



*A Crown Signature Community*

## **Design Guidelines**

Information subject to change. Please contact the Design Review Committee to verify the current requirements



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**NOTE:** Sections will be added and updated as needed. Crown Community Development reserves the right to revise and update the Design Guidelines at any time. Contact the Design Review Committee at 630-851-5490 to make sure that you have the most current version.

# Introduction

## **Prairie Ridge Community Overview**

Prairie Ridge is a family oriented residential community offering a wide selection of housing types and price categories ranging from townhomes to large custom homes.

Prairie Ridge is located in northwestern Kane County in the Village of Hampshire. Prairie Ridge straddles Harmony Road and is bordered by downtown Hampshire and Hampshire Creek to the south, Melms Road to the north and Big Timber Road to the northeast. For more Prairie Ridge information, visit [www.Crown-PrairieRidge.com](http://www.Crown-PrairieRidge.com)

## **The Master Developer**

The Master Developer of Prairie Ridge is Crown Community Development (Crown). Other Crown Community Development master planned communities include:

- Highland Woods (Elgin, Illinois)
- Stonebridge Country Club (Aurora, Illinois)
- Oakhurst and Oakhurst North (Aurora, Illinois)
- Villages at Meadow Lakes (Aurora, Illinois)
- Thornwood (South Elgin, Illinois)
- The Bayou Club (Largo, Florida)
- Seven Oaks (Tampa, Florida)
- The Reserve at The Golf Club Scottsdale (Scottsdale, Arizona)

## **Responsibilities of the Master Developer**

The Master Developer provides design and construction of the infrastructure network necessary to proceed with home construction. The infrastructure includes the following:

- Installation of public roadways with street lights
- Installation of domestic and fire water lines, sanitary sewers and common storm water management flood control systems located in public rights of way or common open spaces (individual water and sewer connections for each home are the responsibility of the home builder)
- Distribution system for telephone, electric and gas service (individual connections to these systems for each home are the responsibility of the home builder)
- Installation coordination of parkway street trees in front of each residence
- Development coordination of common spaces such as project entrances, landscape easements, recreational features and road rights of way (R.O.W.)
- Establishment of a Homeowners Association to own and provide for the maintenance of all common spaces (during the initial development, the Association is managed by the Master Developer)



## Introduction (Con't)

### **Design Guidelines Overview**

To ensure the integrity and visual variety of its neighborhoods, Crown has developed a framework of Design Guidelines through its Design Review Committee that all participating builders and homeowners in Prairie Ridge are required to follow. Far more than a simple monotony code, these guidelines serve as a framework for design concepts, and provide performance and quality standards that will guide the design and construction of the variety of housing types in Prairie Ridge.

All homes proposed for construction in Prairie Ridge are subject to the review and approval of the Prairie Ridge Design Review Committee (DRC). The committee will review and approve all aspects of new construction of the home including landscaping, patios and decks, fences and other exterior physical structures or items that may impact neighboring properties (i.e. accessory buildings, in-ground swimming pools, hot tubs, garden ponds, basketball standards, etc.).

**No new home may be started without the DRC's final approval of the building plans and specifications.** Please refer to the "Design Review Submittal Requirements" section on page 8 for a detailed list of required submittal materials.

After a homeowner takes possession of the home, any exterior building or lot alterations or additions (i.e. patios and decks, fences, accessory buildings, in-ground pools, hot tubs, basketball hoops, play structures, sheds and other exterior construction) or modifications to a plan previously approved by the DRC are subject to the review and approval of the Modifications Committee (MC).

### **Additional Standards**

This booklet has been prepared as a general guide for builders. Sections will be added and updated as needed.

The Master Developer reserves the right to establish more restrictive Design Guidelines for individual neighborhoods within Prairie Ridge. The Master Developer, in its sole discretion, also reserves the right to grant variances to and revise/update the design criteria as well as the performance and quality standards at any time in order to respond to future community needs, as well as to new product development and innovations within the home building industry.



## The Review Process

## The Review Process

The review process is carried out by the Design Review Committee (for all new construction) or the Modifications Committee (for changes and additions to existing structures).

### **Village of Hampshire Ordinances and Standards**

PLEASE NOTE: Design Review Committee (DRC) or Modifications Committee (MC) approval does NOT substitute for, or ensure, compliance with the requirements of all public agencies having jurisdiction over the project, including but not limited to, the Village of Hampshire. Each builder and homeowner must comply with all zoning regulations, agreements and ordinances established by the Village of Hampshire and applicable at the time of purchase and development to the Prairie Ridge community. Due to the ever-changing nature of local regulations, the Master Developer can't guarantee that the local regulations summarized herein are still current or applicable. Instead we encourage each builder to contact the public agencies directly for the most current information.

In cases where both Design Review Committee guidelines and Hampshire ordinances/standards apply, then the stricter of the two guidelines shall take precedence.

Any changes required to comply with applicable municipal codes that are discovered subsequent to the DRC's final approval must be resubmitted to the DRC for its approval. The committee may request a meeting to discuss modifications of the drawings or the specifications.

### **Design Review Committee**

The Design Review Committee (DRC) is responsible for reviewing and approving all **original construction** on any portion of the property. The builder is responsible for submitting all the required materials, product information, plans, renderings, color samples, etc. as outlined in this manual to the DRC, and adhering to the guidelines stated herein once approval has been granted by the DRC.

Once the homeowner takes possession of the home, any proposed exterior building or lot modifications, additions or alterations from that originally approved by the DRC must be submitted **by the homeowner** to the Modifications Committee (MC) for review and approval (see "Modifications Committee" section for more information).

The DRC shall consist of the Master Developer until all new homes within the project have been completed or the Master Developer elects to assign its DRC responsibilities to others.



## Review Process (Con't)

### **Design Review Committee Functions**

The following are functions of the Design Review Committee:

- The DRC will evaluate each of the housing units proposed for construction to assure conformity with the design criteria, performance and quality standards set forth in the Design Guidelines as well as compatibility with the adjoining sites and common spaces.
- If conflicts arise between the submitted application and the Design Guidelines, the DRC shall have the sole discretion to interpret the standards and render a decision.
- The DRC has the right to grant variances from the Design Guidelines in accordance with the Prairie Ridge of Hampshire Declaration of Covenants, Conditions and Restrictions (CCR's).
- The DRC has the right to monitor and oversee the design and construction process in order to ensure conformance with the approved plans and the standards set forth in the Design Guidelines.
- The DRC shall review and respond to each submittal within fifteen (15) calendar days. Unapproved submissions shall be returned to submitter for revision and resubmittal. All approvals will be in writing.

All architectural design controls for all new construction shall be enforced by the Master Developer until 100% of the residential units are constructed in the development.

## Review Process (Con't)

### **Design Review Committee Submittal Requirements**

**No new home construction may be started without the DRC's final approval of the building plans and specifications. This also includes all site clearing, excavation and foundation construction.** The committee reserves the right to take as many as 15 calendar days to approve or disapprove any submissions. Unapproved submissions shall be returned to the submitter for revision and re-submittal. All approvals shall be in writing.

A complete design submittal to the Design Review Committee shall include the following items:

- A scalable survey drawn by a licensed surveyor or engineer of the lot at a minimum scale of 1" (inch) = 20' (feet). Base data pertaining to lot lines, topography, easements, existing significant vegetation etc., including all existing trees over 4" in diameter, are to be shown on the survey.
- Site plan at a minimum scale of 1" = 20' showing property lines, building location and footprint, driveway and easements for lot utilities.
- Building floor plans, sections and all elevations at a scale not less than 1/8" = 1'.
- Exterior building materials, product information and color scheme including exterior brick, EFIS or siding type and color, roof type and color, trim color and accent colors.
- A landscape plan and cost estimate developed and implemented by a professional landscaper, showing existing and proposed grading contours and landscape concept, including any proposed decks, patios, garden ponds, in-ground pools, hot tubs, walkways, lighting, etc. Irrigation system plans are required in selected neighborhoods. The landscape plan must show all new planting and any existing trees. The quantities, sizes and installed unit prices of plant materials must be noted. Common names of all plant material must be indicated on the plans.
- All submissions must be accompanied by the appropriate page(s) of the "Design Review Committee Submittal Form" (refer to Exhibit A for a sample form).

