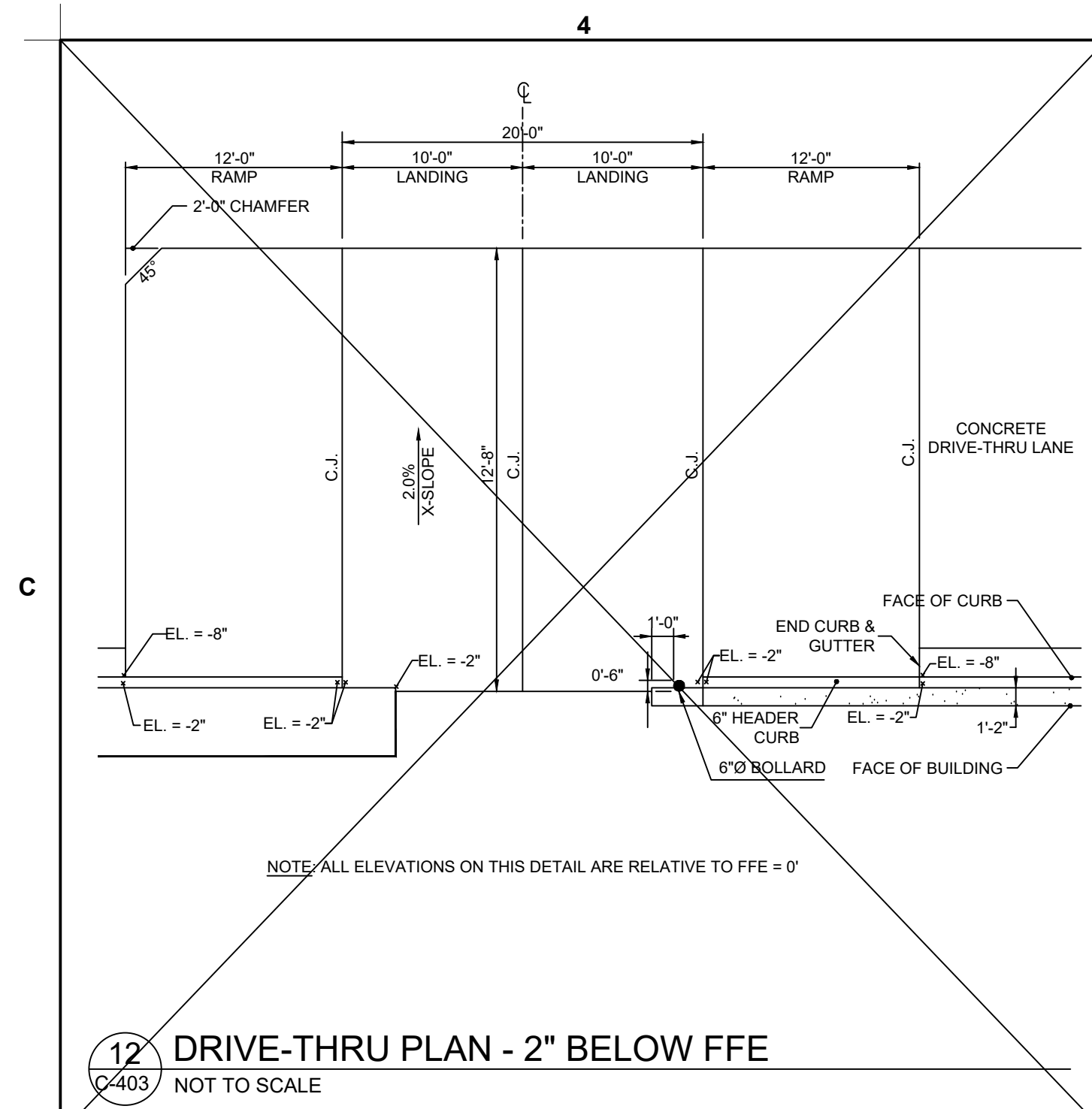
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SHEET
CFA STANDARD
DETAILS (3)

SHEET NUMBER

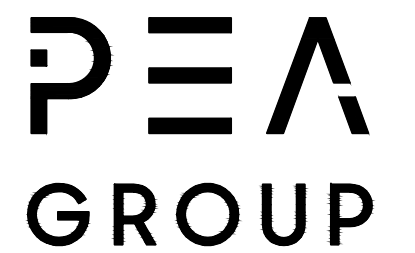
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Chick-fil-A
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Atlanta, Georgia 30349-2998



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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

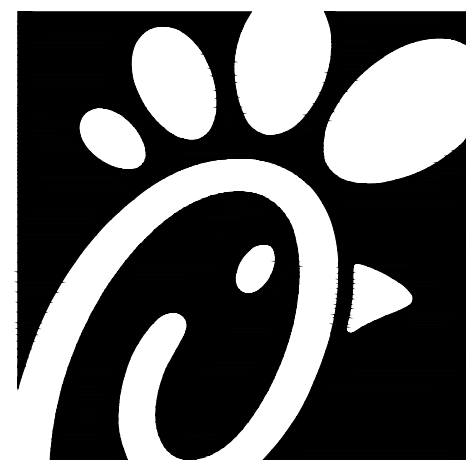
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NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2022-1054
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SHEET CFA STANDARD DETAILS (4)

SHEET NUMBER
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Chick-fil-A
5200 Buffington Road
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CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
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BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE
NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2022-1054
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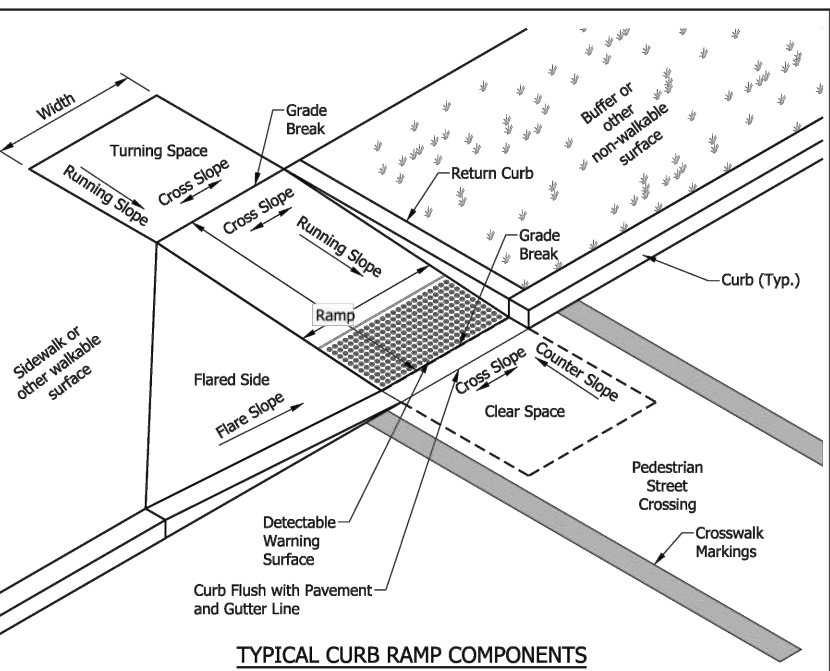
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SHEET CONSTRUCTION DETAILS

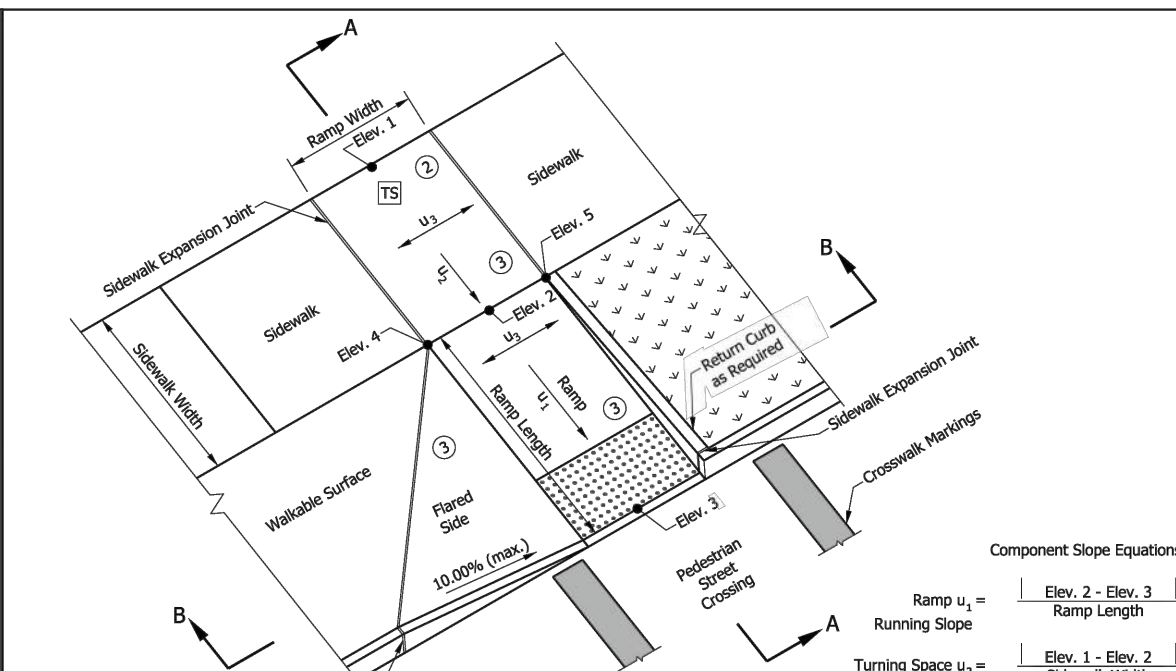
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INDEX table with columns SHEET NO. and SUBJECT

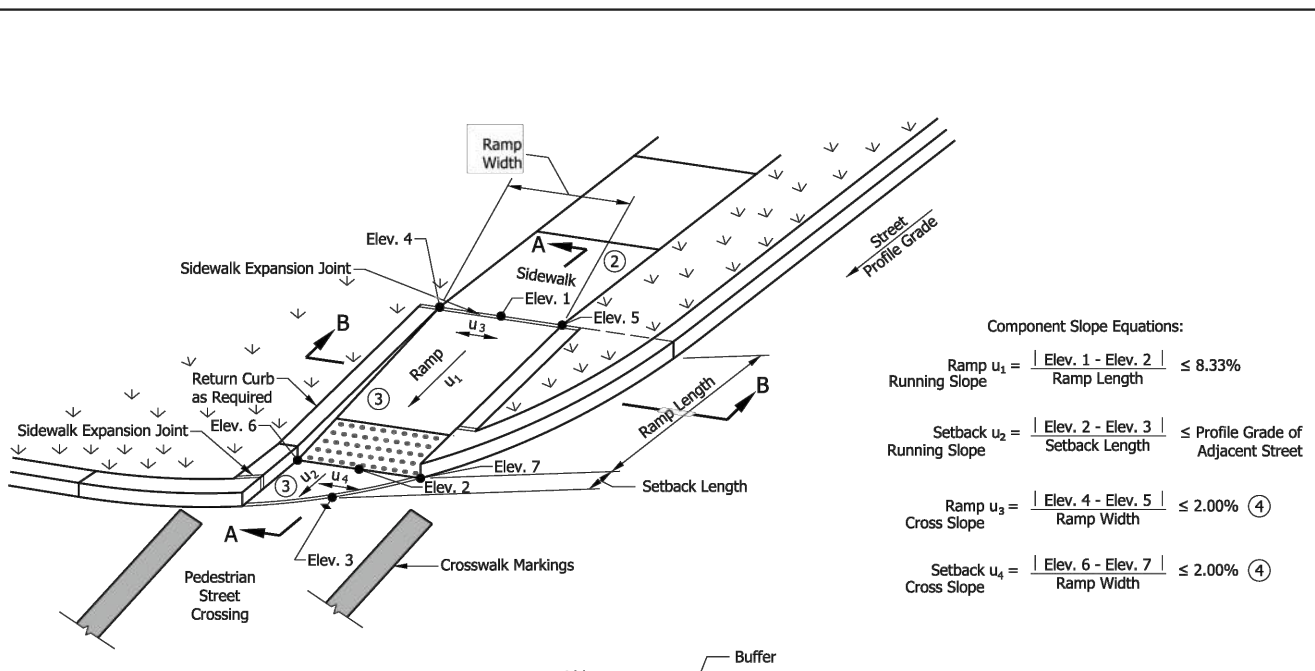
GENERAL NOTES: 1. All slopes are absolute rather than relative to the sidewalk or roadway grade...



