Applicable Building Codes Site Plan Interior Renovation (New Walls & Finishes, Upgrade Mechanical, BUILDING CODE: CHICAGO BUILDING CODE Electrical and Plumbing) & New Open Rear Porch PLUMBING CODE CHICAGO PLUMBING CODE HVAC CODE: CHICAGO MECHANICAL CODE ELECTRICAL CODE CHICAGO ELECTRICAL CODE ACCESSIBILITY CODE ILLINOIS ACCESSIBILITY CODE ZONING CODE: CITY OF CHICAGO ZONING ORDINANCE Serge Olivier **ENERGY CODE:** CHICAGO ENERGY CODE **Existing Building Code Information** OCCUPANCY CLASSIFICATION A-2 MULTI-DWELLING 822 North Lockwood Avenue CONSTRUCTION TYPE EXIST FLOOR AREA 1800 SQ. FT. 20-04-414-015 Chicago, Illinois 60651 **Building Requirements General Notes Abbreviations Electrical Symbols** ORDINANCE REQUIREMENT REMARKS ZONING REQUIREMENTS RECESSED CEILING LIGHT FIXTURE AIR CONDITIONING SUBMITTING THEIR PROPOSAL. EACH INDIVIDUAL CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, 1.01 ZONING DISTRICT CZO TITLE 17 ACOUSTICAL CEILING TILE LAMINATED I.02 LOT AREA 7505.4 SQ. F1 LAVATORY WALL MOUNTED LIGHT FIXTURE WORK. SHOULD ANY CONTRACTOR FIND DISCREPANCIES IN. OR OMISSION FROM THE DRAWINGS. OR SPECIFICATIONS. OR BE IN ABOVE FINISH FLOOR LOW POINT 03 MAX. FLOOR AREA RATIO 15010.8 DOUBT AS TO THEIR MEANING, NOTIFY THE ARCHITECT AT ONCE, TO OBTAIN CLARIFICATION LACK OF SUCH NOTIFICATION ACCESS PANEL SHALL BE CONSTRUED TO INDICATE NO DISCREPANCIES OR CONFLICTS EXIST. ADDITIONAL COMPENSATION WILL NOT BE \bigcirc 1.04 TOTAL BUILDING AREA 4044.45 SQ. F JUNCTION BOX ACOUS. ACOUSTICAL GRANTED AFTER THE AWARD OF CONTRACT FOR ANY WORK REQUESTED TO COMPLY WITH THESE REQUIREMENTS. THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEA 1.05 | BUILDING HGT.- NO. OF FLOOR 3 STORY MANUFACTURER ALUMINUM FLUORESCENT LIGHT FIXTURE 1.06 MINIMUM YARDS ALL CONTRACTORS TO PROVIDE ALL NECESSARY INSURANCE AND HOLD HARMLESS THE OWNER, ARCHITECT AND ANCHOR BOL MASONRY OPENING .07 GRADE ELEVATION (CCD) SECURITY LIGHT FIXTURE **⊢**∏SL ARCH. 1.08 OFF STREET LOADING THE INTENT OF THESE DRAWINGS IS TO INDICATE TO CONTRACTORS. SUBCONTRACTORS AND OWNER THE DESIGN OF 1.09 OFF STREET PARKING TELEPHONE RECEPTACLE THE FINISHED SPACE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTORS TO DETERMINE IN ACCORDANCE WITH ALL CODES MINIMUM LANDSCAPING **BEARING** AND OWNER CRITERIA, ALL METHODS FOR CONSTRUCTION CONNECTIONS OF MATERIALS AND ALL RELATED PROCEDURES. THE CARBON MONOXIDE DETECTOR MIRROR TOWNHOUSE ORDINANCE BENCH MARK CONTRACTORS ARE RESPONSIBLE FOR ALL MATTERS OF LIFE SAFETY RESULTING FROM ALL CONSTRUCTION AND INSTALLATION MISCELL ANEOUS CONNECTED TO 110V SYSTEM MOISTURE RESISTANT BUILDING REQUIREMENTS BLOCK SMOKE DETECTOR CONNECTED TO 2.01 OCCUPANCY CLASSIFICATION (3 (13-56) pg. 115 A-2 MULTI-DWELLING A-2 MULTI-DWELLING 4. THE GENERAL CONTRACTOR SHALL PAY ALL PERMIT FEES, PLAN REVIEW FEES, LICENSE FEES, INSPECTION AND TAXES 110V SYSTEM STORY 8,000 SF. .02 HGT. & AREA LIMITATIONS 5 (13-48) pg. 323 APPLICABLE TO THIS WORK. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT LOCAL MUNICIPAL CODE CTV a) EXCEPTIONS TO AREA LIMITATION 5 (13-48-090) pg. 32 AND ALL APPLICABLE GOVERNING AUTHORITIES. CABLE RECEPTACLE b) MIXED OCCUPANCY BUILDINGS 5 (13-48-100) pg. 326 ON CENTER DO NOT SCALE DRAWINGS, DIMENSIONS SHALL GOVERN. DIMENSIONS ARE FROM FINISHED FACE, UNLESS NOTED TYPES OF CONSTRUCTION 6 (13-60) pg. 329 \Rightarrow DUPLEX RECEPTACLE CENTER LINE OTHERWISE. THE CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE PROCEEDING WITH OPENING 3 (13-56-280) pg. 118 CENTER TO CENTER 04 MIXED OCCUPANCY SEPARATION SUBSEQUENT WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING CONTROL JOINT OUTSIDE DIAMETER \bigoplus_{i} DUPLEX RECEPTACLE (GFI) .05 REG. HRS. OF FIRE RESISTANCE 6 (13-60-100) pg. 330 DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO CLEAN OUT EXTERIOR BEARING WALLS TABLE 6 (13-60-100 THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WIT ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF SINGLE POLE SWITCH PAINTED FABRICATION. EXTERIOR NONBEARING WALLS TABLE 6 (13-60-100) THE CONTRACTOR HAS QUESTIONS REGARDING SYMBOLS & ABBREVIATIONS, OR THEIR EXACT MEANING, THE ARCHITECT SHALI TWO WAY SWITCH INTERIOR BEARING WALLS TABLE 6 (13-60-100) 1 HR PARTITION CONTRACTOR INTERIOR NONBEARING WALLS TABLE 6 (13-60-100) 1 HR P.E.B. PRE-ENGINEERED BLDG. Finishes, nd Plumbing) CONFERENCE PLAS. PLASTER THE GENERAL CONTRACTOR SHALL, BEFORE COMMENCING WORK, REVIEW ALL PLANS, SPECIFICATIONS TO MEET THE TABLE 6 (13-60-100) COLD WATER P. LAM. PLASTIC LAMINATE BASE BUILDING REQUIREMENTS ALONG WITH LOCAL CODES (DEMISING WALLS, FIREPROOFING, DUCTWORK, UTILITY HOOKUPS, CONTROL JOINT COLUMNS SUPPORTING ROOF ONL TABLE 6 (13-60-100) 1/2 HR 1 HR ELECTRICAL PANELS, ETC.). ANY VARIATIONS OF DISCREPANCIES SHALL BE REPORTED, WITH ALL DUE EXPEDIENCY, TO THE CONTINUOUS P.S.F. POUNDS PER SQUARE I TABLE 6 (13-60-100) 1 HR OWNER AND/OR ARCHITECT. THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR BRINKING FOUNTAIN PRESSURE TREATED **Drawing Index** BEAMS SUPPORTING ROOF ONL' TABLE 6 (13-60-100) 1/2 HR 1 HR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE ORIGINAL CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION DIAMETER PROPERTY LINE FLOOR CONSTRUCTION TABLE 6 (13-60-100) DRAWING TITLE ROOF CONSTRUCTION TABLE 6 (13-60-100) 1/2 HR 1 HR QUARRY TILE 8. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT AND/OR OWNER. ALL ITEMS INDICATED FOR REMOVAL SHALL BE THE PROPERTY OF THE OWNER. RADIUS AO SYMBOLS, ABBREVIATIONS, LEGENDS AND GENERAL NOTES 2.06 | ELEVATOR FRAMING 6 (13-60-130) pg. 331 ROOF DRAIN AOO GENERAL NOTES, CONSTRUCTION NOTES AND FLOOR PLAN NOTES 07 MEZZANINE FLOORS N/A 9. ALL WORK NOTED "BY OTHERS" OR "N.I.C." IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL 6 (13-60-160) pg. 332 REFLECTED **EMERGENCY** REQUIRED A1.0 EXISTING AND DEMO FLOOR PLANS, NOTES CONTRACTOR AND IS NOT TO BE A PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR IS TO COORDINATE .08 BASEMENT CONSTRUCTION 6 (13-60-170) pg. 332 NON-COMBUSTIBLE NON-COMBUSTIBLE A1.2 PROPOSED NEW FLOOR PLANS AND GENERAL NOTES WITH THE "OTHER" CONTRACTORS AS REQUIRED 2.09 DRIVEWAYS & LOADING SPACE 6 (13-60-210) pg. 332 N/A EXPANSION JOINT A3.0 KITCHEN, BATHROOM PLANS, INTERIOR ELEVATIONS 10 FIRE-RESISTIVE REQUIREMENTS 7 (15-8) pg. 335 10. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE PROJECT IN THE GIVEN TIME FRAME AGREED BY OWNER SECTION a) FIRE WALLS - CONSTRUCTION (15-8-010) pg. 335 A5.0 DOOR AND WINDOW TYPES, SCHEDULES, LEGENDS 11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF DEBRIS, OFF SITE, RESULTING FROM SERVICE SIN b) PARAPET N/A 7 (15-8-100) pg.335/336 STAINLESS STEEL A6.0 OPEN REAR PORCH PLANS AND ELEVATIONS ELECTRIC WATER HEATER St A6.1 PORCH DETAILS AND NOTES F0 7 (15-8-150) pg.337 SPECIFICATIONS d) ELEVATOR ENCLOSURE al, Elec Porch F 12. NO CUTTING OF STRUCTURAL MEMBERS SHALL