### **Contact Information**

You may submit materials to the Design Review Committee via mail, email, fax, or by hand delivering them to the Crown office. Our contact information is as follows:

Mail or hand deliver to:

Prairie Ridge Design Review Committee  
1751A West Diehl Road  
Naperville, Illinois 60563

Fax:

312-395-7503

Phone:

630-851-5490

Email:

kspiller@crownc-hicago.com

## Review Process (Con't)

### **Modifications Committee**

The Modifications Committee (MC) does **not** review new construction of homes by builders. Once the homeowner takes possession of the home, any proposed exterior building or lot modifications, additions or alterations from the plans originally approved by the DRC, must be submitted by the homeowner (with the appropriate form and required information) to the MC for review and approval. Common examples of such items include (but are not limited to):

- Antennas and satellite dishes
- Room additions, sun rooms and screened porches
- Accessory buildings (storage sheds, greenhouses, etc.)
- Basketball standards
- Play equipment and play areas
- In-ground swimming pools
- Hot tubs
- Garden ponds
- Landscape

If the builder proposes to install any of these items during the new construction phase (prior to homeowner possession), then it is the builder's responsibility to submit the required materials as outlined in this manual to the DRC for review and approval.

The goal of the Modifications Committee is to require that all homeowner modifications, additions or alterations be made in accordance with the Design Guidelines and maintain, throughout the community, the high standards set by the Board of Directors and the DRC.



# PRAIRIE RIDGE

## Single Family Detached Design Guidelines

- General Standards for All Neighborhoods -

# Single Family Detached Standards: All Neighborhoods

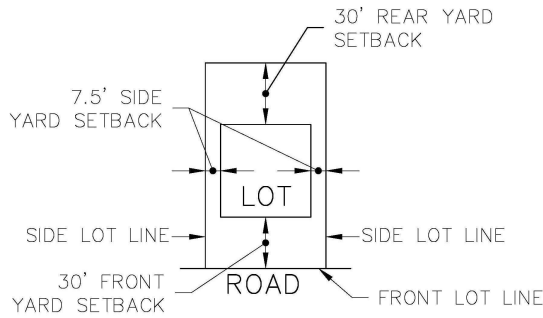
The standards found in the section pertain to all neighborhoods in Prairie Ridge, unless the guideline is also mentioned in the Specific Neighborhood section, in which case the Specific Neighborhood guideline takes precedence.

## Lot Layout and Setbacks

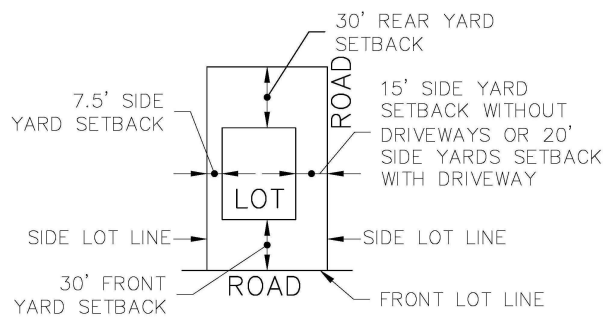
The minimum setbacks for all neighborhoods are as follows:

Front Yard	30.0'
Side Yard	7.5'
Side Yard on Corner *	15.0'
Rear Yard	30.0'

\* If driveway access is through a corner side yard, the minimum corner side yard setback from the lot line is 20' (see diagram below).



SETBACK RESTRICTION DETAIL  
 INTERIOR LOTS  
 (NO SCALE)



SETBACK RESTRICTION DETAIL  
 CORNER LOTS  
 (NO SCALE)

## Setback Encroachments

Chimneys, overhanging roof eaves, bay windows, marquees and awnings adjoining the principal building may encroach upon yard setbacks provided they do not exceed the greater of 2'.

### Front yard

In order to encourage more variation between homes and create a more visually interesting streetscape, roofed, front entrance porches (which are not walled, glassed or screened) may extend into the front yard setback area by a maximum of 5'.

### Rear yard

Open terraces and decks shall be allowed to encroach upon rear yard setbacks provided they are not constructed within 7.5' of any lot line.

### Special Conditions

If a purchaser acquires a vacant lot, no storage sheds, accessory buildings, recreational amenities or in-ground pools, can be installed on the acquired lot. Any improvements to vacant lots, other than the construction of a primary residence; will be reviewed on a case-by-case basis and must be approved in writing by the DRC prior to its installation.

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Site Standards**

The Master Developer has provided a master grading plan in addition to other planning and implementation guidelines and procedures, in an effort to minimize alteration to the land and impact to the ecosystems. Care shall be taken to preserve vegetation, topography and the natural grades and drainage systems. This philosophy must be followed at all levels of development.

All lot grading and top of foundation elevations must be planned and constructed in accordance with the Prairie Ridge Master Grading Plan and the Village of Hampshire's lot grading ordinances. Any deviations from the Master Grading Plans, for any lot, must be approved in writing, in advance by the Master Developer prior to DRC submission.

Builders must submit as-built final site grading plans consistent with the approved final subdivision engineering plans for all lots in Prairie Ridge to the Village of Hampshire for review prior to the installation of landscaping. These plans must be submitted to ensure that the individual lot grades for all completed homes are consistent with final subdivision engineering plans submitted by Crown. An additional copy of the plans must also be sent to Crown.

It is the builder's responsibility to ensure that final "as-built" grades for each home and lot match the subdivision engineering plans for that lot and also match the perimeter design grades for all adjacent lots.

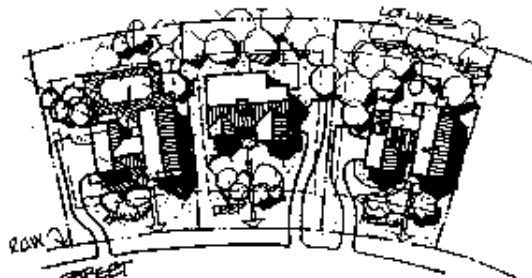
Prior to commencing excavation, a silt fence must be installed on any lot which abuts a public park, greenbelt, or any lake, wetland or conservation area, and must conform to the U.S. Environmental Protection Agency's National Pollutant Discharge Elimination System (NPDES) Regulations and Requirements.

## Single Family Detached Standards: All Neighborhoods (Con't)

### Monotony Controls

The monotony controls exist to prevent duplicate houses from being built in close proximity to each other. They are not designed to preclude all similarities between properties.

- Housing units shall be sited and oriented to best take advantage of views and open space.
- A view orientation facing other units shall be avoided wherever possible.
- Staggering building setbacks from road R.O.W.'s should be utilized to provide variety and eliminate a regimented and monotonous streetscape.
- Staggering portions of the facades of individual units is also encouraged to achieve a similar effect.



Stagger building setbacks and front facades to avoid a monotonous streetscape.

### Front Elevations and Color Schemes

In order to encourage diversity and add visual interest to the streetscape in each single family neighborhood, houses shall be required to have sufficient differences in color schemes and exterior materials and detailing to make them significantly different from each other. In addition, the following monotony codes apply:

- The same floor plans, with the same elevation, may be built provided there are at least two houses between them (if on the same side of the street). If across the street, the elevation must be two homes over (on either side).
- The same floor plans, with a different elevation, may be built provided there is one house between them (if on the same side of the street). If across the street, the elevation must be one home over (on either side).
- In cul-de-sac circles, all homes in the end of the cul-de-sac (the bulb) must be significantly different from each other.

Note: A change from siding to brick or the addition of a 3-car garage on any elevation is not a sufficient change to satisfy the Monotony Code.

Color scheme approvals shall be based on the home monotony code. Approved color variations shall be within a family or range of aesthetically complementary and compatible colors. The Design Review Committee shall also evaluate the proposed building trim colors and their relationship to the main field color.

## Single Family Detached Standards: All Neighborhoods (Con't)

### Minimum Acceptable Differences

A home shall not be considered substantially similar to another home if a preponderance of the front elevations of the two homes are of different color and the front elevations of the two homes differ as to at least two or more of the characteristics set forth below:

- Shape of the front elevation and roof silhouette including different setbacks, roof pitches, gables, hips or dormers;
- Relative type, location and size of windows, doors and related trim such as shutters, sidelights, pediments, sills and lintels and single, ganged or bay windows;
- Siding type (e.g. brick or stone veneer, lapped horizontal siding, half timber, board and batten, shakes, etc.) on the front elevation;
- Front porch size full across entire front elevation of house (garage not included). Half porch extended less than half the length of the porch elevation or none – no covered entry;
- Relative locations and dimensions of garage door(s), if included on the front elevation;
- Housing styles (e.g. ranch, bi-level, tri-level, 1-1/2, 2 and 3 story).

Applications of the above standards and determination of minimum acceptable differences for any proposed home plan shall be subject to the discretion of the Design Review Committee.