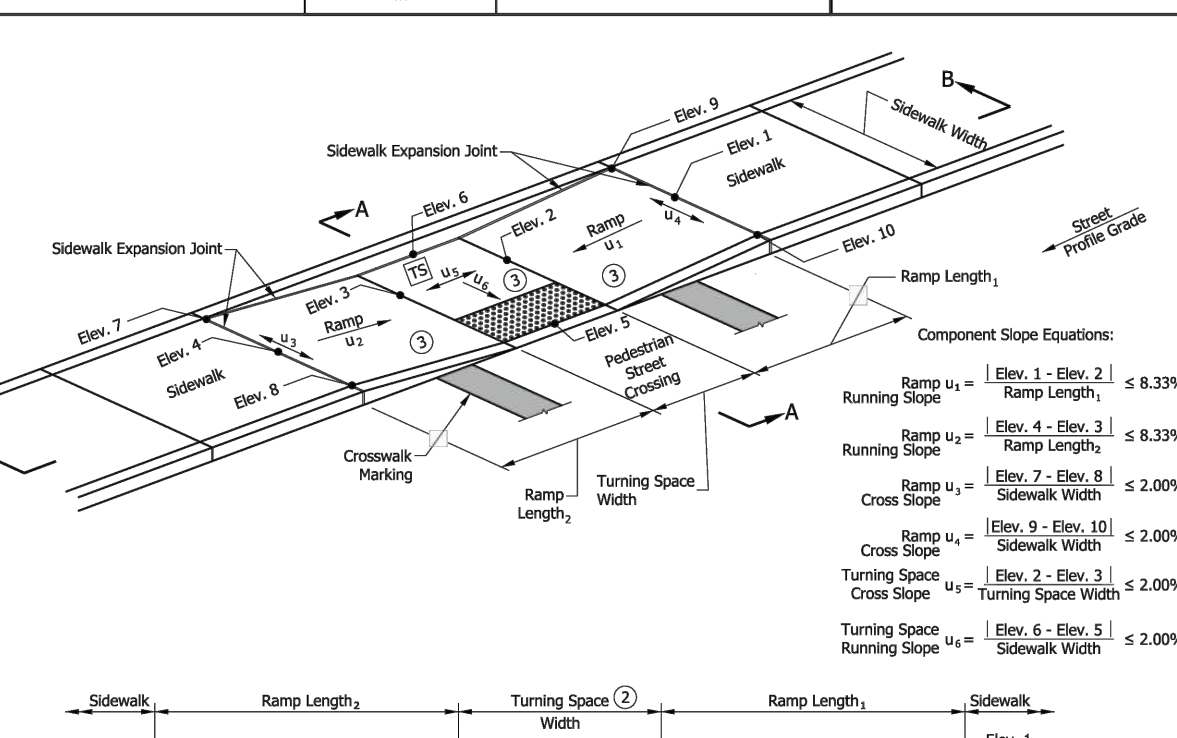
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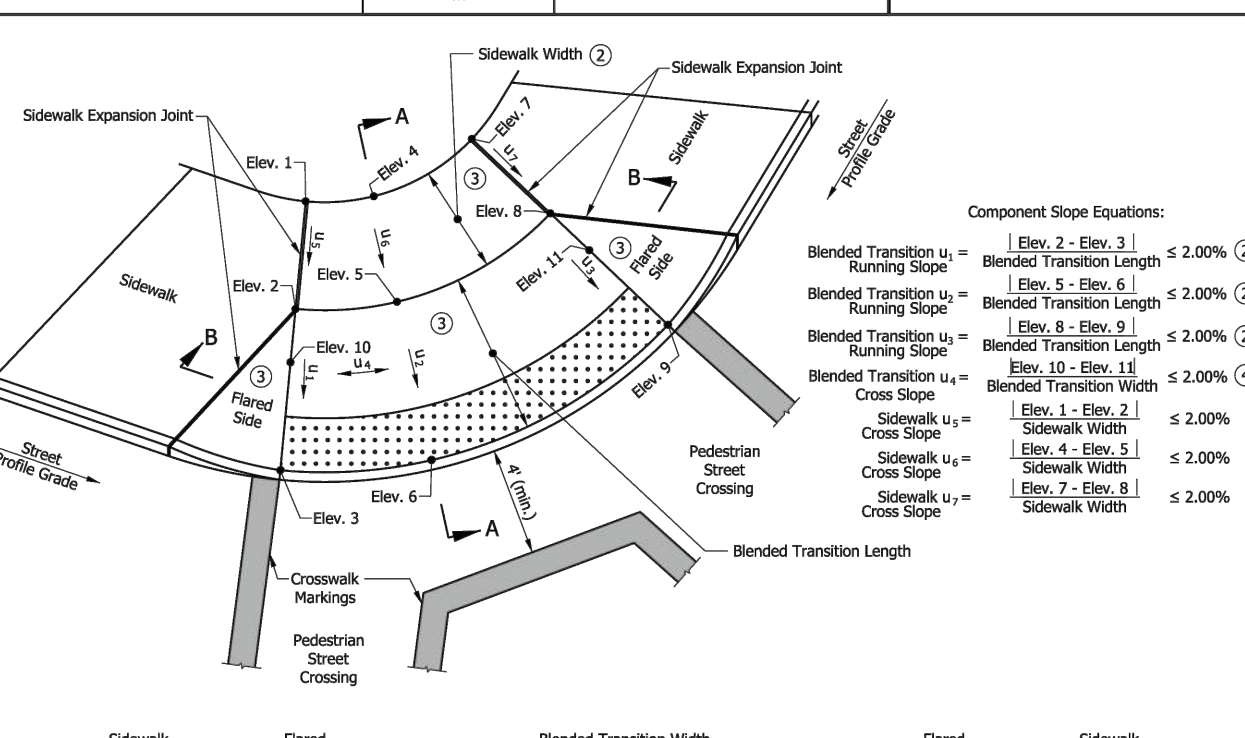
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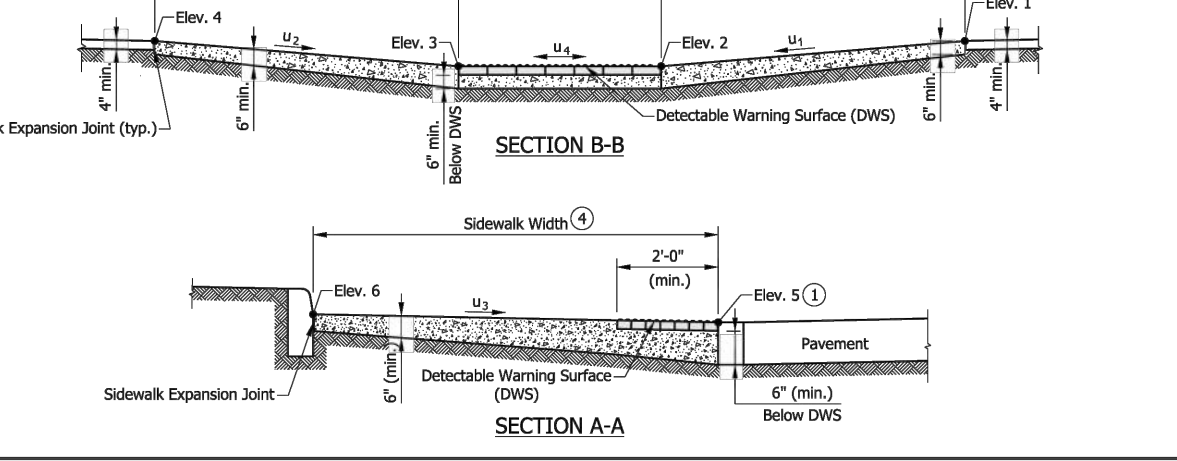
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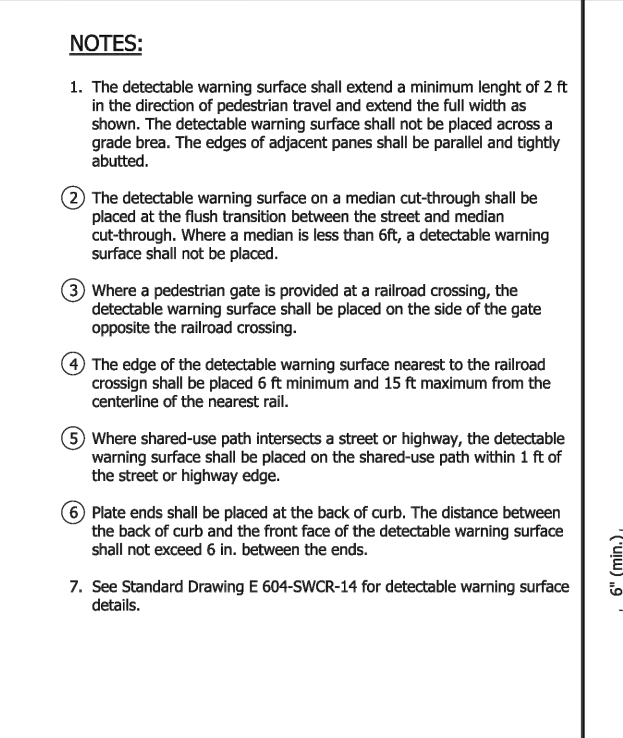
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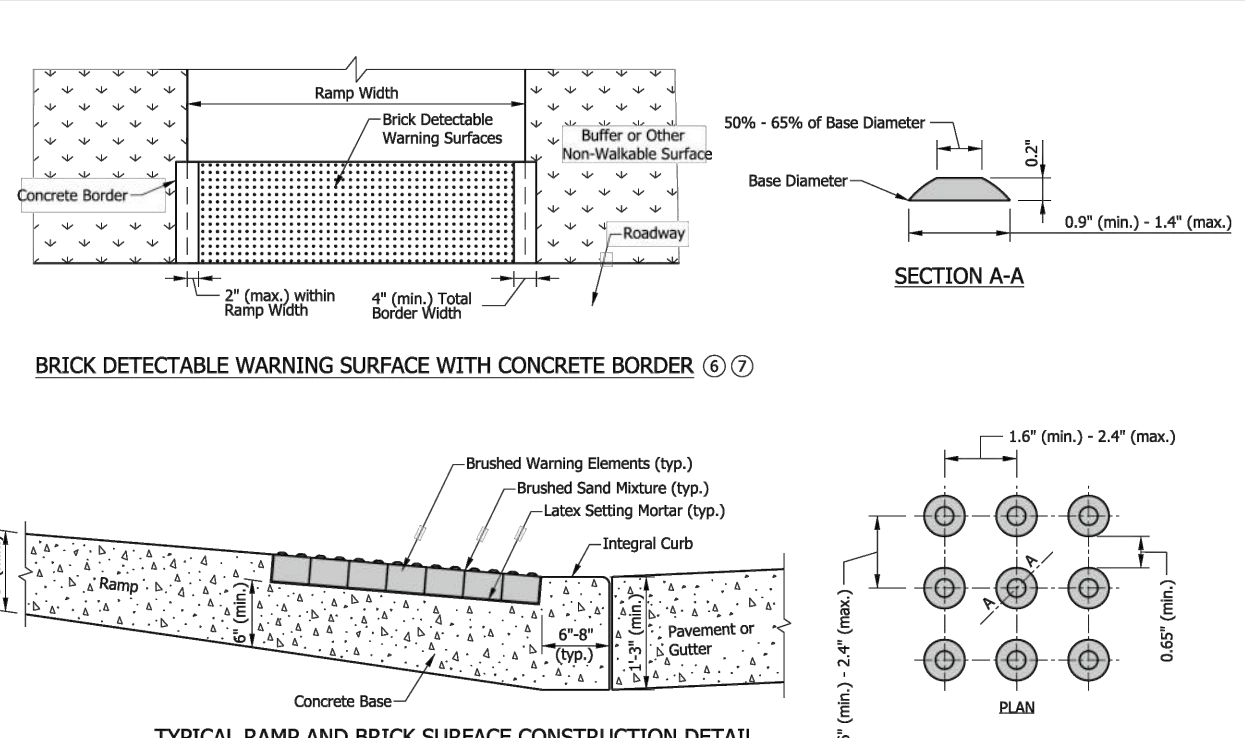
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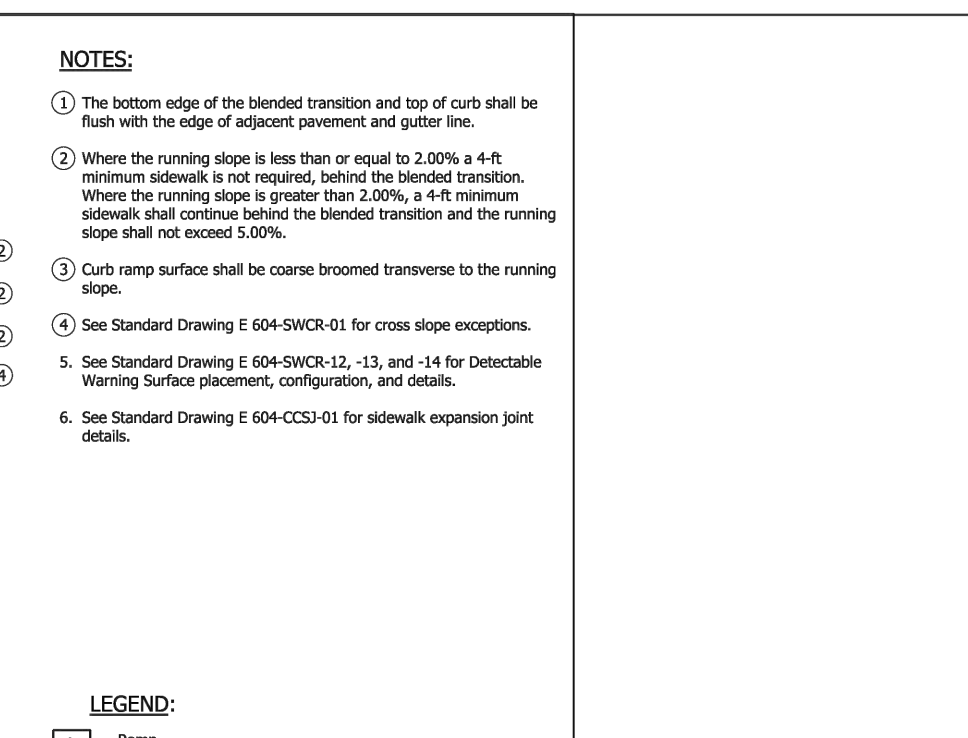
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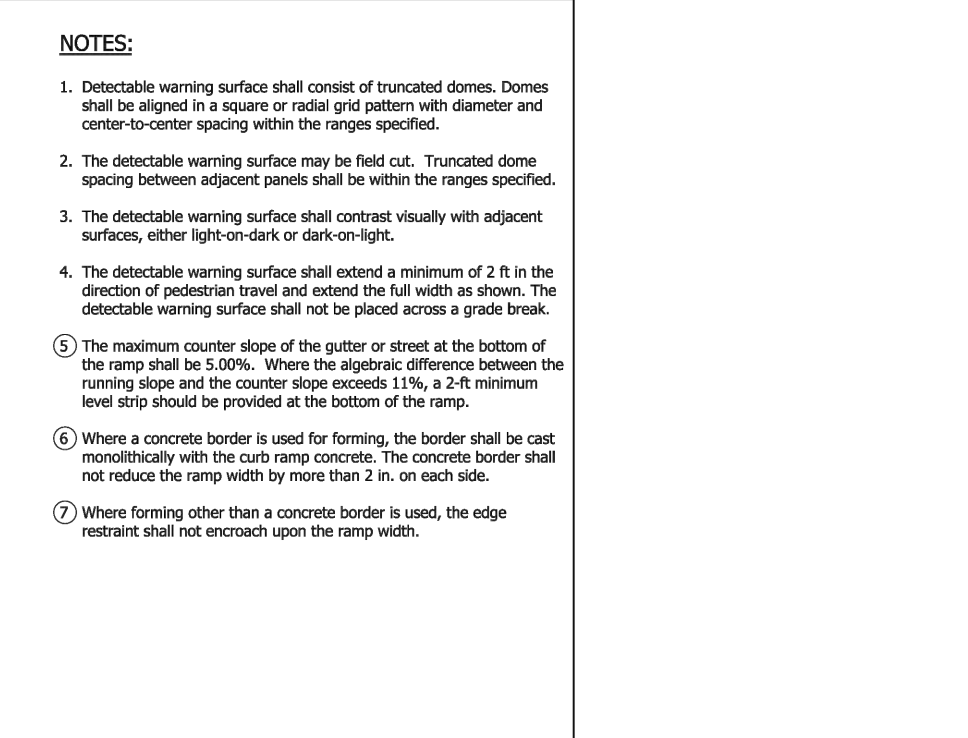
INDIANA DEPARTMENT OF TRANSPORTATION RAILROAD CROSSING SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-12