BE PERMITTED PRIOR APPROVAL OF THE ARCHITECT. THE GENERAL M1.0 MECHANICAL NOTES FOUNDATION 7 (15-8-190) pg.338 e) ENCLOSURES OF HEATING ROOMS CONTRACTOR SHALL BE RESPONSIBLE FOR AND PROVIDE ALL NECESSARY AND REQUIRED TEMPORARY SHORING AND BRACING STRUCT. STRUCTURAL FLOOR DRAIN M1.2 MECHANICAL FLOOR PLANS N/A SUSP. SUSPENDED f) ENCLOSURES OF WELLS & CHUTES 7 (15-8-170) pg.338 FIRE EXTINGUISHER EP1.0 ELECTRICAL AND PLUMBING RISER DIAGRAMS FIRE EXTINGUISHER CAR 7 (15-8-240) pg.339 13. UNLESS OTHERWISE EXPRESSLY STATED, THE TERM "ALTERNATE" SHALL MEAN A SEPARATE PRICING BREAKDOWN, FURNISHED & INSTALLED CLASS 1 TELEPHONE 7 (15-8-380) pg.341 n) INTERIOR WALL & CLG. FINISHES FIXTURE PREPARED BY THE CONTRACTOR, FOR AN ITEM'S) THAT IS NOT INCLUDED IN THE BASE PRICE OR IS AN UPGRADE OF A **TEMPORARY** <u>B</u>) STORAGE ROOM OVER 100 SE 7 (15–8–240) (b) pg.349 FLUORESCENT BUILDING STANDARD. THIS ALTERNATIVE ITEM <u>WILL NOT BE INCLUDED</u> UNLESS PAID FOR BY THE OWNER, PER THEIR WRITTEN TYPICAL ration hanica Rear F FIRE TREATED UNDERWRITERS LABS FIRE-RESISTIVE MATERIAL & CONSTR. 7 (15-12) pg. 348 FTG. FOOTING U.N.O. UNLESS NOTED OTHERWISE 14. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ARCHITECTURAL AND ENGINEERING DRAWINGS TO ALL ACCEPTED ENGINEERING PRACTICE 7 (15–12–050) SUB-CONTRACTORS. GAUGE RECOGNIZED AGENCIES V.B. VAPOR BARRIER GALVANIZED Renova Mecha pen R V.T.R. VENT THRU ROOF FIRE PROTECTION EQUIPMENT 9 (15-16) PG. 361 15. SUBMIT DETAILED SHOP DRAWINGS FOR ALL STRUCTURAL FABRICATIONS AND ASSEMBLIES PROPRIETARY PRODUCTS. GENERAL CONTRACTOR Lo. Ilind V.C.T. VINYL COMPOSITE TILE a) SPRINKLER SYSTEMS 9 (15-16-010) pg. 362 GYPSUM N/A b) SPECIAL REQUIREMENT 9 (15-16-030) pg. 362 N/A WITH WITHOUT H.V.A.C. HEATING / VENTILATION **General Demolition Notes** WATER CLOSET Interior Re Upgrade I & New Op EXIT REQUIREMENTS WATER HEATER HOLLOW METAL WELDED WIRE FABRIC 3.01 TYPES OF EXITS 10 (13–160–040) pg. 388 | CONT. TO OUTSIDE | CONT. TO OUTSIDE HIGH POINT HOT WATER MISC. 2 MINIMUM NUMBER OF EXITS HORIZONTAL THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS, CODES HOSE BIB .03 TRAVEL DISTANCE TO EXITS AND ORDINANCES OF LOCAL. STATE AND FEDERAL AUTHORITIES. 10 (13-160-110) pg. 389 NUMBER INCLUDE a) INCREASES PERMITTED 10 (13-160-150) pg. 390 INSIDE DIAMETER 2. THE CONTRACTOR SHALL COORDINATE ALL WORK AS REQUIRED WITH THE BUILDING MANAGEMENT REGARDING THE USE OF Material Symbols b) DEAD END CORRIDOR 10 (13–160–160) pg. 390 N/A INSULATE TEMPORARY STORAGE, LOADING DOCKS, ELEVATORS, ETC. .04 CAPACITY OF EXITS 10 (13-160-210) pg. 390 3.05 | MINIMUM WIDTH OF EXIT DOOR 10 (13-160-220) pg. 391 GREATER THAN 32" MIN. CORR. WIDTH 36" 3. THE CONTRACTOR SHALL VISIT THE SITE TO EXAMINE THE EXISTING BUILDING, SURROUNDING CONDITIONS, ALL "RECORD" 3.06 SWING OF EXIT DOORS 10 (13-160-250) pg. 391 REMARKS DATE INSULATION DRAWINGS, AND WILL QUALIFY ON BID DOCUMENTS ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND EXISTING 3.07 HARDWARE 10 (13-160-260) pg. 392 OPERABLE W/OUT KEY **Energy Code Compliance Statement** 11.25.13 ISSUED FOR PERMIT 10 (13-160-270) pg. 393 3.08 | REVOLVING DOORS 4. DEMOLITION, REMOVAL, AND ALTERATION WORK SHALL BE PERFORMED WITH DUE CARE, INCLUDING SHORING, BRACING, ETC. 3.09 LANDING 10 (13-160-310) pg. 394 LESS THAN 12' PERFORM PATCHING, RESTORATION, AND NEW WORK AS REQUIRED. DO NOT CUT ANY STRUCTURAL MEMBERS. 