## Single Family Detached Standards: All Neighborhoods (Con't)

### **House Styles**

Housing types or styles should not be repetitive from lot to lot along a neighborhood street; rather, a variety of houses are encouraged. Specific monotony controls can be found on page 14. No building shall exceed a height of two and one half (2-1/2) stories or 35'. As measured from foundation nearest the front door to the highest peak.

### **Minimum Square Footage**

Housing units shall have the following minimum square footage requirements. Square footage is limited to heated and air-conditioned space, exclusive of porches, garages, decks and basements:

- One story                1,700 square feet
- Two story                2,000 square feet

### **Exterior Siding Materials**

Front elevations combining masonry (including brick, stone and EFIS) and lap cedar sided homes are encouraged. Homes may be sided entirely of cedar, EFIS, hardi-plank or heavy gauge vinyl or aluminum siding (.040 minimum gauge), provided that there is also **substantial** trim detailing.

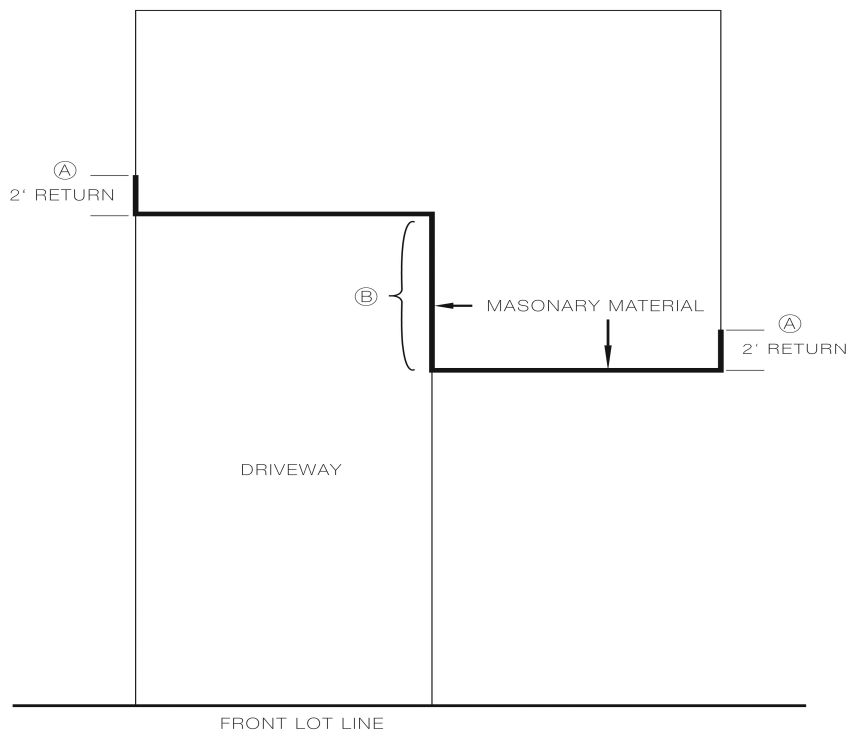
Unacceptable siding materials are plywood, OSB or T-111. All colors shall be earth tones and/or white.

## Single Family Detached Standards: All Neighborhoods (Con't)

### Masonry and Siding Materials

- Masonry material must return on the side elevations for a distance of not less than 2'; ending the veneer at an outside corner which exposes the edge of the facing material is not acceptable (refer to "A" in drawing below). On lots 80' or greater in Prairie Ridge.
- When the adjacent front elevation plane is also masonry, the masonry material on the inside corner must extend to that masonry plane (refer to "B" in drawing below).

For addition projects, exterior materials should be in keeping with the character of existing materials and should be matching when possible.



MASONRY EXHIBIT  
(TOP VIEW)

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Façade Design**

#### Overall

- Elevations should be varied/broken up to provide shadow relief.
- Use recessed areas, offsets, etc. to create interest.
- Consider offsets where roof lines change.

#### Main Entrances

- The main entrance should have a sense of distinction that is reflected in its design.
- Entrances to dwellings should be clearly defined and integrated with the building design.

#### Front Porches

- Front porches are encouraged throughout Prairie Ridge to create architectural depth and articulation while providing opportunities for resident interaction in front yards.
- **All front porches must be a minimum of 4' in depth.**

#### Window and Doors

- The use of recessed windows and the expression of columns and beams that create shadow and texture are encouraged to establish a sense of residential/pedestrian scale.
- All doors and windows on all four elevations must have a minimum of 4" to 6" wide trim or other decorative detailing surrounding each opening.
- Window treatments shall be in keeping with the architectural style.
- Windows and doors should reflect restraint in the number of types, styles and sizes.
- Consistency of detailing on all elevations should be maintained.
- All openings should be consistently articulated on all elevations.
- Windows must be placed on all elevations and be properly balanced and proportioned.
- False windows may be substituted for this requirement in cases where internal architectural arrangements preclude the use of real windows.

### **Rear Façade Design**

The appearance of the rear and side façades of homes in Prairie Ridge is critical to the overall character of the community.

- Wall articulation, material variety, varying roof forms, door and window trim, decks and patios, one story elements, etc. are encouraged to enhance the appearance of neighborhoods from backyards, streets and open spaces.
- Flat, unarticulated, monotonous rear and side facades are prohibited when they are presented to public spaces and R.O.W.'s.

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Corner Lot Architecture**

The façade on corner lots should be consistent on both sides that front a street. Continuing “front façade” architectural elements on all elevations facing a street is required and will enhance the overall appearance of the community.

### **Roof Specifications**

- Most traditional roofing materials are permitted including 3 tab asphalt and fiberglass, as well as cedar shake and slate shingles.
- Roof colors may be identical to all adjacent homes.
- All roof colors must be in darker shades of browns, grays and blacks. Bright or light colors are not allowed. Bright or light shades of blue, red and green shingle roofs are specifically prohibited.
- Roof pitch must be a minimum of 6:12. The DRC will entertain lower roof pitches, provided that they are, in the sole opinion of the DRC, essential to maintain the design of the house.
- Skylights are not permitted on front roof elevations.
- Gable rakes, eaves and overhangs, designed to afford protection from the elements and provide shadow relief, are required and shall extend a minimum of 12”, not including gutters unless approved by DRC.
- Eave lines should align whenever possible.
- If overhanging eaves are appropriate for the architecture of the house, they must be correctly sealed to the house and consistent on all four elevations.

### **Metal fireboxes and metal flues are permitted in Prairie Ridge provided:**

- All flues, vents and any other projections shall be clustered when possible on the rear slope of the roof.
- Metal fireboxes, metal flues and direct vent fireplaces are permitted along the exterior walls of homes provided that the chase is finished with masonry or siding material that compliments the home. Please Note: color samples must be provided to the DRC with the elevation submission.
- The bottom of the chase must extend to within 8” of the finished grade.

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Garages**

- Garages may be front loaded, but side or carriage load garages are strongly encouraged.
- Every effort must be made to reduce the visual impact of the garage doors.
- Each house shall have as a minimum an attached 2 car garage connected to the street by an asphalt or better driveway.

### **Driveways**

- Driveways shall be of a hard surface such as asphalt or concrete.
- Driveways shall be installed within the first year of occupancy.
- Every driveway shall provide positive drainage away from the house and garage.
- No parking pads are allowed.
- The minimum driveway length allowed by the Village of Hampshire is 20'.
- The maximum width allowed is 24' at the curb line (this includes side-load garages).
- Driveways serving 3 car garages must taper to 21' maximum width at the public sidewalk with a reasonable flare at the curb.
- All side-load garages require driveways to be a minimum of 21' wide from the face of the garage to the side property line on the garage side.
- The driveway pavement must be a minimum of 1' from the side property line.

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Screen Planting Easements**

Easements provide landscape buffering for roadways and properties. No buildings, fences, driveways or permanent structures (including sunrooms, screened porches, attached gazebos and decks) shall be constructed within screen planting easements. Only approved landscaping modifications may be installed in screen planting easements.

### **Tree Preservation Program**

For specific lots located in the Fox Hedge and Edenfield neighborhoods of Prairie Ridge, Crown and its builders must adhere to the Village of Hampshire's Tree Conservation Plan as modified for the Prairie Ridge community. Refer to Exhibit B "Tree Preservation Guidelines for Fox Hedge and Edenfield Neighborhoods" for these specific guidelines.

For all other neighborhoods, the following applies:

No trees greater than 4" in diameter may be removed without the express written approval of the Design Review Committee. Locations, sizes, and species of all existing trees must be shown on lot surveys and building site plans submitted for design review.

### **Parkway Tree Installation and Removal**

All parkway trees in Prairie Ridge will be planted by the Master Developer. Trees will be installed in bulk plantings during the appropriate season, generally in the spring and fall. In most cases trees will be installed after houses have been constructed, although on certain key streets, to maximize community-wide aesthetics, trees may be installed before the homes are built.