INDIANA DEPARTMENT OF TRANSPORTATION TYPICAL RAMP AND BRICK SURFACE CONSTRUCTION DETAIL SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-13



INDIANA DEPARTMENT OF TRANSPORTATION ALTERNATE DETECTABLE WARNING SURFACE PLACEMENT SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-14



INDIANA DEPARTMENT OF TRANSPORTATION ALTERNATE CURB CONSTRUCTION SEPTEMBER 2018 STANDARD DRAWING NO. E 604-SWCR-15

NOTES: 1. The bottom edge of the ramp and top of curb shall be flush with the edge of adjacent pavement and gutter line...

NOTES: 1. The bottom edge of the blended transition and top of curb shall be flush with the edge of adjacent pavement and gutter line...

NOTES: 1. The detectable warning surface shall extend a minimum length of 2 ft in the direction of pedestrian travel and extend the full width as shown...

NOTES: 1. The detectable warning surface shall consist of truncated domes. Domes shall be aligned in a square or radial grid pattern with diameter and center-to-center spacing within the ranges specified...

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PROPOSED PLANT LIST AND SUMMARY OF TOTAL PLANT UNIT VALUE EQUIVALENT

Table 4.7-C Plant Unit Values Per City of Plainfield Zoning Ordinance Article 4.7

Plant Categories (Minimum Size at Time of Planting)	Plant Unit Value	Quantity	Total Plant Unit Value	Key Symbol	Common Name	Scientific Name	Spec
Deciduous shade (overstory) tree (2.5 in. caliper)	0.75	3	2.25	GB2.5	Magyar Ginkgo	Ginkgo biloba 'Magyar'	B&B
	0.75	5	3.75	GT2.5	Sunburst Honeylocust	Gleditsia triacanthos f. inermis 'Suncole'	B&B
	0.75	4	3	TB2.5	Boulevard Linden	Tilia americana 'Boulevard'	B&B
Deciduous shade (overstory) tree (4 in. caliper)	1	4	4	AR4	Scarlet Sentinel Maple	Acer rubrum 'Scarsen'	B&B
Deciduous ornamental (understory) tree (1.5 in. caliper)	0.5		0				
Deciduous ornamental (understory) tree (3 in. caliper)	0.75		0				
Multi-stemmed tree (8 ft. high)	0.5		0				
Multi-stemmed tree (12 ft. high)	0.75		0				
Evergreen tree (6 ft. high)	0.5	2	1	PG6	White Spruce	Picea glauca	B&B
Evergreen tree (12 ft. high)	0.75		0				
Evergreen tree - narrow spread (4 ft. high)	0.25		0				
Evergreen tree - narrow spread (6 ft. high)	0.4		0				
Hedge plant - 18 in. (foundation plantings only)	0.025		0				
Hedge plant - 24 in. high	0.05	6	0.3	RA24	Gro Low Sumac	Rhus aromatica 'Gro-Low'	Cont.
	0.05	12	0.6	SN24	Neon Flash Spirea	Spiraea japonica 'Neon Flash'	Cont.
	0.05	24	1.2	SM24	Magic Carpet Spirea	Spiraea japonica 'Magic Carpet'	Cont.
	0.05	35	1.75	TM24	Dense Yew	Taxus x media 'Densiformis'	Cont.
Hedge plant - 36 in. high	0.1	11	1.1	HB36	Bobo Hydrangea	Hydrangea paniculata 'Bobo'	Cont.
	0.1	11	1.1	EA36	Compact Burning Bush	Euonymus alatus 'Compactus'	Cont.
	0.1	28	2.8	VB36	Blue Muffin Viburnum	Viburnum dentatum 'Christrom'	Cont.
	0.1	18	1.8	VC36	Korean Spice Viburnum	Viburnum carlesii 'Compacta'	Cont.
TOTAL		163	24.65				

ADDITIONAL SHRUBS NOT PART OF FOUNDATION PLANT CALCULATIONS: EAST OF FLAGPOLE

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	HB36	Bobo Hydrangea	Hydrangea paniculata 'Bobo'	36" HL	Cont.
5	TM24	Dense Yew	Taxus x media 'Densiformis'	24" HL	Cont.
8	TOTAL ADDITIONAL SHRUBS				

REQUIRED LANDSCAPE CALCULATIONS:

PER ZONING ORDINANCE OF PLAINFIELD, INDIANA
 ZONING: GC, GENERAL COMMERCIAL
 PER ARTICLE 4.7 LANDSCAPE PROVISIONS AND THE GATEWAY CORRIDOR

SECTION 4.7D
 FOUNDATION PLANTINGS FOR ALL NEW BLDGS.
 REQUIRED: FOUNDATION PLANT AREAS SHALL BE CALCULATED INDIVIDUALLY PER BLDG SIDE. PLANT AREA SHALL HAVE A TOTAL AREA IN SF NOT LESS THAN 2X THE LENGTH OF THE BLDG WALL.
 FDN. PLANTS MAY BE ADJ. TO BLDG OR WITHIN 15' OF BLDG; MIN OF 6' WIDE. FDN. PLANTS MAY OVERLAP WITH PERIMETER YARD LANDSCAPE.
 LEVEL 1 FOUNDATION PLANT UNIT VALUE REQUIRED; TABLE 4.7-B;
 1. PLANT UNIT FOR EA. 100 LF; 295 LF TOT. BLDG/100 = 2.95 PLANT UNIT REQ. PROVIDED;

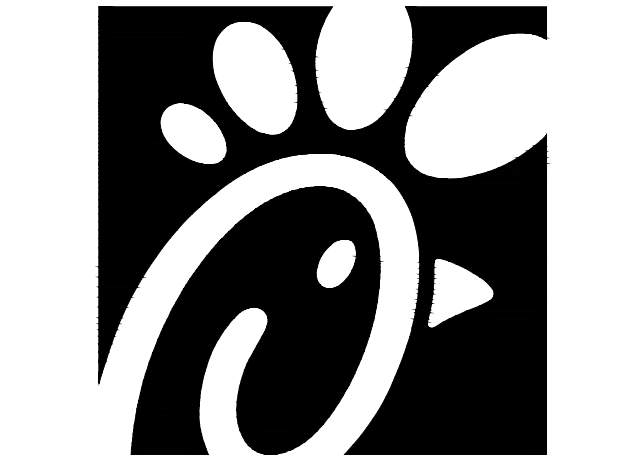
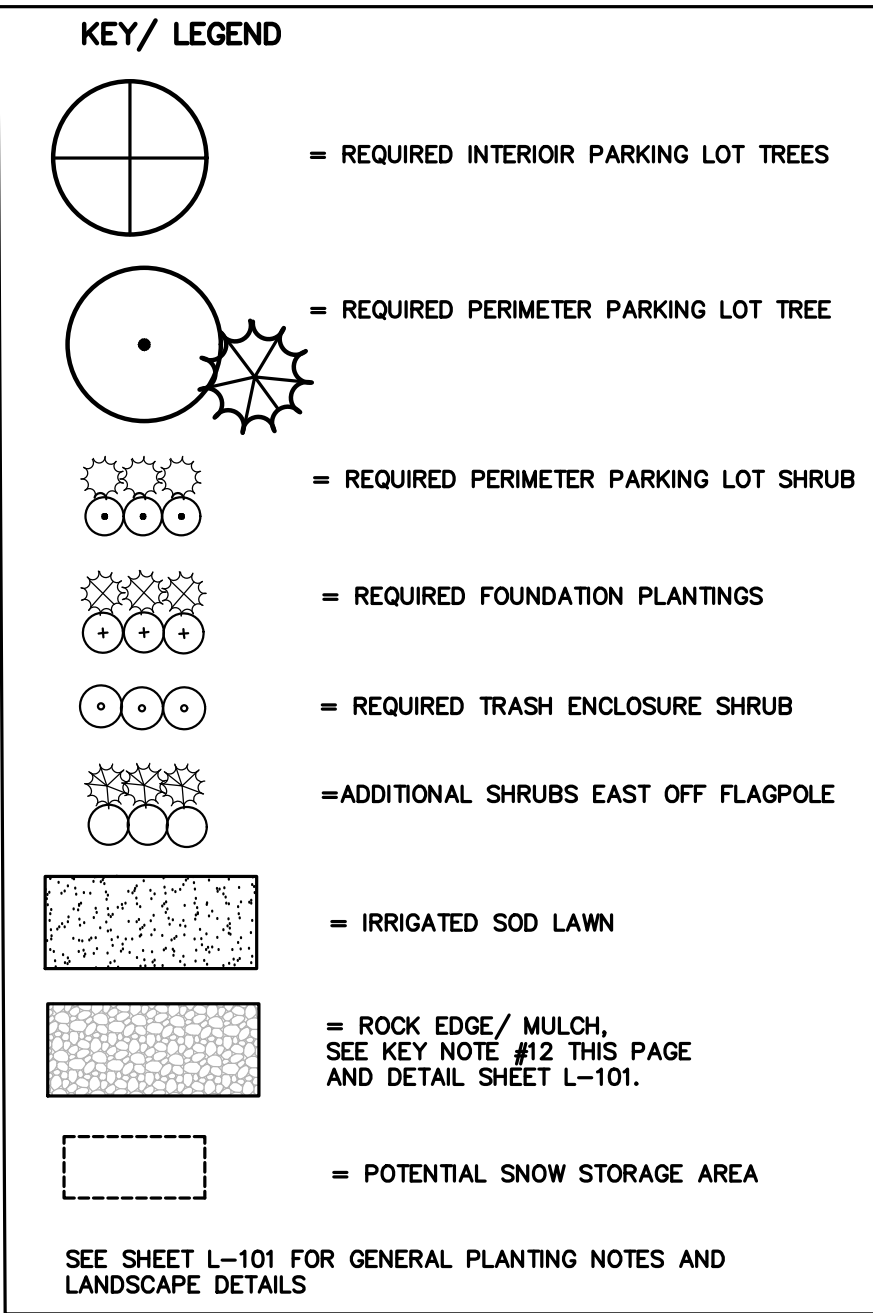
SECTION 4.7E
 INTERIOR PARKING LOT LANDSCAPE.
 REQUIRED: ALL NEW PARKING LOT AREAS SHALL INCLUDE 1 PARKING ISLAND, 8' X 18' MIN. PER EVERY 15 SPACES, WITH 1 TREE PER ISLAND.
 THE PARKING AREA FACING THE FRONT OR SIDE YARD SHALL BE SCREENED BY A COMPACT HEDGE ROW OF 24-36" HT. PLANTS AT 3' OC. OR HEDGE PLANT IN COMBINATION WITH ORN. FENCE/ WALL OR BERM PROVIDED THAT THE PLANT UNIT VALUE OF THE HEDGE/ WALL/ BERM EQUALS 1.5X.
 48 SPACES / 15 = 4 TREE MIN.
 PROVIDED:
 4 TREES (4 TREES X .75 = 3 PLANT UNIT VALUE)
 CONTINUOUS SHRUB HEDGE AT PARKING AREA FACING FRONT, EAST.
 (19, 24" HT SHRUBS X .05 = .95 PLANT UNIT VALUE) = 3.95 TOT. PLANT VALUE