3.10 HANDRAILS 10 (13-160-320) pg. 394 REQUIRED PROVIDED ENERGY CONSERVATION CODE 3.11 | CONSTRUCTION 10 (13-160-330) pg. 394 COMPLIANCE STATEMENT 5. THE CONTRACTOR SHALL EXERCISE CARE TO PREVENT ANY DAMAGE TO EXISTING CONDITIONS, UTILITIES, OR BUILDING 7 (15-8-140) pg. 337 .12 ENCLOSURES ELEMENTS. DAMAGED ITEMS SHALL BE REMOVED AND PROMPTLY RETURNED TO SERVICE WITH NEW MATERIAL TO MATCH I CERTIFY THAT I AM A REGISTERED ENERGY PROFESSIONAL (REP). I 3.13 | HEAD ROOM 10 (13–160–350) pg. 394 | LESS THAN 6'-8" | GREATER THAN 6'-8" ALSO CERTIFY THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND 6. MAINTAIN ALL EXISTING SERVICES IN USE AT ALL TIMES UNLESS WRITTEN PERMISSION IS RECEIVED FROM THE OWNER TO BELIEF THAT THE ATTACHED PLANS FOR: Architects GYPSUM BOARD TEMPORARILY INTERRUPT ANY SUCH SERVICE. PERMANENTLY RECONNECT ALL SERVICES DISRUPTED BY THE ALTERATION AND Reference Symbols DEMOLITION WORK WHETHER WITHIN OR OUTSIDE OF THE CONTRACT LIMIT LINES. 822 North Lockwood Ave Chicago, IL. 60651 7. REMOVE DEBRIS AS WORK PROGRESSES. MAINTAIN THE PREMISES AT ALL TIMES IN AN NEAT AND CLEAN CONDITION. ∠Detail no. / Plan no. FULLY COMPLY WITH THE REQUIREMENTS OF CHAPTER 18-13. ENERGY ELEVATION SYMBOL CONSERVATION, OF THE MUNICIPAL CODE OF CHICAGO, EXCEPT 18-13-303.1 8. REPAIR OR PATCH ALL EXISTING PARTITIONS AND CEILINGS WHERE REQUIRED FOR HOMOGENEOUS SURFACES. AS OF APRIL 22, 2009. 1▼−−− Detail no. 9. CONTRACTOR SHALL CAREFULLY REMOVE ALL WALL COVERING MATERIALS AND PREPARE REMAINING EXISTING PARTITIONS AND November 25, 2013 Detail no. WALL SURFACES TO RECEIVE FINISH AS INDICATED ON FINISH PLAN AND/OR SCHEDULE. ELEVATION SYMBOL ARCHITECTURE - CONSTRUCTION - DEVELOPMENT GRANULAR FILL DETAIL SYMBOL AFFIX ORIGINAL PROFESSIONAL 10.FOLLOWING DEMOLITION, ALL REMAINING FLOOR SURFACES ARE TO BE LEVELED USING A LATEX CEMENTITIOUS FLOOR PRODUCT (ARCH, S.E. OR P.E.) ILLINOIS LICENCE WET-INK SEAL HERE 1157 South Harvey Avenue 001-018812 TO PROVIDE FOR A UNIFORMLY GRADED SURFACE. Oak Park, Illinois 60304 11.PATCH AND REPAIR ALL FLOOR AND WALL PENETRATIONS ENCOUNTERED OR CAUSED AS A RESULT OF DEMOLITION REVISION SYMBOL Telephone: 312.914.2644 OPERATIONS WITH FIRESAFING AND/OR CEMENTITIOUS PATCH EQUAL TO THE FIRE RATING OF THE SURROUNDING SURFACE. 🚽 PLAN SYMBOI Enlarged Plan Area Fax: 866.738.9602 THIS IS TO CERTIFY THAT THESE PLANS AND SPECIFICATIONS TO THE BEST OF MY ROOM → ROOM NAME 12DO NOT CUT OR REMOVE ANY PORTION OF THE STRUCTURAL MEMBERS. WRITTEN PERMISSION FROM THE STRUCTURAL kasidesigns@netscape.net KNOWLEDGE COMPLY WITH THE STANDARD SPECIFICATION FOR FACILITIES FOR THE ENGINEER IS REQUIRED BEFORE ANY REMOVAL OF STRUCTURAL ELEMENTS. HANDI- CAPPED, AUTHORIZED AND ENFORCEABLE UNDER H.B. 2416, ILLINOIS 75TH 100 ROOM NUMBER GENERAL ASSEMBLY, AS PUBLISHED AND DISTRIBUTED BY THE OFFICE OF FINISH SYMBOL SUPERVISING ARCHITECT, STATE OF ILLINOIS. 8'-0" ← CEILING HEIGHT Gyp. Bd. ← CEILING FINISH KEYED NOTE SYMBOL THIS IS TO CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY MEMBRANE DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF ARE IN PARTITION TYPE ROOFING/ COMPLIANCE WITH ALL CODES AND BUILDING ORDINANCES OF THE CITY OF CHICAGO, WATERPROOFING DOOR TYPE SYMBOL STATE OF ILLINOIS. FACE OF COLUMN APPLICATION # 100514966 SHEET NO. 001-018812 AND/OR MASONRY & DESIGNATION TAG HECKED BY KEC LICENSED ARCHITECT IL. REG. NO. RAWN BY CENTER LINE OF COLUMN & DESIGNATION TAG PROJECT NO. 822.01 ELEVATION REFERENC EXPIRATION DATE NOVEMBER 30, 2013 11.19.13