The cost of each parkway tree will be billed to builders at the time of lot closing. The cost of trees planted on lots already closed to builders will be due at the closing of the new home and billed on Crown's paid assessment letter. The cost of each tree will be counted in the builder's landscaping requirement.

Once the builder has taken possession of the lot, the responsibility for the care (including watering) of any parkway trees on the builder's lot falls to the builder.

#### *Procedure for Removing a Parkway Tree*

Builders **MAY NOT** move or transplant any parkway trees and **must** call Crown Community Development's property management division at 630-851-5490 to order a replanting. Crown's cost for replanting the tree plus an additional \$50.00 for protective fencing will be charged back to the builder. A minimum of two weeks notice is required. Builders will be fined a substantial amount if someone other than Crown moves a parkway tree.

## Single Family Detached Standards: All Neighborhoods (Con't)

### Landscaping

**All proposed landscaping must be submitted to and approved by the DRC prior to installation.**

The builder is responsible for installing living plant material equal to the required amount as stated in the builder's lot purchase contract with Crown; the builder may not assign this responsibility to the homeowner. The landscaping budget is for living plant material only and shall not include mulch, timbers, pavers, river stone, fencing, retaining walls, etc.

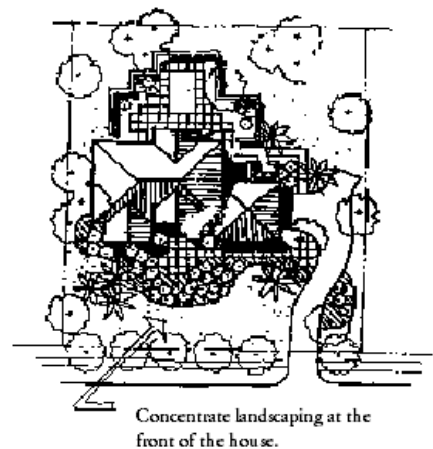
Any modifications by a homeowner to an approved builder plan must be submitted to the MC for review and approval prior to its implementation.

#### Requirements

- Landscaping shall be concentrated mainly at the front of the house (see drawing below).
- Landscaping plans must be 1.5% of the sale price of the home and include at a minimum at least 1 deciduous tree, 1 ornamental or flowering tree, no less than 6' in height, at installation.
- All front yards to the front building line shall be sodded, as well as the parkway between the curb and sidewalk on both sides of the driveway to the full width of the lot.
- Sod must account for no more than 50% of the total landscaping budget.
- Side and rear yards may be seeded. Seed must be applied at a minimum of 80 lbs. per acre.
- Placement of landscaping materials must not interfere with established drainage patterns between lots.
- Organic planting bed materials are preferred (i.e. bark, mulch and wood chips). If rock or gravel are to be used, a color sample of the rock material must be submitted prior to installation (pink/white or marble chips or other brightly colored stones or marble are not allowed).

#### **The following information must be included with each submittal:**

- A landscape plan and cost estimate developed by a professional landscaper, showing existing and proposed grading contours and landscape concept, including any proposed decks, patios, garden ponds, in-ground pools, hot tubs, walkways, lighting (see separate sections for additional requirements for these items), etc. Irrigation system plans are required in selected neighborhoods. The landscape plan must show all new planting and any existing trees. The quantities, sizes and installed unit prices of all plant materials must be noted. Common names of all plant material must be indicated on the plans.
- Design Review Committee Submittal Form (see Exhibit A).



## Single Family Detached Standards: All Neighborhoods (Con't)

### Decks and Patios

**All proposed deck and patio installations on new construction must be submitted (by the builder) to and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

#### Material Requirements

- Approved deck materials are cedar, wolmanized and ultra-violet resistant PVC and composite (polyethylene/wood fiber).
- Deck skirting must be of 1" thick cedar lattice, composite, ultra-violet resistant PVC lattice or solid 1" x 6" tongue and groove dimensional lumber.
- Any deck more than 18" above grade must have lattice screening, deck planking or preapproved landscaping. Decks with approved landscape screening must have weed containment and cannot be used for storage. All landscape material will be approved on a case-by-case basis and should include evergreens a minimum of 36" tall at the time of installation. If the deck is located above a walkout basement, screening is not required
- Patios must be of concrete, brick or paver materials.
- Enclosing decks or patios with privacy screens, which exceed the height of a standard deck rail (36" – 42" above the deck surface) is generally discouraged; as an alternative, the use of landscape plant material is strongly encouraged. At the discretion of the DRC, limited privacy screens exceeding the height of deck rails may be approved on a case-by-case basis. Screening shall generally be limited to partially shielding decks and patios from the view of the adjacent houses on either side of the property rather than fully surrounding a deck or patio. Privacy screening, when approved, shall be constructed of adequately framed, heavy-duty lattice material with a minimum nominal lattice thickness of 1". Screens shall be a maximum height of 8' above the deck or patio surface.

#### Color Requirements

- Wooden decks must be left natural or stained in clear or wood tone colors only; painted decks must match the color of the house's siding or be painted white.
- All wooden deck screening and privacy screens must be finished to match the deck.
- A color sample must be submitted for approval. Deck screening of PVC material should match or compliment the color of the deck.
- Patio concrete or brick material colors should compliment the house's siding color.



Decks more than 18" above grade must have lattice screening under the deck.

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## Single Family Detached Standards: All Neighborhoods (Con't)

### Positioning Requirements

- All decks/patios shall be located in the rear yard.
- No deck shall be constructed within 10" of a rear lot line.
- No deck/patio construction can extend into a screen planting easement or required side yard setback.

### **The following information must be included with each submittal:**

- A plat of survey drawn by a licensed surveyor or engineer with the house footprint indicating the exact location, size, and distance from side and rear property lines of the proposed deck/patio installation. Hand drawn sketches of lot boundaries are not acceptable.
- The complete dimensioned construction details of the deck/patio including: size, type and dimensions of lumber, manufacturer's cut sheets and other materials, finish, style, height from ground to baseboard and vertical elevation details of all railings, seats, privacy walls and stairs.
- **Deck requirements in Prairie Ridge may vary from those contained in Hampshire's deck regulations. In such cases, the more restrictive of the two documents shall take precedence. Please contact the Village of Hampshire for the most current set of regulations.**
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### Fencing

**All proposed fence installation on new construction must be submitted (by the builder) to and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

**Fence requirements in Prairie Ridge may vary from those contained in Hampshire's fence regulations. In such cases, the more restrictive of the two documents shall take precedence. Please contact the Village of Hampshire for the most current set of regulations.**

Fences adjacent to the common areas, conservation areas, backing to lakes and abutting the Prairie Ridge parks, school site, Harmony Road, Melms Road, Allen Road or Big Timber Road shall all have two styles of fencing. The two styles of approved fencing is intended to provide an attractive, uniform view adjacent to lakes, common areas and conservation areas, improving the overall aesthetics of the community (see requirements below).

Requirements for fences adjacent to common areas, conservation areas, backing to lakes and abutting the Prairie Ridge parks, school site, Harmony Road, Melms Road, Allen Road or Big Timber Road

- Black aluminum or powder coated wrought iron, smooth finished cedar is the only material allowed. Examples of materials not allowed include (but are not limited to) rounded, rough finished, stockade type pickets, wrought iron, wolmanized lumber, PVC and chain-link fences.
- The maximum height allowed is 4'6" (measured from ground to highest point of fence, not including posts).
- The minimum vertical board width is 4" milled lumber (actual measurement is approximately 3.5" to 3.75").
- No more than 2.5" of spacing is allowed between vertical boards.
- The approved fence style is spaced picket; the approved top style is arched top; the approved post top style is French Gothic.
- Approved finishes are stained cedar or clear.

On interior lots NOT adjacent to the above referenced areas, only the following type of fencing is approved:

Requirements for all other locations

- Smooth finished cedar, wrought iron/aluminum (for wrought iron style fencing only) and white, heavy-duty ultra violet resistant PVC are the only materials allowed. Examples of materials not allowed include (but are not limited to) rounded, rough finished, stockade type pickets, wolmanized lumber and chain-link fences.
- The maximum height allowed is 4'6" (measured from ground to highest point of fence, not including posts).

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## Single Family Detached Standards: All Neighborhoods (Con't)

- The minimum vertical board width is 4" milled lumber (actual measurement is approximately 3.5" to 3.75") or narrow wrought iron style picket.
- No more than 2.5" of spacing is allowed between vertical boards.
- Approved fence styles are spaced picket, board-on-board, solid board or traditional.
- Approved top styles are arched top, scalloped (concave), dog-eared, straight or French Gothic.
- Approved post styles are French Gothic, Gothic, traditional cap or acorn.
- Approved finishes are stained cedar or clear (wood fences), black only (wrought iron/aluminum) or white only (PVC).