SECTION 4.7C
 PERIMETER LANDSCAPE OF PARKING LOTS.
 REQUIRED: GC ZONE ADJ TO GC ZONE EQUALS USE OF LEVEL 1 BUFFER YARD LEVEL 1 = ANY COMBINATION OF PLANTS SELECTED FROM THE PLANT CATEGORIES LISTED IN TABLE 4.7C WHICH EQUALS OR EXCEEDS THE PLANT UNIT VALUE OF 1.0 PER 100 LF.
 REQUIRED:
 NORTH, PERIMETER 250 LF/100 = 2.5 PLANT UNIT MIN.
 WEST(FRONT), PERIMETER 180 LF/100 = 1.8 PLANT UNIT MIN. X 2 = 3.6 (DOUBLE)
 SOUTH, PERIMETER 326 LF/100 = 3.26 PLANT UNIT MIN.
 EAST(FRONT) PERIMETER 238 LF/100 = 2.38 PLANT UNIT MIN. X 2 = 4.76 (DOUBLE)
 TOTAL OF 14.12 PLANT UNIT VALUE REQUIRED
 PROVIDED:
 NORTH: 22, 36"HT.SHRUB X.1=2.2; 2 TREE X.75=1.5; TOTAL=3.7 PLANT VALUE
 WEST(FRT): 15, 36"HT.SHRUB X.1=1.5; 4 TREE X.75=3; TOTAL=4.5 PLANT VALUE
 SOUTH: 9, 36"HT.SHRUB X.1=.9; 2TREE X.75=1.5; 2 EVG X.5=1; TOTAL=3.4 VALUE
 EAST(FRT): 17, 24"HT.SHRUB X.05=.85; 4"TREE X.1=4 TOTAL=4.85 PLANT VALUE
 TOTAL=16.45 PLANT UNIT VALUE PROVIDED

SECTION 5.5.C.5
 GATEWAY CORRIDOR YARD LANDSCAPE.
 REQUIRED: FRONT YARDS AND FRONT BUFFER YARDS SHALL BE LANDSCAPED IN COMPLIANCE WITH THE PROVISIONS OF ARTICLE IV, THAT AT LEAST 50% OF THE REQUIRED PLANT UNIT VALUE SHALL BE MADE OF DEC. OVER-STORY TREES, DEC. ORN. UNDER-STORY TREES OR EVG TREES
 TOTAL OF ALL PLANT UNITS:
 24.65 X 50% = 12.325 REQ. TO BE TREES/ORN/EVG.
 PROVIDED TREES ENTIRE SITE: 4.4" TREE X.1= 4; 12 TREES X.75 = 9; 2 EVG X.5 = 1; = 14 PLANT UNITS
 57% TOTAL SITE ARE OVERSTORY/EVG
 PROVIDED TREES (FRONT) WEST AND EAST:
 WEST SIDE(FRONT): (4 TREES)3 PLANT VALUE/ 4.5 = 66.6% OVERSTORY TREES
 EAST SIDE(FRONT): (4.4" TREES)4 PLANT VALUE/ 4.85 = 82.5% OVERSTORY TREES

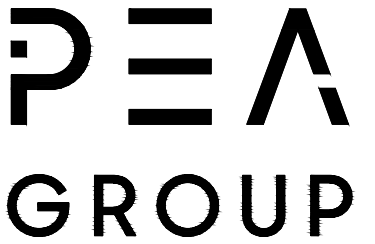
SECTION 5.5.C.4
 TRASH ENCLOSURE LANDSCAPE.
 REQUIRED: WHEN SOLID WALLED SIDE OF A TRASH ENCLOSURE ABUTS/ JOINS A YARD OR BUFFER YARD THE SIDE SHALL BE PROVIDED WITH LANDSCAPING OF NOT LESS THAN HEDGE PLANTS MIN. 4' OC.
 PROVIDED AT TRASH ENCLOSURE:
 11, 36"HT.SHRUB X.1 = 1.1 PLANT VALUE
 ENTIRE SITE TOTAL = 24.65 PLANT UNITS PROVIDED

- KEY NOTES:**
- IRRIGATED SOD LAWN, TYP.
 - RESTORE NON-IRRIGATED SEED LAWN, TYP.
 - ALUMINUM EDGING BETWEEN LAWN/ROCK AND PLANT BED, TYP.
 - 25' CLEAR VISION TRIANGLE, TYP.
 - FOUNDATION SHRUBS; EVG AND/OR DEC.
 - EXISTING STREET TREE, TYP.
 - PARKING LOT TREE, TYP.
 - ADDITIONAL SHRUBS/ PERENNIALS BY OWNER
 - EXISTING TREE TO REMAIN, TYP. NOT TO BLOCK VISIBILITY OF BUILDING AND SIGNAGE, PRUNE AS NEEDED. REMOVE ALL DEAD BRANCHES AND PLANT MATERIAL.
 - TREE PROTECTION FENCING AROUND EX. TREE TO REMAIN, TYP.
 - EXISTING TREE TO BE REMOVED, TYP.
 - RIVER ROCK EDGE OVER WEED FABRIC, SEE DETAIL SHEET L-101; TO BE INSTALLED PER CLIENT STDS.; ADJ. TO BLDG. AND WITHIN INTERIOR DRIVE THRU LANE
 - 3" DEPTH SHREDDED HARDWOOD MULCH WITH PRE-EMERGENT, PER CLIENT STDS.; SHREDDED HARDWOOD MULCH TO BE INSTALLED IN BEDS OUTSIDE THE INTERIOR DRIVE THRU LANE
 - PROPOSED MONUMENT SIGN SEE CIVIL DWGS.
 - POTENTIAL SITE OF CHICK-FIL-A BLDG SIGN/LOGO; NO PLANTINGS TO BLOCK FINAL LOCATION, SHIFT SHRUBS AND TREES AS NECESSARY
 - TREES TO NOT CONFLICT WITH OVERHEAD CANOPIES AT DRIVE THRU AND BLDG. COLUMNAR TYPE TREE PROPOSED OR SHIFT TREE AS NECESSARY IF PRESENT.
 - POTENTIAL SNOW STORAGE AREA
 - FLAGPOLE, BY OTHERS

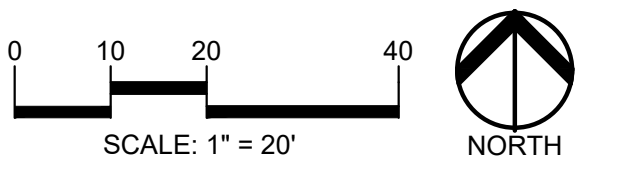


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Chick-fil-A
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 Atlanta, Georgia 30349-2998

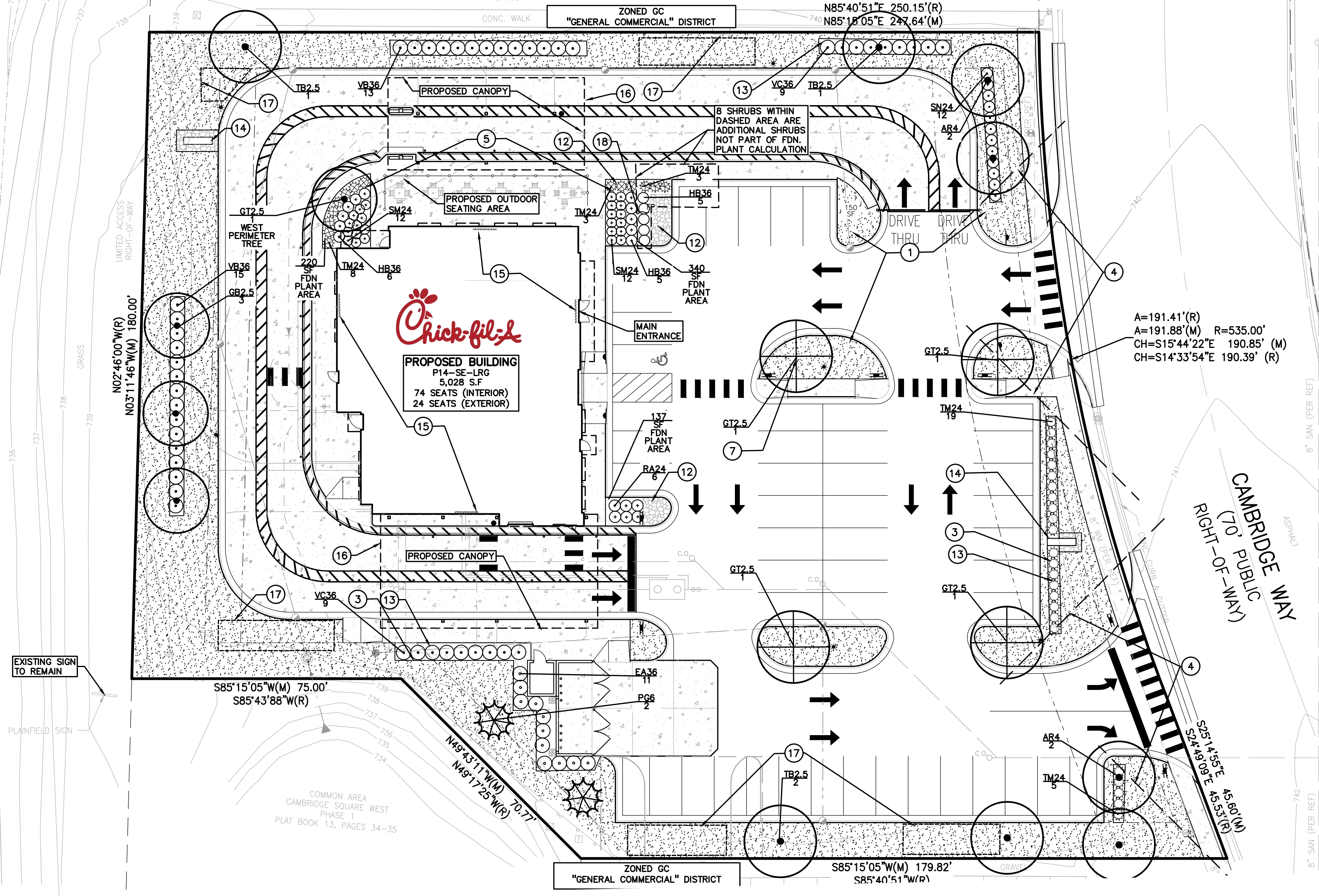


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STATE ROAD 267
 (PUBLIC RIGHT-OF-WAY)



CHICK-FIL-A
 PLAINFIELD
 6102 CAMBRIDGE WAY
 PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
 RELEASE: AUGUST 2022

REVISION SCHEDULE

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CONSULTANT PROJECT # 2022-1054
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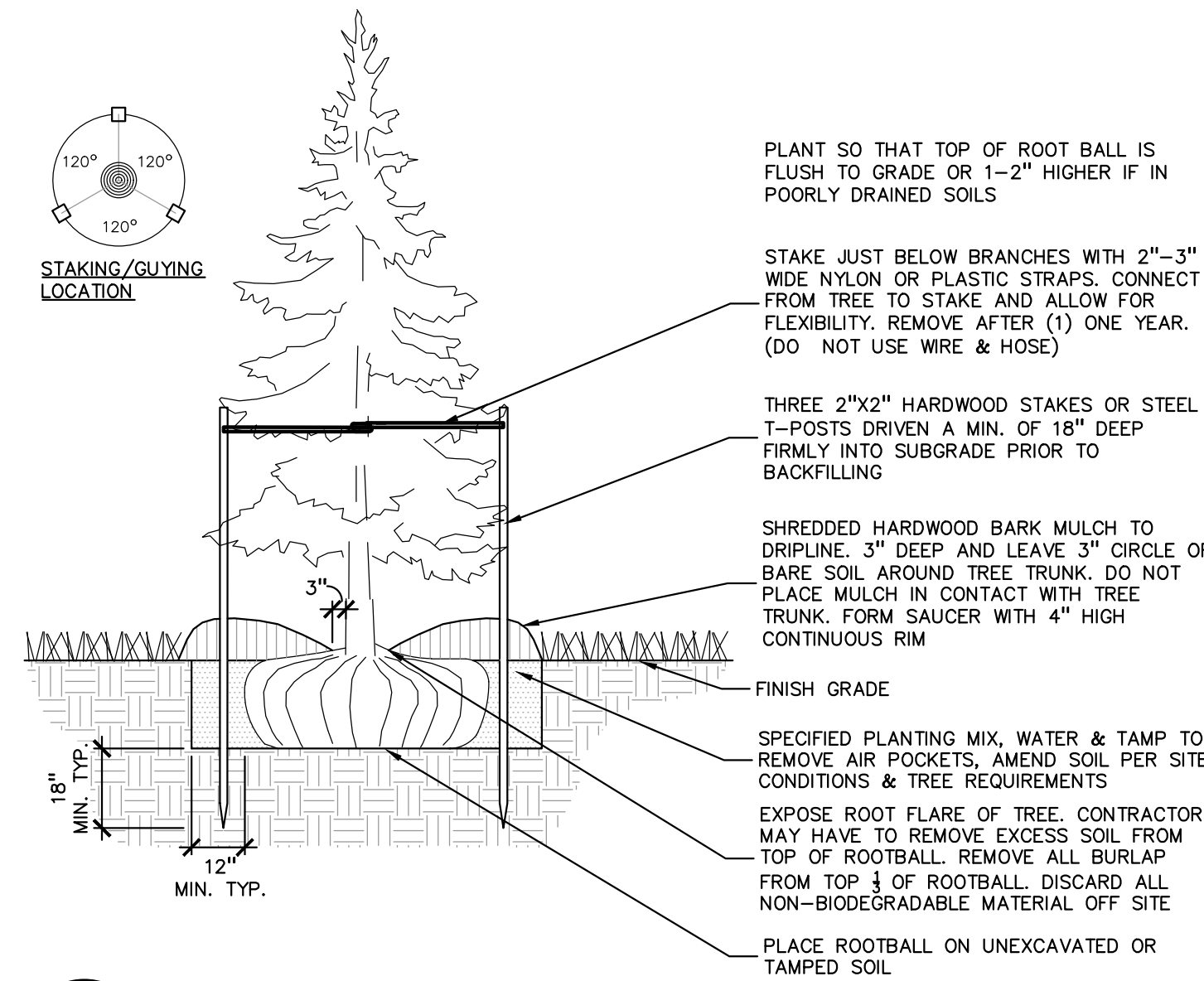
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SHEET PRELIMINARY LANDSCAPE PLAN