GENERAL NOTES:

1. PROVIDE SOLID WOOD POST UNDER ALL BEAM BEARING POINTS,

MIN. SIZE EQUAL TO WIDTH OF BEAM.

PROVIDE 26 GA. G.I. FLASHING AS FOLLOWS: a. WINDOW AND DOOR DRIP CAPS.

b. AT ALL THROUGH WALL OPENINGS 3. ALL INTERIOR WALLS ARE 2 X 4 (3 1/2") UNLESS DIMENSIONED OR NOTED OTHERWISE

4. PROVIDE 2 X 6 WALL AT ALL PLUMBING LOCATIONS.

5. FIGURED DIMENSIONS SHALL GOVERN - CONSULT WITH ARCHITECT IN CASE OF DISCREPANCY.

6. ALL FLOOR JOISTS UNDER BATH AREAS AND WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED.

7. ALL FLOOR JOISTS ARE TO BE GRADE 1 SOUTHERN PINE 2 X 10'S

AT 16" O.C. WITH BRIDGING. 8. NO MORE THAN 4" PERMITTED BETWEEN RAILING BALUSTERS OR ABOVE GROUND, TYPE 'K' BELOW GROUND. OTHER CONSTRUCTION.

9. NO MORE THAN 12' PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6' FROM AN OPENING IN A WALL.

10. INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH

FLOOR, INCLUDING BASEMENT, WIRED IN SERIES FOR SIMULTANEOUS ACTUATION. CONNECT TO 110V. SYSTEM 11. INSTALL TYPE 'L' COPPER OR BETTER WATER DISTRIBUTION PIPE

12. ALL EXTERIOR DOORS TO HAVE DEAD BOLT WITH NO LESS THAN 1" THROW. SAID DOORS TO BE KEYLESS IN DIRECTION OF EGRESS. 13. LIGHTS IN CLOTHES CLOSETS TO BE INSTALLED IN COMPLIANCE WITH N.E.C. 1993 410-8.

14. PROVIDE METAL JOIST HANGERS @ STAIR MEMBERS. 15. EXPOSED KRAFT PAPER SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS.

15. ALL EXTERIOR DOORS SHALL BE IDENTICALLY KEYED. 16. WATER RESISTIVE DRYWALL SHALL BE INSTALLED AT ALL BATH AND SHOWER ROOMS AND ALL OTHER AREAS SUBJECTED TO MOISTURE AS NOTED.

17. 100 S.F. OF 5/8" FIRERATED DRYWALL SHALL BE INSTALLED CENTERED OVER FURNACE AND WATER HEATER.

18. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS I FLAME SPREAD RATING OF 0-25

19. ALL STAIRS SHALL HAVE SOLID TREADS, RISERS, AND PLATFORM. 20. ALL EXIT DOORS SHALL COMPLY WITH SECTION (13-16-200) 21. ALL FLOOR COVERINGS SHALL BE CLASS A CRITICAL RADIANT FLUX OF .E4 OR HIGHER.

21. CLASS 'C' ROOF 22. PROVIDE CONTINUOUS 2X4 WOOD FIRE STOPPING AT FLOOR, CEILING AND ROOF.

23. ALL PENETRATIONS OF MECHANICAL, ELECTRICAL, OR EQUIPMENT THROUGH FLOOR SLABS OR WALLS SHALL BE PACKED AND SEALED AROUND WITH NON-COMBUSTIBLE, UL TESTED MATERIAL EQUAL TO THE REQUIRED FIRE RATING OF THE SLAB OR WALL.

HEADER SCHEDULE:

HEADERS ARE REQUIRED FOR ALL OPENINGS GREATER THAN 20" (TWENTY INCHES)

HEADERS SHALL COMPLY WITH THE FOLLOWING STANDARDS: HEADER SIZE MAXIMUM ALLOWABLE ROUGH OPENING

 $2 - 2 \times 6$ 7'-0" 10'-0" 14'-0" $2 - 2 \times 8$ $2 - 2 \times 10$ $2 - 2 \times 12$ 16'-0" 17'-0" 20'-0" $3 - 2 \times 12$ $2 - 2 \times 14$

STEEL LINTEL SCHEDULE:

STEEL LINTELS ARE REQUIRED FOR ALL MASONRY OPENINGS AS FOLLOWS:

0 - 4' - 0" 1L 3 1/2" x 3 1/2" x 1/4" 6" BEARING 4'-0" - 6'-0" 1L 4" x 3 1/2" x 5/16" 7" BEARING 6'-0" - 8'-0" 1L 5" x 3 1/2" x 5/16" 8" BEARING 8'-0" AND UP SEE STRUCTURAL

ENERGY CODE: GEN. CONTRACTOR SHALL PROVIDE THE MIN. U— OR R—VALUES AS FOLLOWS. . GLAZING U-VALUE: 0.35 2. CEILING R-VALUE: R.36 3. EXTERIOR WALL R-VALUE: R.18