### *Positioning Requirements (for all locations)*

- Fences are allowed only in the rear yard and from the rear corners of the house forward to the front corners of the house. Side yards from the rear corners of the house forward to the front corners of the house only may be fenced. Except for approved small decorative fences, the front yard areas forward of the front corners of the house may not be fenced.
- Fences cannot be placed on screen planting easements. They must be located on the lot side of screen planting easements. Fences may extend into utility easements at the owner's risk. Fences may not jog around utility boxes to fence them out of the property owner's yard.
- Fence locations on corner lots may be further restricted due to side yard visibility constraints, side yard set back restrictions, and the location of homes on adjoining property. Corner lots will be handled on a case-by-case basis. Specific information on corner lot setbacks may be requested prior to submittal of a plan.
- Fences must be placed so the outside face of the fence is inside the property line. All fencing must be installed with the horizontal railings on the interior, lot side of the fence.

### **The following information must be included with each submittal:**

- A plat of survey drawn by a licensed engineer or surveyor, showing a fully dimensioned house footprint and indicating the exact location of the proposed fence installation and any existing easements, drainage structures or drainage paths. Hand drawn sketches of lot boundaries are not acceptable.
- The complete details of the fence design including: height in all areas, type of material, width and spacing of vertical boards, style, gate placement and width, color of fence surfaces and a picture or hand drawn (to scale) representation of the fence. Photographs of comparable fences are helpful.
- If there are existing fences on any of the adjoining properties that the proposed fence will be attaching to or abutting, this must be indicated along with the height, style and color of these fences included. Whenever possible, we strongly encourage the installation of matching fences on adjoining lots. Photos of adjoining fences are not required as a part of the fence submittal package but are appreciated.
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### **In-Ground Swimming Pools**

**All in-ground swimming pools with accompanying poolside decks/patios, pool equipment and fencing must be submitted (by the builder) to and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

Above ground swimming pools are **not** allowed in Prairie Ridge.

#### Requirements

- The pool, pool deck/patio and pool fencing may not encroach into the minimum required side yard and rear yard setbacks or screen planting easements on the lot.
- All swimming pools must be fenced with wrought iron, masonry or EFIS to match the house. Swimming pool fencing may not exceed 4' in height.
- No freestanding mechanical equipment structures or cabanas will be allowed. All pool mechanical equipment structures or cabanas must be integrated into the primary house structure.
- All mechanical equipment must be totally screened in some manner from all sides.
- Landscape screening will be required if the pool is located in close proximity to adjacent properties or in view of the street.
- In addition to the above criteria, all in-ground pool installations must meet all design and permit requirements as established by applicable government agencies, including but not limited to, the state of Illinois, Kane County and Village of Hampshire.

#### **The following information must be included with each submittal:**

- A fully dimensioned and scalable plat of survey drawn by a licensed engineer or surveyor, indicating the exact location of the proposed in-ground swimming pool and all accompanying mechanical equipment, deck/patio and fencing. Hand drawn sketches of lot boundaries are not acceptable.
- Complete plans and specifications for the pool. A manufacturer's brochure with photos and specifications will be required.
- Location and screening plan for all mechanical equipment.
- Complete deck/pool construction plans for all accompanying poolside deck/patios.
- Complete construction details of all fencing and its proposed location.
- A landscaping plan indicating required landscape screening must also be submitted if the pool is located in close proximity to adjacent properties or in view of the street.
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Hot Tubs**

**All hot tubs with accompanying decks/patios must be submitted (by the builder) to and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

#### Requirements

- Hot tubs must be located in the rear yard area and be integrated into a deck or patio.
- Landscape or privacy wall screening will be required if the hot tub is located in close proximity to adjacent properties or is visible from the street.
- Privacy screens shall be the minimum size necessary to adequately screen the hot tub from the view of adjacent residential lots. Privacy screens shall be constructed of adequately framed, heavy-duty wood lattice material with a minimum nominal lattice thickness of 1". Screens shall be a maximum height of 8' above the deck or patio surface.
- Cedar lattice skirting (1" thick) under the deck will be required if any portion of the hot tub is visible below a deck floor.

#### **The following information must be included with each submittal:**

- A fully dimensioned and scalable plat of survey of the lot drawn by a licensed surveyor or engineer, indicating the exact location of the deck/patio and the placement of the hot tub on the deck/patio. Hand drawn sketches of lot boundaries are not acceptable.
- If the deck/patio on which the hot tub will be located is not already existing and approved, complete construction details of the deck/patio must be submitted.
- Complete plans and specifications for the hot tub. A manufacturer's brochure with photos and specifications will be required.
- The style of hot tub installation must be shown, either above the deck/patio floor level, partially above and partially below the floor level, or flush with flooring. The dimensions for the portion of the hot tub that will be above and/or below the flooring must be indicated.
- Plans for the required landscape or privacy wall screening must also be submitted if the hot tub is located in close proximity to adjacent properties or is visible from the street.
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Garden Ponds**

**All proposed garden ponds must be submitted (by the builder) to and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

Garden ponds are **not** allowed in town home areas.

Please note that all garden ponds must be well maintained in a fully operational condition and not be allowed to become stagnant or empty. If use is discontinued, the pond must be completely removed, the area refilled with dirt to the original grade and the area resodded.

### Requirements

- All garden ponds must be located in the rear yard area. They are not permitted in the front or side yard areas.
- All garden ponds must be a minimum of 5' from all property lines.
- No garden ponds, waterfalls, fountains, etc. may be located within building setbacks, utility and screen planting easements, or in common area berms.
- The maximum size of total surface area allowed is 100 square feet (exceptions may be considered if the rear yard is larger than average. Such exceptions shall be at the sole discretion of the DRC).
- The maximum depth allowed is 2'.

### **The following information must be included with each submittal:**

- The proposed pond must be shown on a fully dimensioned and scalable plot of survey drawn by a licensed surveyor or engineer, showing the relationship of the pond to all other improvements on the lot (i.e. decks, patios, fences) and building walls. Hand drawn sketches of lot boundaries are not acceptable.
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Room Additions, Sun Rooms and Screened Porches**

**All proposed room additions must be submitted (by the builder) to and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

Metal sunrooms are **not** allowed unless modified. They generally have metal exteriors and metal shed roofs with roof pitches that are lower than 6:12, both are which are unacceptable. However, such additions can be modified with gabled roofs with 6:12 pitches and shingles and siding to match the existing home. If these modifications are made, they may be approvable, but are subject to full review and modification of the DRC.

#### Setback Requirements

Room additions, sunrooms, screened porches and gazebos that attach to the existing structure must be treated as permanent construction and must meet all the setback requirements for permanent construction. Please refer to the "Lot Layout and Setbacks" section for setback requirements.

#### Roof Pitch Requirements

- The roof must be gabled or hipped with a roof pitch that matches the existing gables on the house.
- A minimum 6:12 roof pitch is required. In special cases where second story windows make a 6:12 pitch impossible, a waiver may be considered for a lower roof pitch (however, roof pitches of 4:12 will not be allowed due to their aesthetically unacceptable appearance and potential for problems with snow damage and poor drainage).
- Shed roof styles, although not prohibited, are discouraged because they are generally not consistent with the original architectural style of the house, are less attractive, low pitched and present a more "tacked on" appearance.

#### Exterior Material Requirements

Roofing materials, siding materials, eaves, soffits, gutters, doors, windows, etc. shall all **exactly** match the existing house in type, style and color.

- Example: If the house has 4" or 6" cedar lap siding, the addition should have the same. A different lap width on the addition from that on the existing house is not acceptable, even if it is the same color.
- Exception: Screened porches may be of natural finished cedar, but are subject to the review and approval of the DRC.

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## Single Family Detached Standards: All Neighborhoods (Con't)

### **The following information must be included with each submittal:**

- A plat of survey drawn by a licensed engineer or surveyor, showing a fully dimensioned house footprint and indicating the exact location of the proposed room addition, including the distance to all property lines. Hand drawn sketches of lot boundaries are not acceptable.
- One 4" x 6" photo showing the entire elevation of the home where the addition will be built.
- All exterior elevations of the room addition, including window, door and trim details.
- The exact location where the room addition is to be attached must be indicated on an exterior elevation blueprint of the existing home.
- All construction details on how the addition will be attached to the house.
- Pictures of similar room additions or manufacturer brochures are helpful.
- Design Review Committee Submittal Form (see Exhibit A).