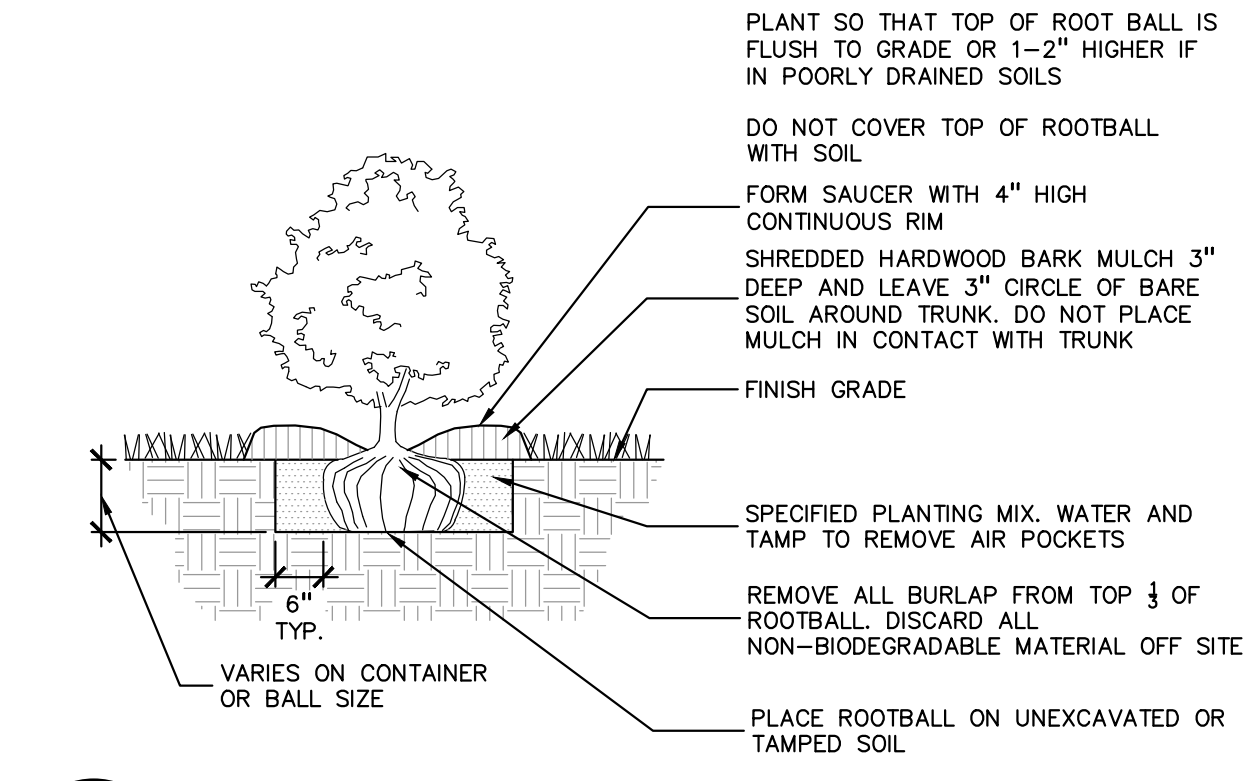
SHEET NUMBER L-100

GENERAL PLANTING NOTES:

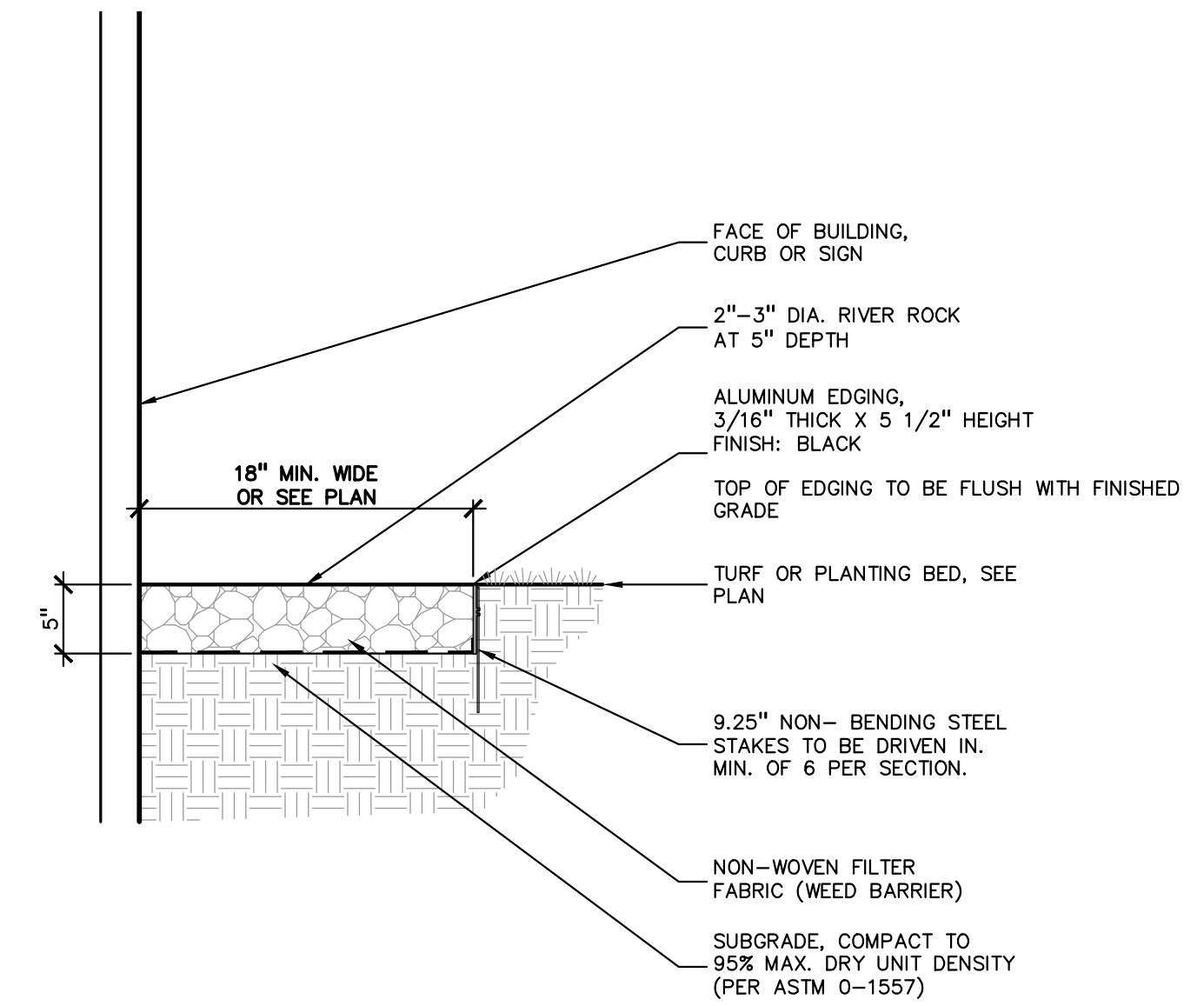
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
- THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
- ALL LANDSCAPED AREAS SHALL RECEIVE 3" COMPACTED TOPSOIL.
- SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
- CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
- TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.



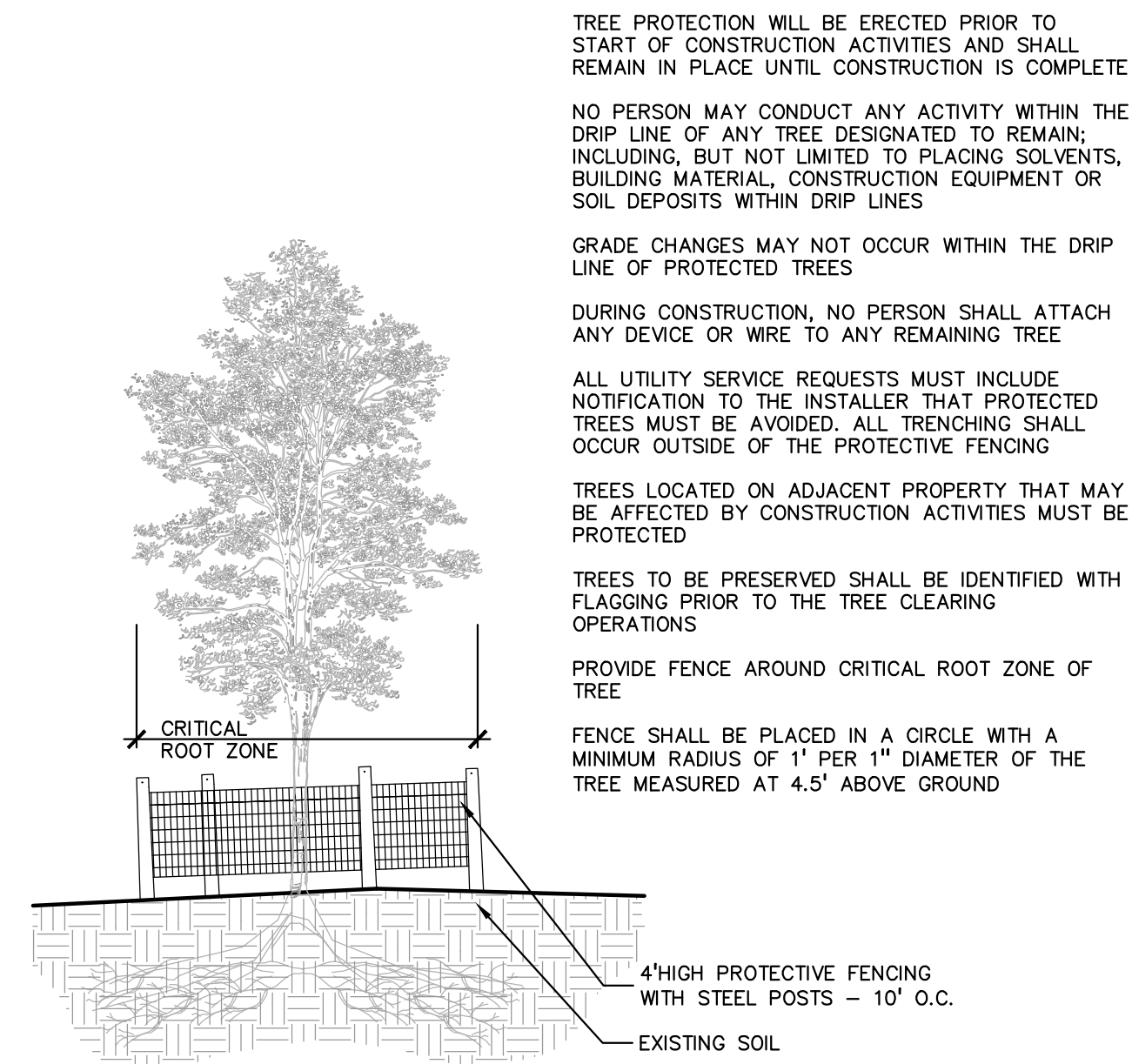
6 EVERGREEN TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