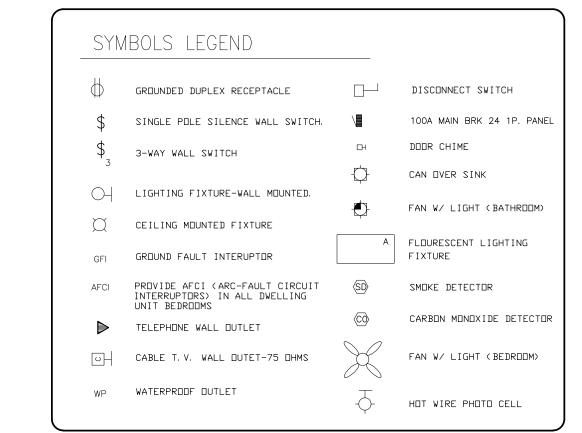
4. SLAB PERIMETER: R-9/DEPTH: 4 FEET UNLESS SHOWN ON DRAWINGS

LIVE LOAD: SUPERIMPOSED FLOOR LOADS: ROOF 25 PSF + DRIFTING EFFECTS LIVE LOADS: SLEEPING AREA 30 PSF DEAD LOADS: 40 PSF MAIN FLOOR SINGLE PLY MEMBRANE 2 PSF BALCONY 100 PSF INSULATION 2 PSF DEAD LOADS: DECK 3 PSF PARTITIONS STRUCTURE 4 PSF SHEATHING 3 PSF CEILING 8 PSF 3 PSF 3 PSF STRUCTURE CEILING HVAC 3 PSF HVAC MISC 3 PSF 3 PSF WIND LOADS CRITERIA: BASIC WIND SPEED 20 PSF UP TO 200' WALL LEGEND:

EXISTING EXTERIOR WALLS —EXISTING BRICK EXTERIOR W/ NEW 5/8" GYP. BD. ON NEW 2X2 WD. STUDS @ 16" O.C. W/BATT INSULATION

EXISTING CONSTRUCTION TO REMAIN

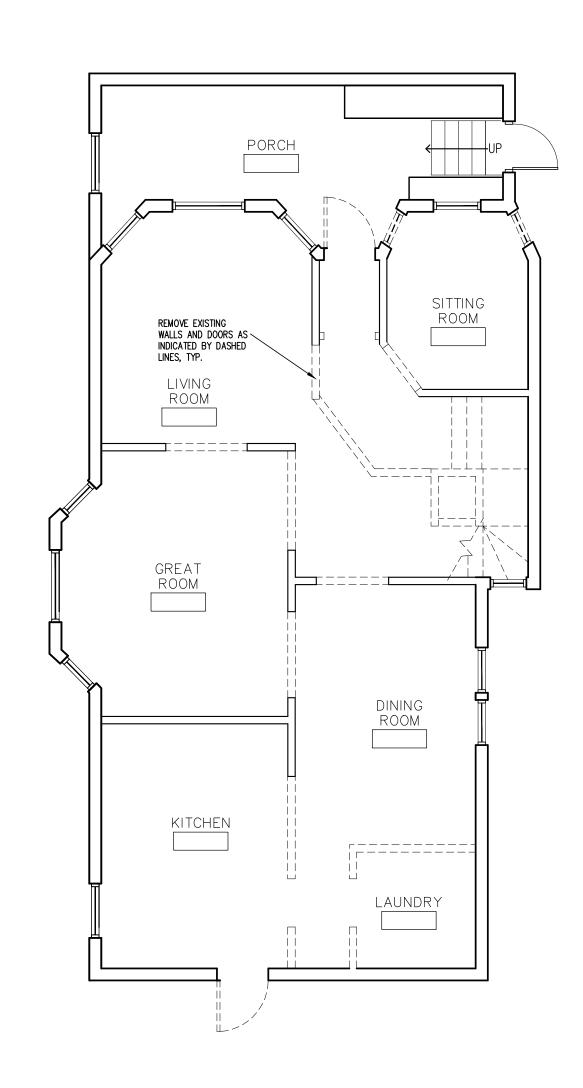
NEW INTERIOR DRYWALL CONSTRUCTION - 5/8" GYP. BD. EA. SIDES ON EXISTING 2X4 WD. STUDS @ 16" O.C. - UL DESIGN #U-305 (1 HR)