## Single Family Detached Standards: All Neighborhoods (Con't)

### **Accessory Buildings**

**All proposed storage sheds, lockers, greenhouses, playhouses and other freestanding structures must be submitted (by the builder) to and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

#### Requirements for lapped wood, vinyl or aluminum sheds

- The maximum allowed number of sheds, greenhouses or freestanding playhouses or other freestanding structures of this type is one per lot.
- The maximum size limit is 10' in width and 12' in depth.
- Roof peaks may not exceed 12' in height.
- The accessory building must be located in the rear of the home to minimize impact on adjacent properties. It may not be located in the required side yard setback and must be a minimum of 5' in from the rear property line. Generally, it should be facing the rear of the home.
- The unit must be fully floored with wood, concrete or other solid flooring.
- Exterior materials of lapped wood siding, lapped cedar and vinyl or aluminum siding are the only materials allowed. Examples of materials not allowed include (but are not limited to) plywood panels, T-111 wood or metal-sided sheds of any size or style.
- Colors for siding and roofing materials must match the existing house as closely as possible.
- Landscaping of accessory buildings is required. The landscape should include evergreens a minimum of 36" tall at the time of installation with a minimum mature height of 6' tall. The quantity and placement of the evergreens must be adequate to soften the visual impact of the accessory building on all four sides (generally 3' to 4' plant spacing).

#### Requirements for Rubbermaid style, exterior storage lockers

- The number of storage lockers that can fit within the maximum size footprint described below will determine the maximum number of exterior storage lockers allowed per lot. The total combined size of the lockers cannot exceed the total maximum size allowed.
- The maximum size limit is 80" high, 72" wide and 54" deep. Lockers must fit within these maximum dimensions.
- All Rubbermaid style storage lockers must be placed as close as possible to the rear of the house and be as unobtrusive as possible. They may not be placed in side or front yard locations or more than 6' from the rear of the home. They must be a minimum of 7.5' from the side property line and not extend into any side yard area beyond the rear corner of the house.

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## Single Family Detached Standards: All Neighborhoods (Con't)

- Rubbermaid style lockers must be made of molded plastic type material and be in neutral colors (i.e. beige or grey) that will match or complement the rear siding of the home.
- Required landscape screening must include evergreens a minimum of 36" tall at the time of installation with a minimum mature height of the locker height. The quantity and placement of the evergreens must be adequate to soften the visual impact of the locker on all four sides (generally 3' to 4' plant spacing).

Note: The DRC may approve variations to the above specifications when, in the sole and exclusive discretion of the DRC, they are warranted by unique facts or circumstances.

The following information must be included with each submittal:

- Plat of survey drawn by a licensed engineer or surveyor, indicating the location of the house on the lot as well as the location of the proposed accessory building in relationship to the existing house and all adjacent property lines. Must be drawn to scale and be fully dimensioned. Hand drawn sketches of lot boundaries are not acceptable.
- A color photo, brochure or scaled drawing showing what the new facility will look like.
- A description of the exterior of the building specifying roofing, siding and trim materials and colors.
- A landscaping plan indicating the specific evergreen plants proposed as the landscape screening, including height and spacing at installation, height at maturity, quantity and species. Also indicate plant location on the plat of survey.
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Basketball Standards**

**All proposed basketball standards must be submitted (by the builder) and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

The only type of basketball standard allowed is a permanently installed type that must meet the following requirements:

#### Material Requirements

- Backboards must be made of clear acrylic in a rectangular or fan shape.
- Backboards may not contain team or advertising logos, bright colors or any type of advertising, other than the manufacturer's company identification logo.
- Only black metal poles are allowed.

**Note:** Clear backboards and black poles tend to blend into their surroundings and are less noticeable, providing a neat, uniform appearance throughout the entire community.

#### Positioning Requirements

- For front loading garages, the pole must be located a minimum of 15' from the lot side of the public sidewalk and along the outside edge of the driveway.
- For side loading garages, the pole must be located a minimum of 10' from the side property line along the outside edge of the driveway.
- The backboard also may be installed directly on the face of the garage above the garage door.
- Rear yard installations may be approved on a case-by-case basis. No other front yard and no side yard locations will be allowed.

#### **The following information must be included with each submittal:**

- A plat of survey drawn by a licensed engineer or surveyor must be submitted with a fully dimensioned house footprint, indicating the exact location of the proposed basketball standard on the lot. Hand drawn sketches of lot boundaries are not acceptable.
- Identify any nearby flowers or bushes on neighboring lots which could be impacted by the installation and identify how they will be protected.
- Complete details of the proposed basketball standard, including photographs or catalog cut sheets of the exact make and model.
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Play Equipment and Play Areas**

**All play equipment must be submitted must be submitted (by the builder) and approved by the DRC prior to installation.** If the homeowner has already taken possession of the home, then the homeowner is responsible for submitting the appropriate paperwork to the Modifications Committee (MC) for review and approval.

Play equipment other than basketball standards shall be allowed but are restricted to rear yards. Freestanding playhouses are allowed but must meet the requirements for accessory buildings concerning location, exterior finishes and landscape screening (refer to the “Accessory Buildings” section for guidelines).

#### Requirements

- Swing sets, trampolines and all play equipment and play areas must be located in the rear yard area and are not allowed to encroach into the 7.5' required side yard setbacks on the lot. In addition, corner lots usually require a 20' to 25' setback from the side street.
- Play equipment and play areas, including sand boxes and large mulched areas around swing sets (whether edged with timber or not), must be a minimum of 5' from the rear property line and adhere to the required side yard setbacks for the lot as explained above.
- No swing sets, trampolines, other types of play equipment or play area can be installed within screen planting easements.
- Slides may not exit towards adjacent property but must exit into the center of the rear yard or towards the house.
- Swing sets and other play equipment must be wood (either cedar or wolmanized) or metal. Wooden units may be left natural, painted white or painted to match the exterior color of the house. Various styles with no more than one fort or playhouse per installation are allowed.
- All play equipment must be kept in good condition or be removed.
- Trampolines are subject to the same location requirements as swing sets. They may not be moved at will but must remain in the approved location. They must be stored out of sight during the winter months.

#### **The following information must be included with each submittal:**

- A fully dimensioned and scalable plat of survey, drawn by a licensed engineer or surveyor, indicating the exact location of the proposed play equipment and/or play area. Also indicate the exit direction of the slide. Hand drawn sketches of lot boundaries are not acceptable.
- Specifications for the play equipment and/or play area must be provided, including height, width and length. A color manufacturer's brochure (or a color photo) of the play equipment is required.
- Design Review Committee Submittal Form (see Exhibit A).

## Single Family Detached Standards: All Neighborhoods (Con't)

### **Antennas and Satellite Dishes**

It is suggested that, prior to installation, builders submit detailed plans to the DRC for all proposed satellite dish installations, properly scaled and dimensioned, for review and approval.

The DRC approval shall be consistent with FCC rules implementing Section 207 of the Telecommunications Act. The requirements noted below will guide the DRC and builder in planning and reviewing the siting of all satellite dish and microwave antenna installations, and are established to assure the safest possible location and operation of satellite dishes while preserving and enhancing reasonable and consistent aesthetic standards.

#### Siting Requirements

- No more than two dishes shall be installed on any lot.
- The maximum dish diameter shall be one meter or less with 18" being the preferred size.
- If a home is situated so that signals can't be received by a dish placed in one of the preferred locations described below, the DRC will consider suggestions for alternate locations.

#### Preferred Installation Locations

- Dishes should be installed only in rear or side yard areas.
- Dishes should not be located within a front yard on any lot, nor mounted to the front wall of any home, nor located within screen planting easements on any lot.
- Dishes should not be mounted on the roof or second story of any home.
- Dishes should be located so as not to be visible from the front street and, on corner lots, the side street.

#### Mounting Requirements

- On the rear wall of the house at or below the top line of the tallest first floor window but in no event more than 10' above grade, measured from the top of the dish (dishes over 18" must be no more than 4' above grade).
- On the side of the house, no more than 4' above grade as measured from the top of the dish to grade, no more than 2' from the house and screened from all adjacent properties and streets.
- On a deck or patio located in a rear or side yard not more than 4' above the deck or patio floor, but in no event more than 10' above grade (measured from the top of the dish).
- Dishes may be free standing in the rear yard, but should not be more than 4' above grade (measured from the top of the dish to grade).

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## Single Family Detached Standards: All Neighborhoods (Con't)

### Color Requirements

To minimize visibility, dishes should be a color that closely matches the field color of the residence located on the lot. Neutral colors such as grey, beige or ivory are preferred.