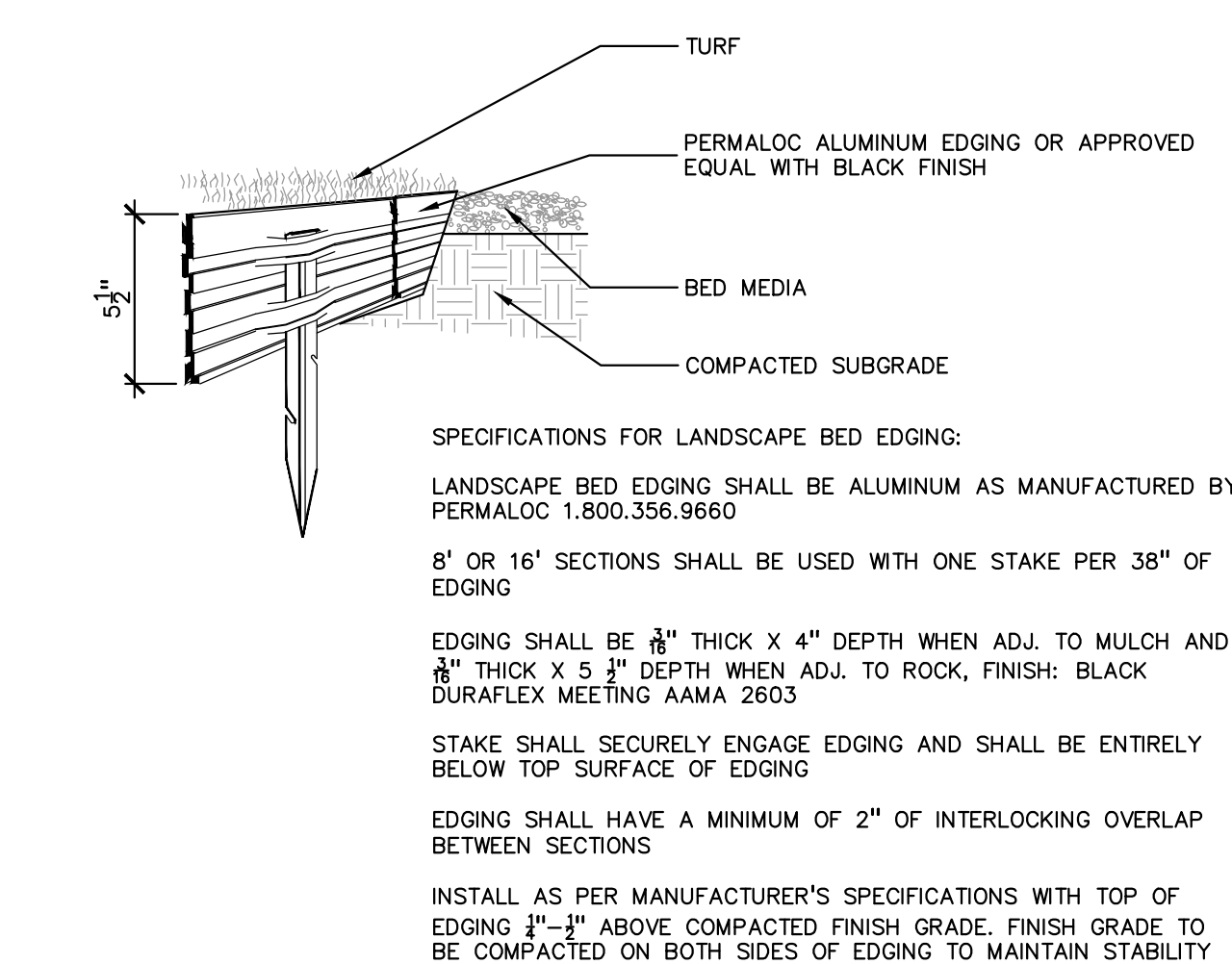
3 SHRUB PLANTING DETAIL
SCALE: 1" = 2'-0"



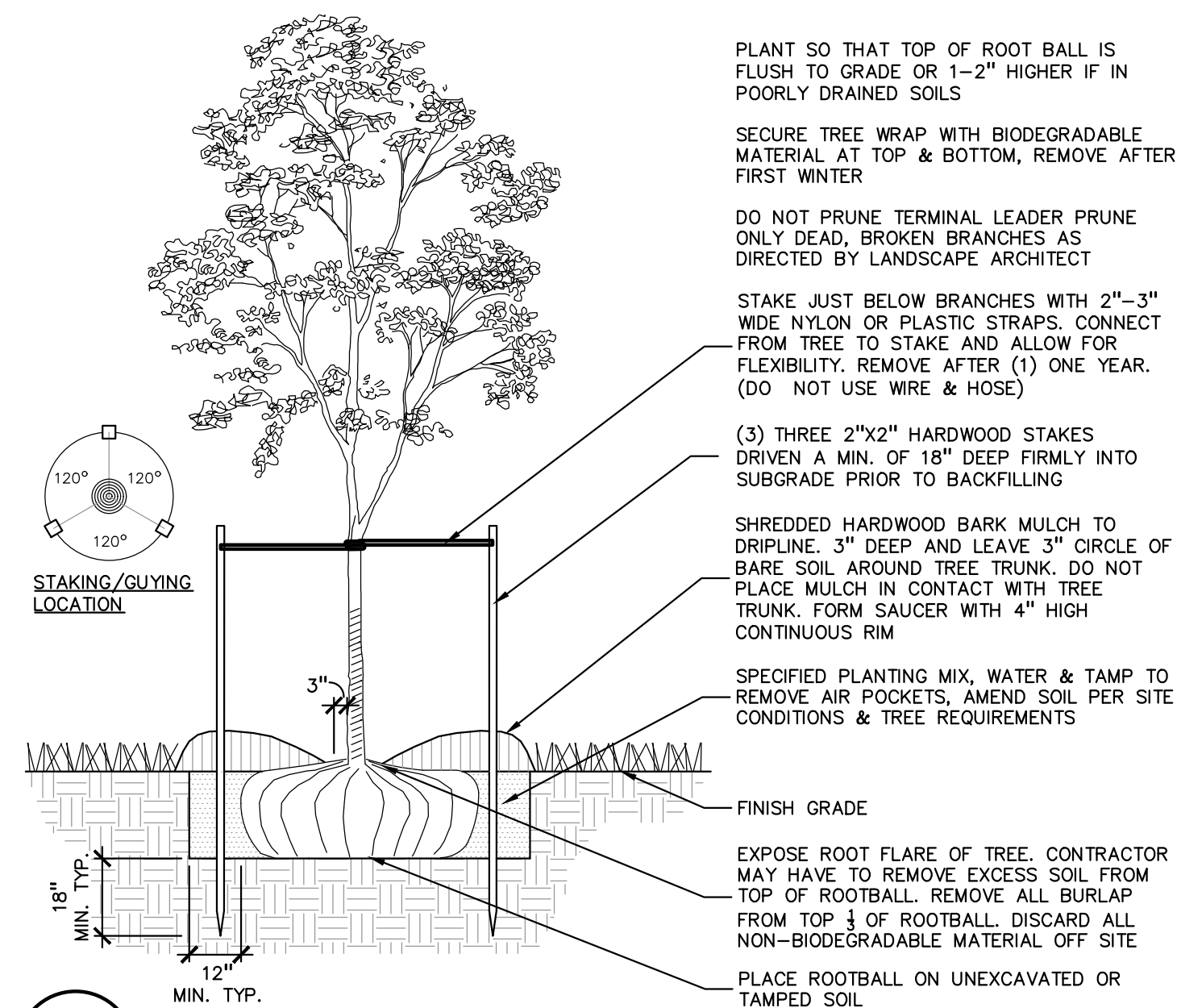
5 ROCK EDGE/ MULCH
SCALE: 1" = 1'-0"



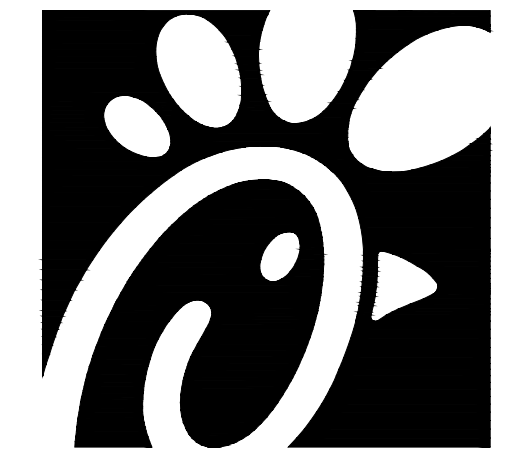
2 TREE PROTECTION DETAIL
SCALE: 1" = 3'-0"



4 ALUMINUM EDGE DETAIL
SCALE: 1/2" = 1'-0"



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1" = 3'-0"