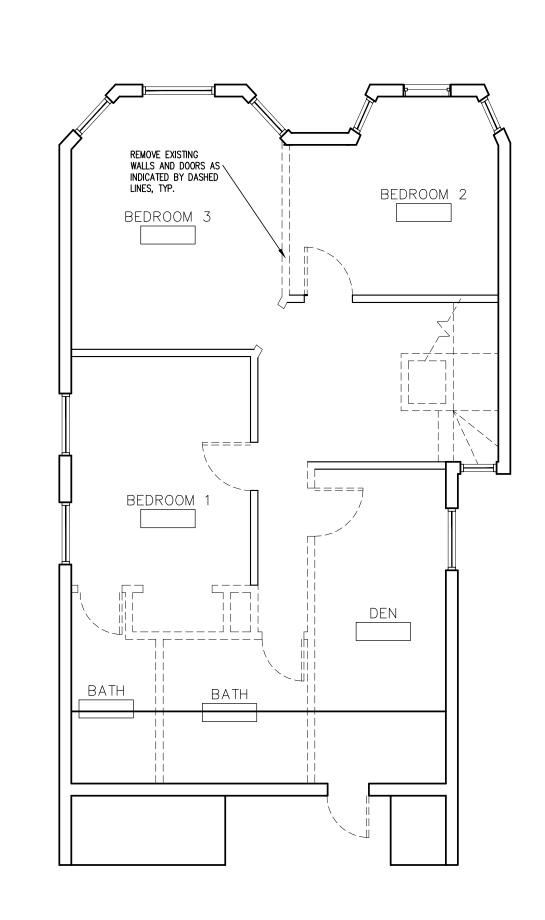


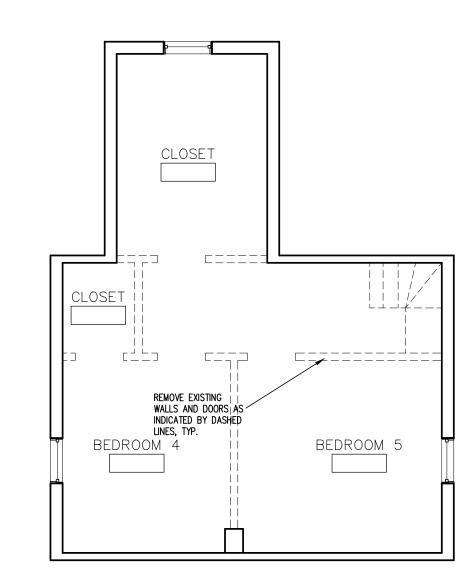
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BASEMENT DEMOLITION PLAN

SCALE: 3/16" = 1'-0"







THIRD FLOOR DEMOLITION PLAN

SCALE: 3/16" = 1'-0"

Interior Renovation (New Wa Upgrade Mechanical, Electric & New Open Rear Porch For: Serge Olivier 822 North Lockwood A Chicago, Illinois 60651

REV. NO.	DATE	REMARKS
1	11.25.13	ISSUED FOR PERMIT
Archi	tects	
	- VAVAV/	

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS,

DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY

ARCHITECT: AND NO PART THEREOF SHALL BE COPIED,

DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE

FABRICATION.

& Finishes, and Plumbing)

/alls rical

ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIA- TIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

DISCLOSED TO OTHERS OR USED IN THE CONNECTION

WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND

ARE AND SHALL REMAIN THE PROPERTY OF THE

1157 South Harvey Avenue Oak Park, Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602 kasidesigns@netscape.net

> EXISTING FLOOR PLANS, DEMOLITION FLOOR PLANS

APPLICATION # 100514966 CHECKED BY TKM 822.01 11.19.13

SECOND FLOOR DEMOLITION PLAN

FIRST FLOOR DEMOLITION PLAN SCALE: 3/16" = 1'-0"

SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. PROVIDE SOLID WOOD POST UNDER ALL BEAM BEARING POINTS,

MIN. SIZE EQUAL TO WIDTH OF BEAM.

PROVIDE 26 GA. G.I. FLASHING AS FOLLOWS:

a. WINDOW AND DOOR DRIP CAPS.

OR NOTED OTHERWISE

- b. AT ALL THROUGH WALL OPENINGS 3. ALL INTERIOR WALLS ARE 2 X 4 (3 1/2") UNLESS DIMENSIONED
- 4. PROVIDE 2 X 6 WALL AT ALL PLUMBING LOCATIONS.

9. NO MORE THAN 12' PERMITTED BETWEEN ELECTRICAL 5. FIGURED DIMENSIONS SHALL GOVERN - CONSULT WITH ARCHITECT IN CASE OF DISCREPANCY. FROM AN OPENING IN A WALL.

6. ALL FLOOR JOISTS UNDER BATH AREAS AND WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED. 7. ALL FLOOR JOISTS ARE TO BE GRADE 1 SOUTHERN PINE 2 X 10'S

AT 16" O.C. WITH BRIDGING.

OTHER CONSTRUCTION.

ACTUATION. CONNECT TO 110V. SYSTEM 11. INSTALL TYPE 'L' COPPER OR BETTER WATER DISTRIBUTION PIPE 8. NO MORE THAN 4" PERMITTED BETWEEN RAILING BALUSTERS OR ABOVE GROUND, TYPE 'K' BELOW GROUND.

RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6' EGRESS. 10. INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH WITH N.E.C. 1993 410-8. FLOOR, INCLUDING BASEMENT, WIRED IN SERIES FOR SIMULTANEOUS

12. ALL EXTERIOR DOORS TO HAVE DEAD BOLT WITH NO LESS THAN 1" THROW. SAID DOORS TO BE KEYLESS IN DIRECTION OF 13. LIGHTS IN CLOTHES CLOSETS TO BE INSTALLED IN COMPLIANCE 14. PROVIDE METAL JOIST HANGERS @ STAIR MEMBERS. 15. EXPOSED KRAFT PAPER SHALL HAVE A FLAME SPREAD RATING OF

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25 OR LESS.

17. 100 S.F. OF 5/8" FIRERATED DRYWALL SHALL BE INSTALLED CENTERED OVER FURNACE AND WATER HEATER.

18. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS I FLAME SPREAD RATING OF 0-25

19. ALL STAIRS SHALL HAVE SOLID TREADS, RISERS, AND PLATFORM. 20. ALL EXIT DOORS SHALL COMPLY WITH SECTION (13-16-200) 21. ALL FLOOR COVERINGS SHALL BE CLASS A CRITICAL RADIANT FLUX OF .E4 OR HIGHER.

21. CLASS 'C' ROOF 22. PROVIDE CONTINUOUS 2X4 WOOD FIRE STOPPING AT FLOOR, CEILING AND ROOF.

23. ALL PENETRATIONS OF MECHANICAL, ELECTRICAL, OR EQUIPMENT THROUGH FLOOR SLABS OR WALLS SHALL BE PACKED AND SEALED AROUND WITH NON-COMBUSTIBLE, UL TESTED MATERIAL EQUAL TO THE REQUIRED FIRE RATING OF THE SLAB OR WALL.