### **The following information must be included with each submittal:**

- If possible, please submit a fully dimensioned and drawn to scale layout of the proposed installation on a plat of survey of the lot (drawn by a licensed surveyor or engineer), indicating
  - 1) distances between the dish and all property lines; 2) if mounted on a deck or patio, dimensions of the deck or patio indicating the exact dish location, height above grade and distances to the edge of the deck or patio; 3) if freestanding, the location of the dish and screening, specifying the total height of the installation from grade to the top of the dish, and distance to the residence and any other structures located on the lot.
- Elevation drawings for the dish as it will be installed, showing the diameter and total maximum height of the proposed dish and its mounting standard on the home, on the deck or patio, or its distance above grade (if freestanding).
- If mounted on the rear or side of the residence, the elevation of residence should be shown, indicating the location of the dish installation, the height above grade and distances to the corners of the house.
- Design Review Committee Submittal Form (see Exhibit A).

NOTE: The foregoing requirements are established to assure the safest possible location and operation of satellite dishes within Prairie Ridge while preserving and enhancing reasonable and consistent aesthetic standards. To the extent that any of the foregoing requirements and guidelines are found to be invalid or unenforceable, pursuant to current or future Federal Communications Commission (FCC) laws or regulations, such finding shall not affect the other provisions hereof and these regulations and guidelines shall be construed as if such invalid or unenforceable provisions had never been contained herein.

## Single Family Detached Standards: All Neighborhoods (Con't)

### Lighting

- Decorative wrought iron coach lights are allowed (not to exceed 6' in height).
- Any exterior house lighting, for security or aesthetic purposes, shall be kept in close proximity of the house.
- Lighting fixtures shall be carefully oriented to avoid directing unwanted light towards adjacent property and the street.
- No colored light sources shall be allowed unless seasonal or temporary in nature.

### Solar Panels/Sky Lights

- Solar panels are not allowed on the front elevation or on any elevation facing a street.
- Solar panels shall be designed to be an integral part of the architecture.
- Skylights are not allowed on front elevations.

### Site Utilities

- Site utilities such as air conditioning units, pool equipment, gas meters, etc. should be located to minimize their visibility.
- No window air conditioning units are allowed.
- All sump discharge lines must be connected to the storm sewer system via buried pipe.

### Flags

- Flags may be displayed on poles mounted on the fronts of houses. Freestanding flagpoles are not allowed.
- Flags may not exceed 3'x 5' in size; a maximum of two flags is allowed per home.
- The display of the American Flag on a freestanding flagpole is permitted, provided that the freestanding pole is placed as to not hinder public safety. This item must be submitted for review and approval, prior to its installation.

### Political Signage

- A maximum of one sign will be allowed per lot.
- The sign must be placed in the front yard area on the lot side of the public sidewalk (not on the parkway strip), and must be parallel to the public sidewalk. The signs may NOT be displayed on berms (screen planting easements) or common areas.
- The maximum size allowed is 2' x 3'.
- The sign may be displayed no more than 30 days prior to an election and must be removed immediately on the day after the election.

### Garbage Containers

- Storage of garbage containers shall be kept in the garage or shall be screened from view from the street and from adjunct properties, and are only permitted in the front yard on collection day. Screening for garbage containers must be submitted and will be reviewed on a case-by-case basis. All enclosures must blend and/or compliment the overall architecture and/or yardscape of the home.

## Single Family Detached Standards: All Neighborhoods (Con't)

### Mailboxes

The Hampshire Post Office requires the use of multi unit mailboxes in Prairie Ridge. There will be multiple mailboxes to a single post. All boxes will match exactly in shape, style and color. Crown will install all mailboxes. A portion of the cost for the mailbox unit will be charged at each residential closing.

- 3"x 3" x .125 wall fluted extruded square aluminum post
- Heavy gauge galvanized steel mounting plate
- Gloss black powder coat finish
- T-1 Postmaster approved mailboxes
- 1 1/8" gold vinyl address numbers
- Installed in concrete base
- 1 year warranty



### Replacement Mailboxes

Homeowners are responsible for the maintenance and repair of their mailbox unit. The association must be contacted if there is any damage to the post or support arms and repair costs will be billed accordingly. Replacement of damaged mailboxes shall be the responsibility of the homeowner.

Replacement mailboxes shall meet the Postmaster General requirements. The DRC has pre-approved the Vintage Series Elite Black Mailbox by Gibraltar Industries, Product # E1100B00. All other brands must be submitted for review and acceptance prior to its installation. Mailboxes shall be black in color with a red flag to match existing mailboxes within the community.

- Dimensions shall be 8 ¾ H x 6 ¾ W x 19" D.
- Address numbers shall be 1 1/8" tall, gold in color and of a block letter font.





# PRAIRIE RIDGE

## Single Family Detached Design Guidelines

- Specific Neighborhood Requirements Parkside (O) Stonegate (N) & (S) -

## Single Family Detached Standards: **Parkside (O) & Stonegate (N) & (S)**

### **Corner Lot Architecture**

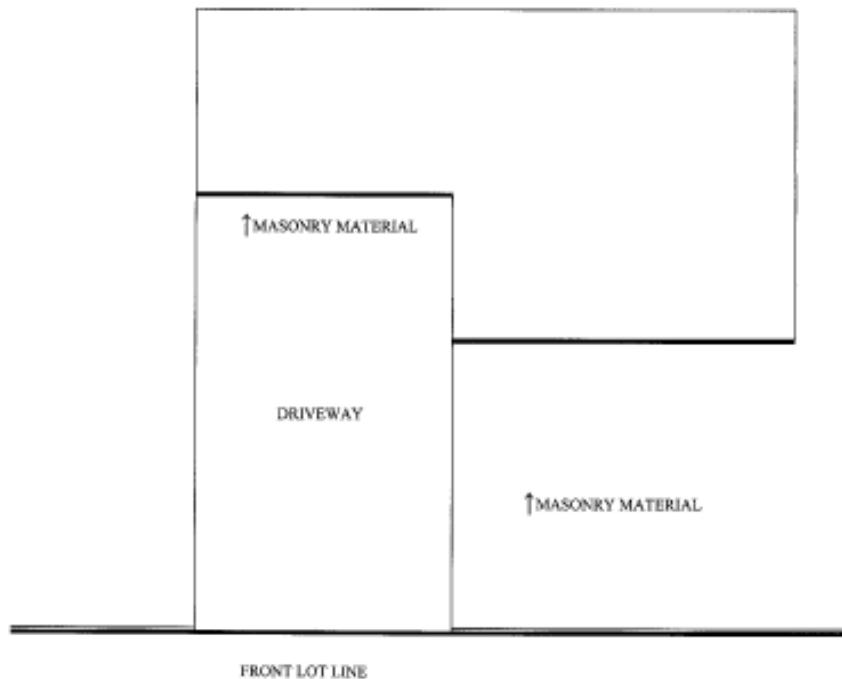
Double frontage architecture on corner lots and 4" to 6" window & door trim on the sides and rear elevations will not be required in Neighborhoods O, N & S.

### **Masonry and Siding Materials**

- 2' return for masonry material on the side elevations is not required. (refer to the drawing below).

For addition projects, exterior materials should be in keeping with the character of existing materials and should be matching when possible.

NO 2' BRICK RETURN REQUIRED



MASONRY EXHIBIT  
(TOP VIEW)



## Single Family Attached Design Guidelines

# Residential Architectural Criteria – Single Family Attached

Design criteria for single family attached homes shall be the same as for detached homes with the following exceptions and clarifications.

## **Townhome Styles**

- Buildings may contain 3, 4, 5, 6 or 7 townhome dwelling units. Buildings containing seven (7) units shall have no more than six (6) of the units aligned with parallel side walls. The front entrance elevation and the garage door(s) of at least one end unit in all buildings containing seven (7) units shall be rotated 90 degrees from the front entrances and garage elevations of the other six (6) units which shall be aligned in order to provide a more varied and visually interesting streetscape.
- The exteriors of all buildings containing attached single family units shall be well coordinated and designed with careful attention to architectural detail, but monotony code provisions requiring substantial variations in the exterior color and elevation design of adjacent single family units shall not apply to neighborhoods of attached, single family homes.
- Main roof lines of buildings containing attached single family homes shall be broken up with combinations of gables, dormers and/or steps in the ridge line to avoid long, uninterrupted ridge lines when viewed from both the front and rear of the buildings. Buildings containing single family attached units shall avoid flat, unarticulated facades, including the rear facades.
- Attached single family homes shall be 1,200 square feet minimum.