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

PEA GROUP

t: 844.813.2949
www.peagroup.com



CHICK-FIL-A
PLAINFIELD
6102 CAMBRIDGE WAY
PLAINFIELD, IN 46168

FSR#05219

BUILDING TYPE / SIZE: P14-SE-LRG
RELEASE: AUGUST 2022

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

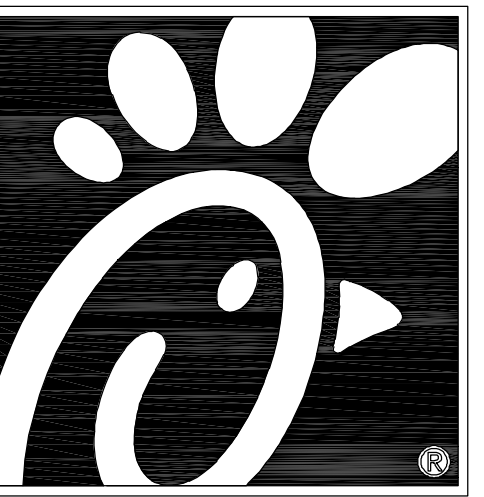
CONSULTANT PROJECT #	2022-1054
PRINTED FOR	SPA
DATE	MARCH 20, 2023
DRAWN BY	AEH

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SHEET
LANDSCAPE
DETAILS

SHEET NUMBER

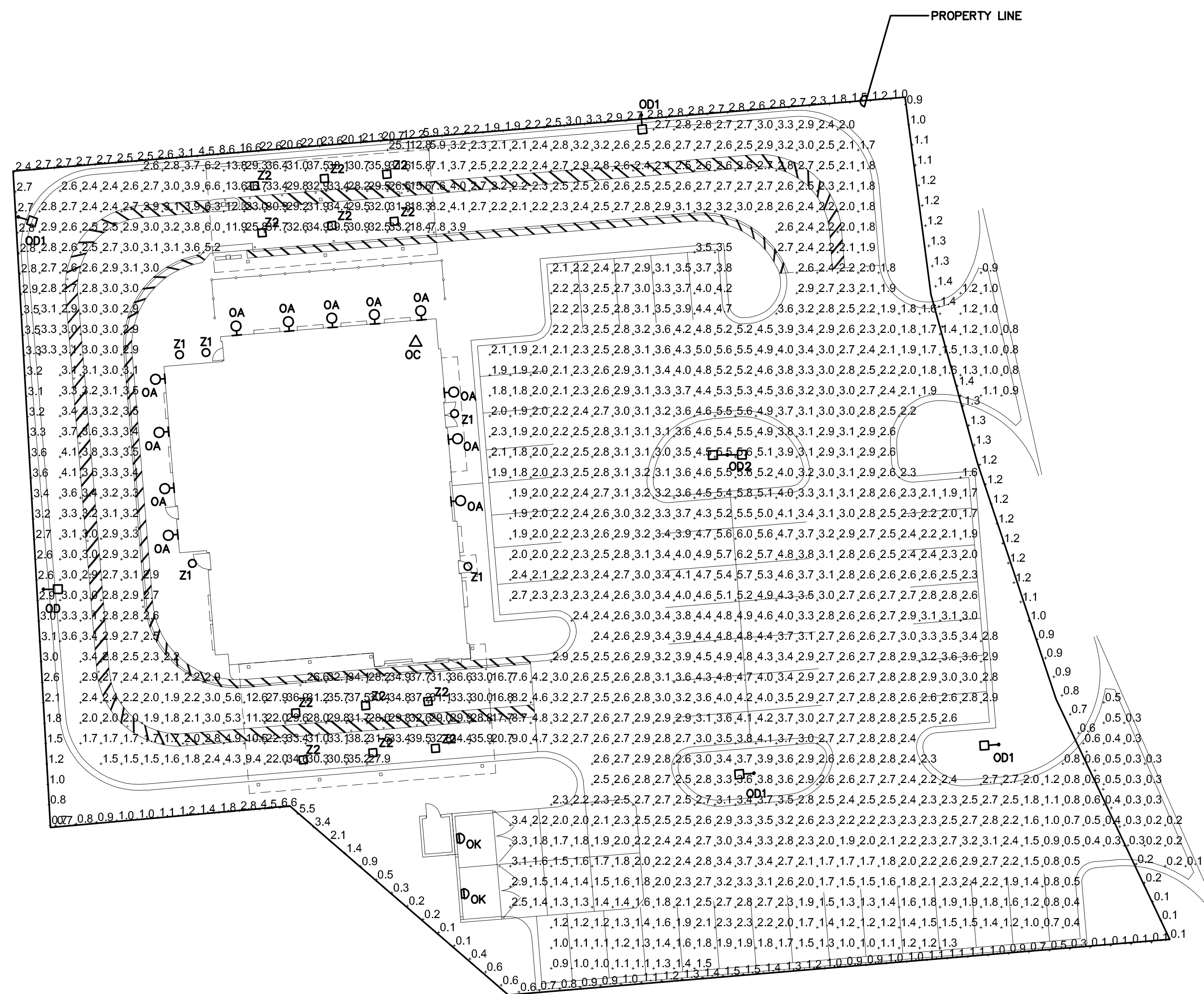
L-101



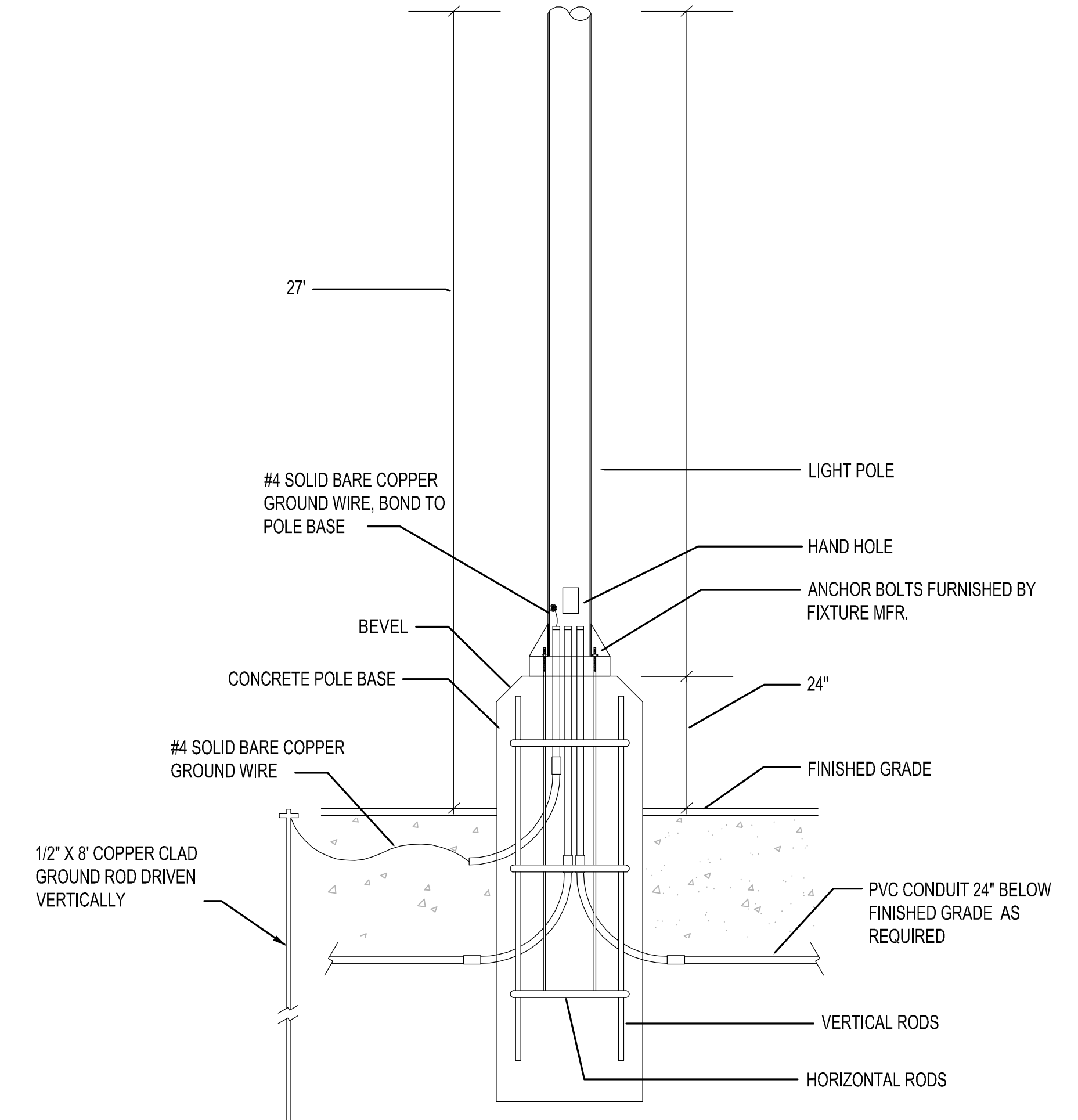
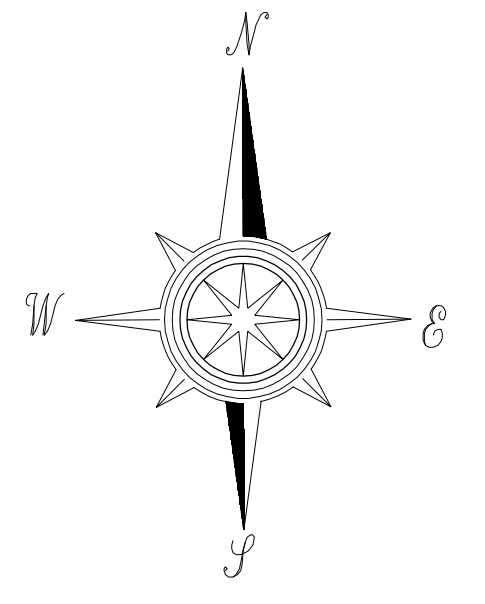
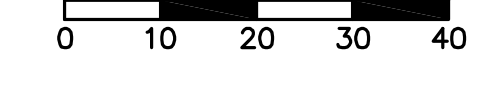
Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

DICKERSON ENGINEERING, INC.
Professional Electrical Engineer
Arlington Heights, IL 60004
TEL (847) 866-0280
FAX (847) 866-0284



1 PHOTOMETRIC PLAN
SCALE: 1"=20'-0"



2 TYPICAL POLE BASE DETAIL
NOT TO SCALE

PHOTOMETRIC STATISTICS (MAINTAINED) IN PARKING LOT (NOT INCLUDING UNDER CANOPY LIGHTING)	
AVERAGE	3.0
MAX	6.2 FC
MIN	0.4 FC

FIXTURE	HEIGHT (UNLESS NOTED OTHERWISE)	LIGHT LOSS FACTOR	COLOR	LIGHT FIXTURE SPECIFICATION	POLE	COMMENTS
OC	ON BUILDING	.9	4000K	HUBBELL - FLL-42L-95-4K7-N-U-K-DB		
OD	27'	.9	4000K	COOPER/LUMARK - PRV-C60D-UNV-T3-SA-BZ	SSS-4A-25-SFM-1-4 (SINGLE LUMINAIRE)	
OD1	27'	.9	4000K	COOPER/LUMARK - PRV-C60D-UNV-T4-SA-BZ	SSS-4A-25-SFM-1-4 (SINGLE LUMINAIRE)	
OD2	27'	.9	4000K	(2) COOPER/LUMARK - PRV-C60D-UNV-T4-SA-BZ	SSS-4A-25-SFM-2-4 (TWO LUMINAIRES)	
OA	8'	.9	3000K	PROGRESS LIGHTING - P5675-31 WITH TOP COVER LENS		
OK	8'	.9	3000K	HUBBELL - LNC-SLU-3K-3-1		
Z1	10'	.9	3000K	PROVIDED WITH CANOPY		
Z2	9.5'	.5	3000K	LSI - CRUS-SC-LED-LW30-JE-WHT		

CHICK-FIL-A
PLAINFIELD FSU
I-70 & SR 267
PLAINFIELD, IN 46168

FSR# 05219

REVISION SCHEDULE	NO.	DATE	DESCRIPTION

ARCHITECT'S PROJECT # _____
PRINTED FOR _____ ZONING REVIEW
DATE 01/24/2023
DRAWN BY JRG/D

PHOTOMETRIC PLAN
SHEET NUMBER
E-102



EXTERIOR FINISHES



ATTACHED CANOPY SCHEDULE

Mark	Description	Count	Overall Width	Overall Depth	Tie Back Mounting (Offset From Top)	Integral Lighting
C1-C	Exterior Canopy	11	6'-4"	1'-0"	0"	No
C4-B	Exterior Canopy	2	5'-4"	4'-0"	2'-4"	Yes
C4-L	Exterior Canopy	1	28'-0"	4'-0"	2'-4"	Yes
C5-A	Exterior Canopy	1	13'-4"	5'-0"	2'-4"	Yes
Grand total		15				



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW



PERSPECTIVE VIEW

PROJECT DATA

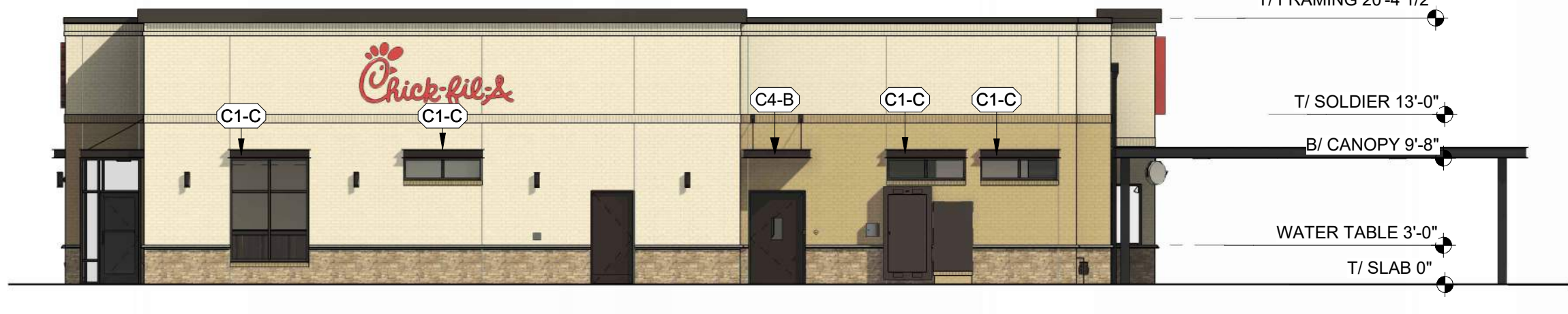
Prototype Edition:	SE	Playground	NO
Exterior Finish Type:	TOWER BRICK	Landscaping Type:	STANDARD
Wall Framing Type:	METAL STUD	LEED Rating:	NOT CERTIFIED
Kitchen Type:	CENTERLINE	Drive Thru Stack Count:	#
Water Filtration Type:	TYPE A	Drive Thru Bypass Lane:	YES
Drive-Thru:	YES	Drive Thru Number of Fulfillment Lanes:	#
Industrialized Construction:	YES	Drive Thru Number of Order Point Pylons:	#
Number of Parking Spaces:	#	Drive Thru Number of Pickup Windows:	#
Number of Accessible Parking Spaces:	#	Drive Thru Door:	YES
Cross Parking:	YES	Square Footage:	4704
Menu Board - Interior:	YES	Seat Count - Interior:	74
Menu Board - Interior - Count:	6	Seat Count - Exterior:	28
Menu Board - Interior - Type:	DIGITAL	Canopy Type - Order Point:	DOUBLE
Menu Board - Walk-up:	N/A	Canopy Type - Meal Delivery:	DOUBLE
Menu Board - Walk-up - Count:	N/A	Number of Registers:	3
Menu Board - Walk-up - Type:	N/A		
Menu Board - Order Point:	YES	DESIGN APPROVAL	
Menu Board - Order Point - Count:	4	<input type="checkbox"/> SUP <input type="checkbox"/> SD <input type="checkbox"/> DD <input type="checkbox"/> CD	
Menu Board - Order Point - Type:	DIGITAL	<input type="checkbox"/> NOT APPROVED - REVISE AND RESUBMIT <input type="checkbox"/> APPROVED AS NOTED - REVISE AND RESUBMIT <input type="checkbox"/> APPROVED FOR DESIGN INTENT	
Planned Classification:	BASE	INITIAL	DATE
		PROJECT NOTES	