## **Setbacks and Setback Encroachments**

- Garage to garage setbacks shall be 60'.
- Building side to building side (building end to building end) setback shall be 20'.
- Front of building to front of building setback shall be 40'.
- The setback for internal right-of-way is 25'; the setback for exterior right-of-way or adjacent property is 40'.

## **Exterior Materials**

- The list of acceptable building materials covering 100% of each street facing wall surface and a minimum 50% of all other wall surfaces includes wood, stone, brick, stucco, EFIS and heavy gauge aluminum and vinyl siding products.
- Window and door openings on all side and rear elevations of single family attached units shall have a minimum 4" to 6" wide trim surrounding each opening.
- The minimum roof pitch shall be 5:12 rather than 7:12
- Roof shingles shall be 25 year warranty, laminated, architectural grade three tab shingles.

# EXHIBIT A

## Design Review Committee Submittal Form PRAIRIE RIDGE OF HAMPSHIRE HOMEOWNERS ASSOCIATION

**\*\*The top section of each page must be filled out for every submittal\*\***

Submitted By (Builder): \_\_\_\_\_

Lot #: \_\_\_\_\_ Neighborhood: \_\_\_\_\_

Spec. Home: \_\_\_\_\_ or Pre-Sold: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

Lot Address: \_\_\_\_\_

Estimated Price: \$ \_\_\_\_\_ or Actual Price: \$ \_\_\_\_\_

**All packages may be submitted singly or batched together but each package must include all items listed. Incomplete packages will be returned without review. All packages must be received before final Design Review approval can be granted.**

### PLANS PACKAGE:

\_\_\_\_\_ Site Plan (must be scaleable, fully dimensioned and include all front, rear and side yard set backs and the proposed driveway location)

\_\_\_\_\_ Elevations (all four sides) Name of Elevation: \_\_\_\_\_

\_\_\_\_\_ Floor Plans

\_\_\_\_\_ Square Footage: \_\_\_\_\_

### DECK, PATIO OR FENCE MODIFICATION PACKAGE:

\_\_\_\_\_ Site Plan (must be scaleable and fully dimensioned)

\_\_\_\_\_ Detailed Construction Drawings (decks: rail and stair elevations)  
(fences: vertical board width, spacing if pickets, height, gate locations)

\_\_\_\_\_ Style (fences: include a picture or drawing of fence and post style)

\_\_\_\_\_ Type of Material

\_\_\_\_\_ Deck/Patio/Fence: Finish/Color

### LANDSCAPING PACKAGE:

\_\_\_\_\_ Landscaping Plan (Must be scaleable)

\_\_\_\_\_ Plant/Cost Listing (Must include size, quantity, unit cost and square yards of sod/seed)

\_\_\_\_\_ Actual Total Purchase Price (Lot, Home and Extras): \$ \_\_\_\_\_

\_\_\_\_\_ COPY OF THE CERTIFIED FINAL SITE GRADING PLAN  
(Required prior to request for closing documents)

### Mail , Fax or Hand Deliver to:

Crown Community Development c/o Attn: Katrina Spiller  
1751A West Diehl Road • Naperville, Illinois 60563  
Fax: 312-395-7503

# EXHIBIT A

## Design Review Committee Submittal Form PRAIRIE RIDGE HOMEOWNERS ASSOCIATION

**\*\*The top section of this page must be filled out for every submittal\*\***

Submitted By (Builder): \_\_\_\_\_ Date Submitted: \_\_\_\_\_

Lot # \_\_\_\_\_ Lot Address: \_\_\_\_\_ Neighborhood: \_\_\_\_\_

The following Color Selection Package must include all applicable items listed when submitted. Incomplete packages will be returned without review. Color Selection Packages cannot be accepted prior to the Plans Package being submitted. You will be notified if color samples are required for the review.

### COLOR SELECTION PACKAGE

Item Being Submitted	Material	Manufacturer's Color Name	Color #	Manufacturer
<b>Home Exterior -</b> Brick				
Stone				
EFIS-Stucco, Dryvit				
Cedar, Hardi Board, Fiber Cement				
<b>Trim -</b> Cedar, Hardi Board, EFIS				
Fiber Cement Aluminum or Vinyl				
<b>Window Trim -</b> <b>Window Color -</b>				
<b>Roofing -</b> Architect or 3-Tab Cedar, Asphalt, Fiberglass				
<b>Front Door -</b> Steel, Wood, Fiberglass				
<b>Garage Door -</b> Steel, Wood, Fiberglass				
<b>Driveway -</b> Concrete, Pavers, Asphalt				
<b>Gutters and/or</b> <b>Down Spouts -</b>				
<b>Shutters -</b> Louvered or Panel				
<b>Other-</b>				

Comments:

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You may submit materials to the DRC via mail, fax, or by hand delivering them to the Crown office:

Mail or hand delivery: Crown Community Development c/o Attn: Katrina Spiller  
1751A West Diehl Road  
Naperville, Illinois 60563 Fax: 312-395-7503

## Tree Preservation Program for Fox Hedge and Edenfield Neighborhoods

For specific lots located in the Fox Hedge and Edenfield neighborhoods of Prairie Ridge, Crown and its builders must adhere to a modified version of the Village of Hampshire's Tree Conservation Plan. A summary of the Plan and guidelines is listed below.

- **No home shall be constructed or trees removed on such lots without prior written approval from Crown.**
- There shall be no clear-cutting or mass grading of any residential lots located in areas labeled as tree conservation areas on the landscaping plans.
- Street, sidewalk and utility locations in tree conservation areas have been selected, and will be engineered and constructed using techniques to minimize tree removal and root damage, including curbside carriage walks vs. regular sidewalks, sand vs. limestone trench back fill, root pruning of adjacent trees and other best management practices.
- Drainage swales and front yard/parkway utility locations shall be used whenever possible, rather than conventional, underground, rear yard storm sewers and rear yard utility lines in order to minimize tree removal and avoid disturbing trees in rear yard areas.
- **Prior to tree removal or house construction on a tree conservation lot, each home builder shall submit for review and approval by Crown and Crown's consulting arborist, the following (for each lot):**
  - Proposed home design
  - A complete tree survey and inventory (indicating the size, species, condition and location of all existing trees on the lot as well as existing topography)
  - Tree removal and conservation plans
  - Lot specific grading plan
- The home design plan shall incorporate maximum practical preservation and protection of existing healthy trees exceeding 6" in diameter as determined by Crown in consultation with our consulting arborist.
- Lot grading shall conform to the existing topography as much as possible to avoid excessive cutting or filling over root systems.
- Home and driveway placement shall be located so as to minimize tree removal.
- Front load garages are encouraged.
- Removal of less desirable species and foliage competing with the more desirable species is encouraged.
- Tree protection devices must be in place prior to home construction.
- Inspection of tree protection devices must be scheduled with Crown 48 hours PRIOR to construction of the home.



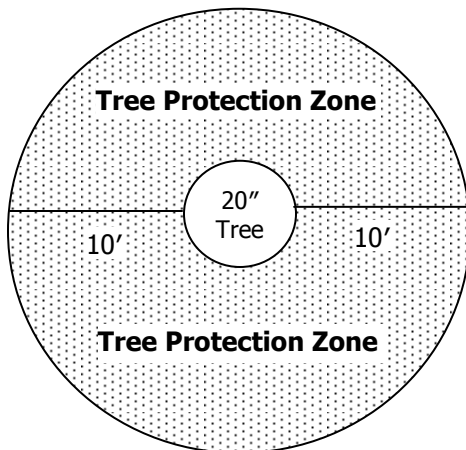
## EXHIBIT B

Page 2 of 2

### Tree Preservation Program for Fox Hedge and Edenfield Neighborhoods

**The following tree preservation guidelines must be followed at all times for trees scheduled for preservation:**

- Identify trees to be protected.
- Identify protection zones (see diagram below).
- Identify which trees are going to be impacted due to construction (keep grade changes in mind).
- Root prune and apply root dip if necessary.
- Mulch protected trees and keep proper amount of moisture on them.
- Install protective fencing around protection zones.
- When in doubt, call Crown's consulting arborist to assist (Paul Beebe Arbor Care Inc. at 815-469-6061).
- Keep all contractors out of the protection zone once it is established, if entry is necessary; make sure no damage is inflicted upon protected trees.
- After construction is complete, set up an aftercare program to protect your investment in the trees and to give them the optimal chance for survival.



**Tree Protection Zone**

The minimum area that any protection zone should be is at least 1 foot protection zone per DBH (diameter at breast height) of the tree (example shown left).

If there is work to be done in the protection zone, an arborist should be on hand to advise on the proper procedures for preserving the tree.