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

CHIPMAN DESIGN ARCHITECTURE INC
1350 E TOUHY AVE
FIRST FLOOR EAST
DES PLAINES, IL 60018
TEL : 847.298.6900



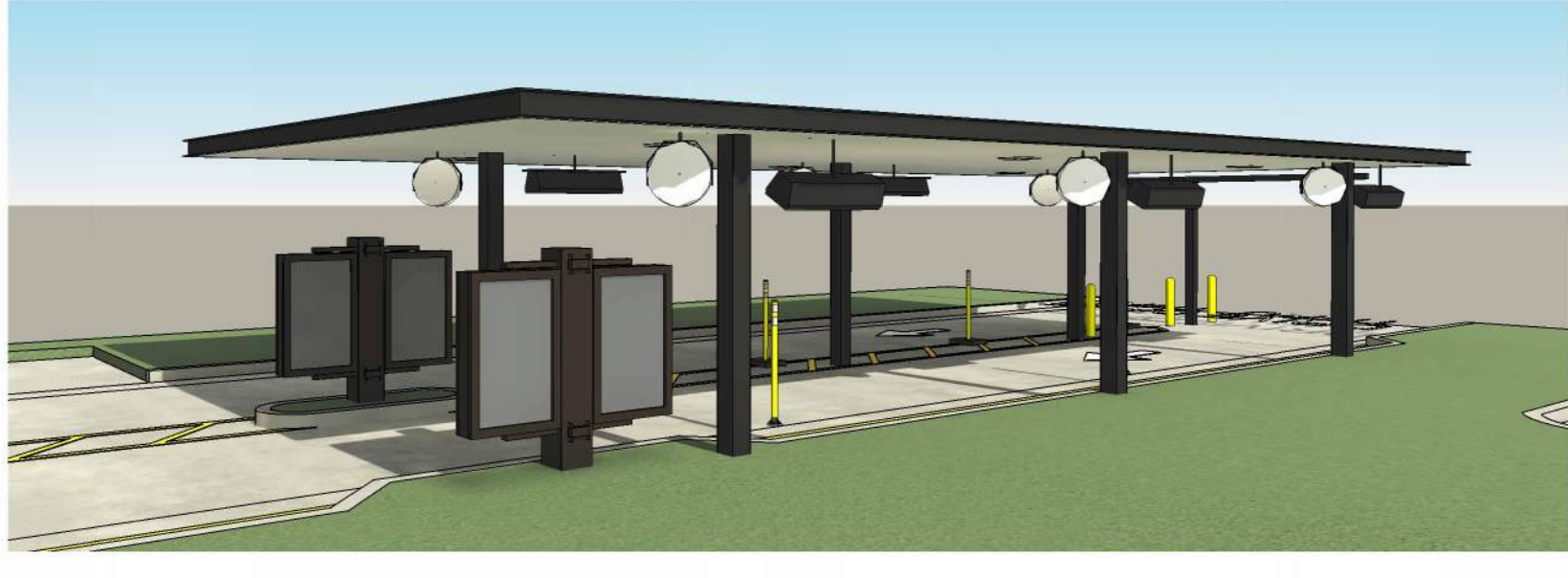
PERSPECTIVE VIEW



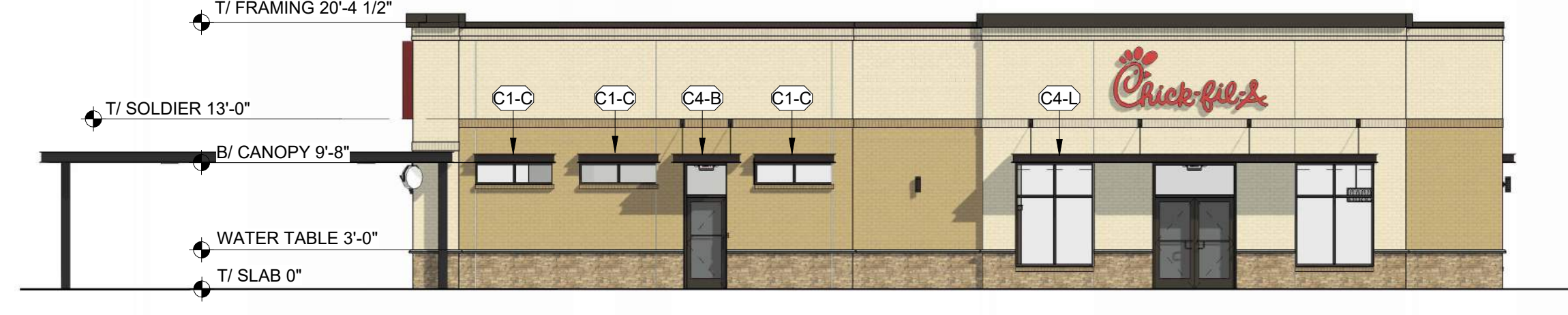
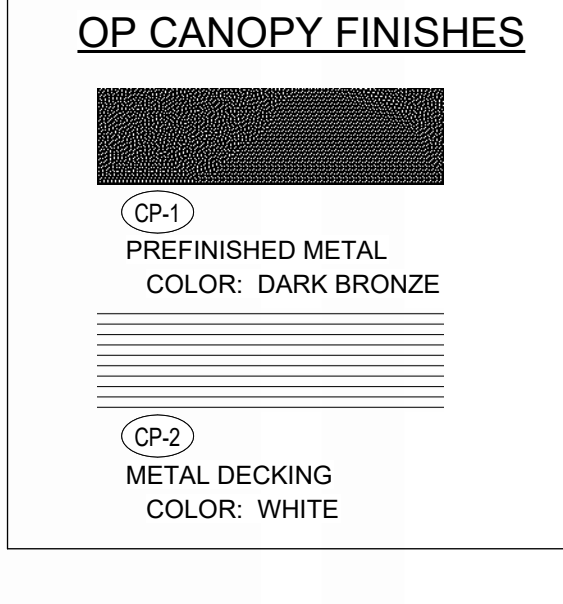
EXTERIOR ELEVATION



EXTERIOR ELEVATION



PERSPECTIVE VIEW



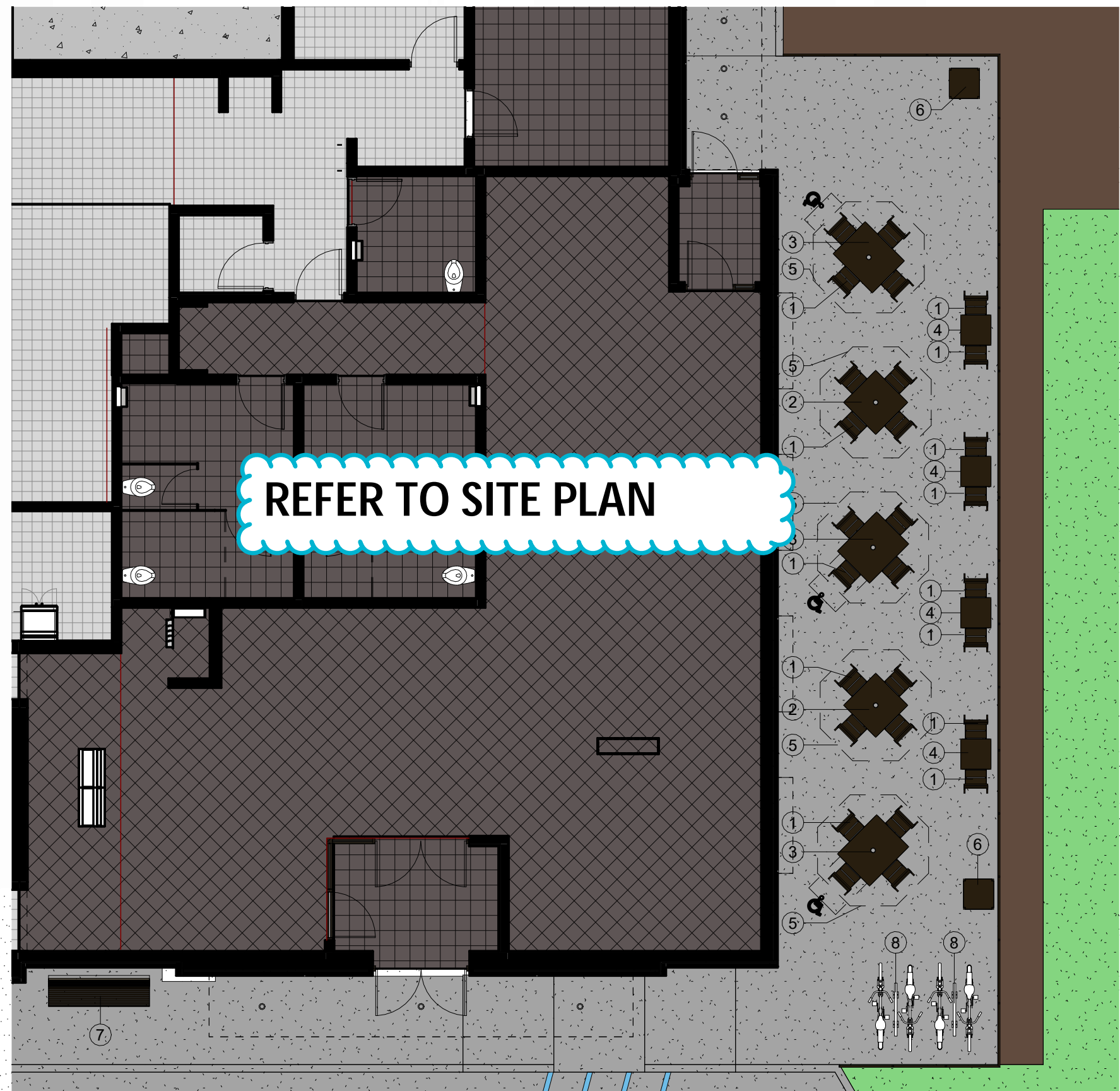
EXTERIOR ELEVATION



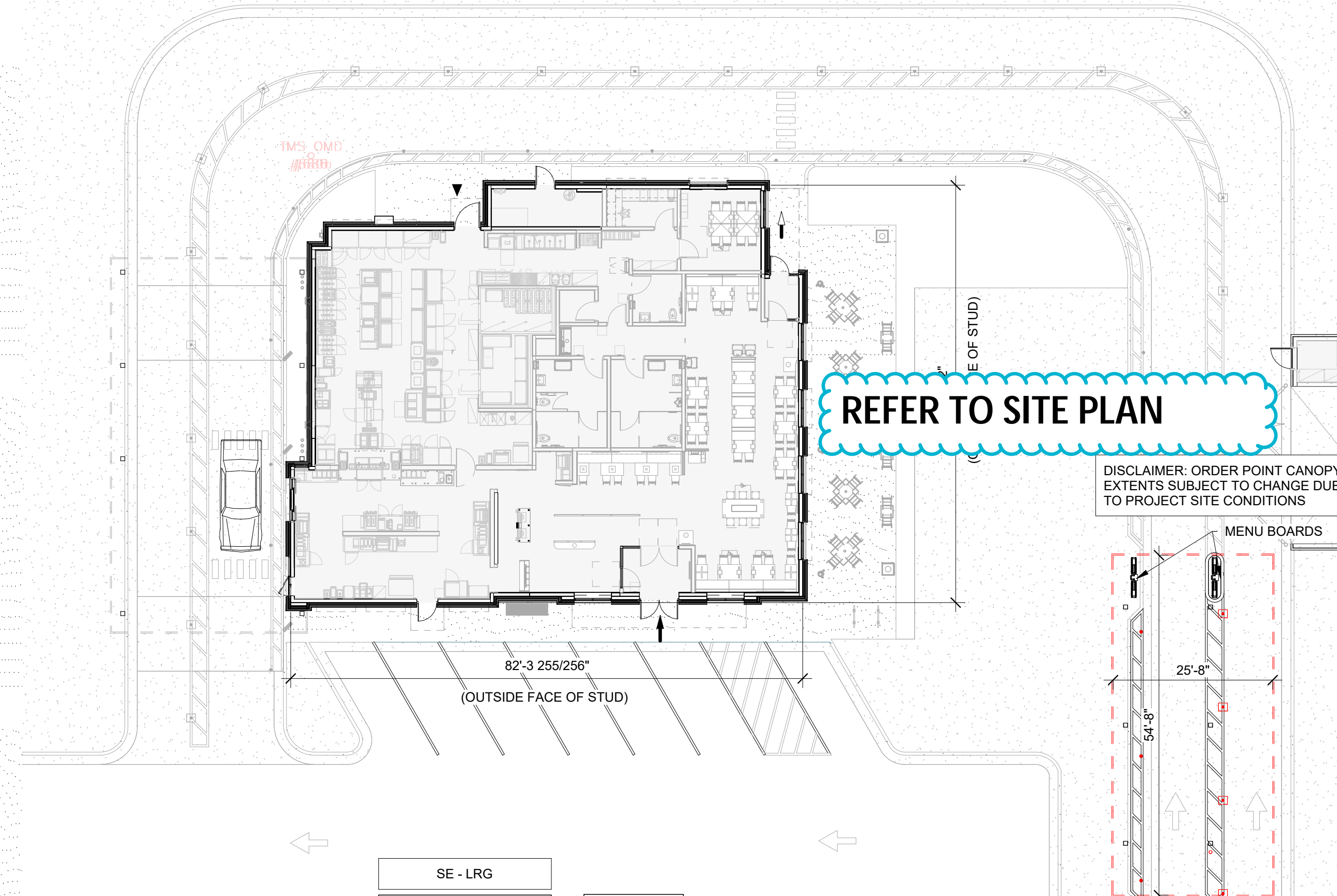
EXTERIOR ELEVATION



PERSPECTIVE VIEW - PATIO



DINING PATIO PLAN



SITE PLAN

PATIO SEATING SCHEDULE

Mark	Type	Count	Manufacturer	Model	Width	Depth	Height	Material	Finish
1	Patio Chair	28	Benchmark Design Group	WENDOVER CHAIR				Aluminum	RAL 49/66220 (C34 Bronze One Coat)
2	Patio Table - 4 Top	2	Benchmark Design Group	TAB3055-3636-AAL-WJ-UH-BDT	3'-0"	3'-0"	2'-5 1/4"	Aluminum	RAL 49/66220 (C34 Bronze One Coat)
3	Patio Table - 4 Top - ADA	3	Benchmark Design Group	TAB3055-3644-AAL-WJ-UH-BDT	3'-8"	3'-0"	2'-5 1/4"	Aluminum	RAL 49/66220 (C34 Bronze One Coat)
4	Patio Table - 2 Top	4	Benchmark Design Group	TAB3055-2424-AAL-WJ-BDT	2'-0"	2'-0"	2'-5 1/4"	Aluminum	RAL 49/66220 (C34 Bronze One Coat)
5	Patio Umbrella	5	Tuuci	OCEAN MASTER PARASOL				Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
6	Trash Receptacle	2	Benchmark Design Group	CFA-AL-2444	2'-0"	2'-0"	3'-11"	Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
7	Entrance Bench - 80"	1	Benchmark Design Group	Wendover Bench - 4131	6'-8"	2'-0"	3'-0"	Aluminum	#34 Fine Textured Bronze 449/95511
8	Bike Rack - Surface Mount	2	Belson Outdoors	ORN-2-SF-P	3'-4"	2 3/8"	2'-9"	Steel	Black Powder Coated

DISCLAIMER: ORDER POINT CANOPY EXTENTS SUBJECT TO CHANGE DUE TO PROJECT SITE CONDITIONS

CHICK-FIL-A
I-70 & SR 267 FSU
6102 Cambridge Way
Plainfield, IN 46168

FSR#05219
BUILDING TYPE / SIZE: P14 SE LRG
RELEASE: 22.08

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

PRELIMINARY

CONSULTANT PROJECT #	22-2319.00
PRINTED FOR	PRELIMINARY
DATE	12/15/22
DRAWN BY	CB
CHECKED BY	CG
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DESIGN OVERVIEW	
SHEET NUMBER	

X-900

12/15/2022 9:56:29 AM: \\Autodesk Docs\IN_05219_I70 & SR 267 (IN) FSU_2022.12_FSR05219_I70 & SR 267 (IN) FSU_ARC.M... XX-SE-05219-X-900-DESIGN OVERVIEW