HEADER SCHEDULE:

HEADERS ARE REQUIRED FOR ALL OPENINGS GREATER THAN 20" (TWENTY INCHES)

HEADERS SHALL COMPLY WITH THE FOLLOWING STANDARDS: HEADER SIZE MAXIMUM ALLOWABLE ROUGH OPENING

 $2 - 2 \times 6$ 7'-0" 10'-0" 14'-0" 16'-0" 17'-0" 20'-0" $2 - 2 \times 8$ $2 - 2 \times 10$ $2 - 2 \times 12$ 3 - 2 x 12 2 - 2 x 14 3 - 2 x 14

STEEL LINTEL SCHEDULE:

STEEL LINTELS ARE REQUIRED FOR ALL MASONRY OPENINGS AS FOLLOWS:

0 - 4' - 0" 1L 3 1/2" x 3 1/2" x 1/4" 6" BEARING 4'-0" - 6'-0" 1L 4" x 3 1/2" x 5/16" 6'-0" - 8'-0" 1L 5" x 3 1/2" x 5/16" 8" BEARING 8'-0" AND UP SEE STRUCTURAL

ENERGY CODE: GEN. CONTRACTOR SHALL PROVIDE THE MIN. U— OR R—VALUES AS FOLLOWS. . GLAZING U-VALUE: 0.35

2. CEILING R-VALUE: R.36 3. EXTERIOR WALL R-VALUE: R.18 4. SLAB PERIMETER: R-9/DEPTH: 4 FEET UNLESS SHOWN ON DRAWINGS

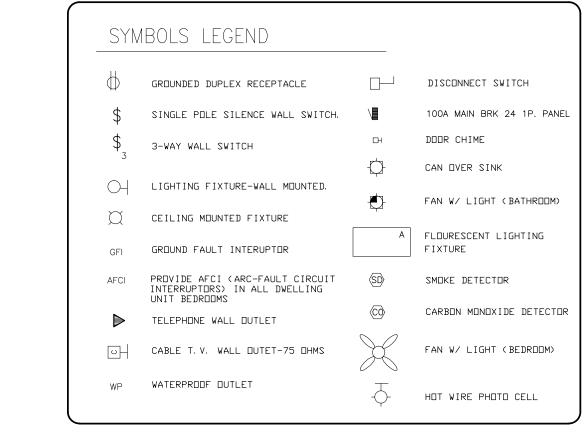
LIVE LOAD: ROOF DEAD LOADS: SINGLE PLY MEMBRANE INSULATION DECK STRUCTURE CEILING HVAC MISC	25 PSF + DRIFTING EFFECTS 2 PSF 2 PSF 3 PSF 4 PSF 3 PSF 3 PSF 3 PSF 3 PSF	SUPERIMPOSED FLOOR L LIVE LOADS: SLEEPING AREA MAIN FLOOR BALCONY DEAD LOADS: PARTITIONS SHEATHING STRUCTURE CEILING HVAC MISC WIND LOADS CRITERIA: BASIC WIND SPEED	30 PSF 40 PSF 100 PSF 10 PSF 3 PSF 8 PSF 3 PSF 3 PSF 3 PSF 3 PSF
		DASIC WIND SPEED	20 PSF UP TO 200'

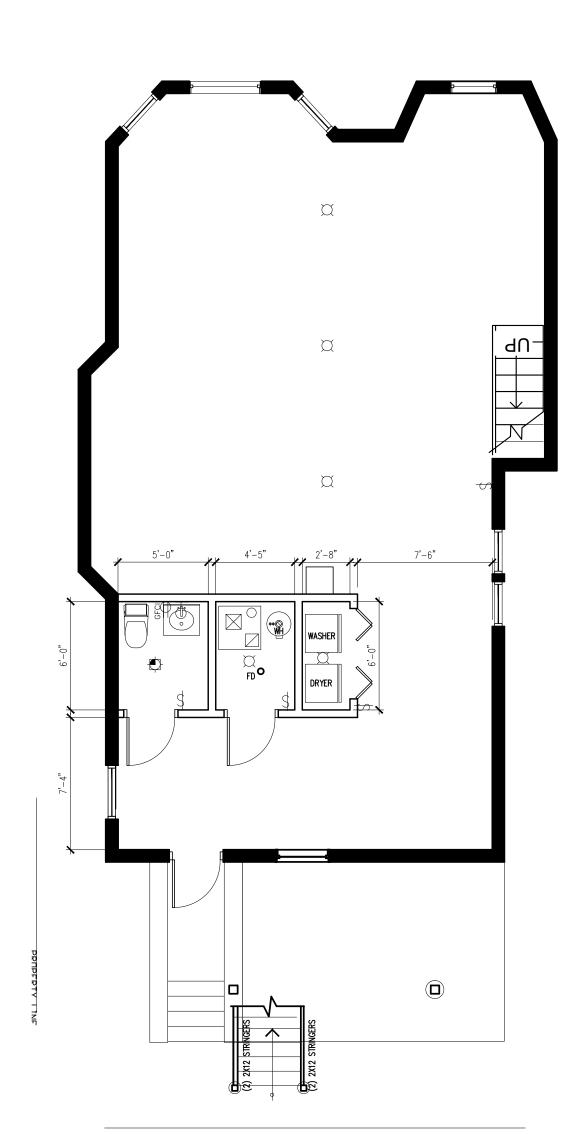


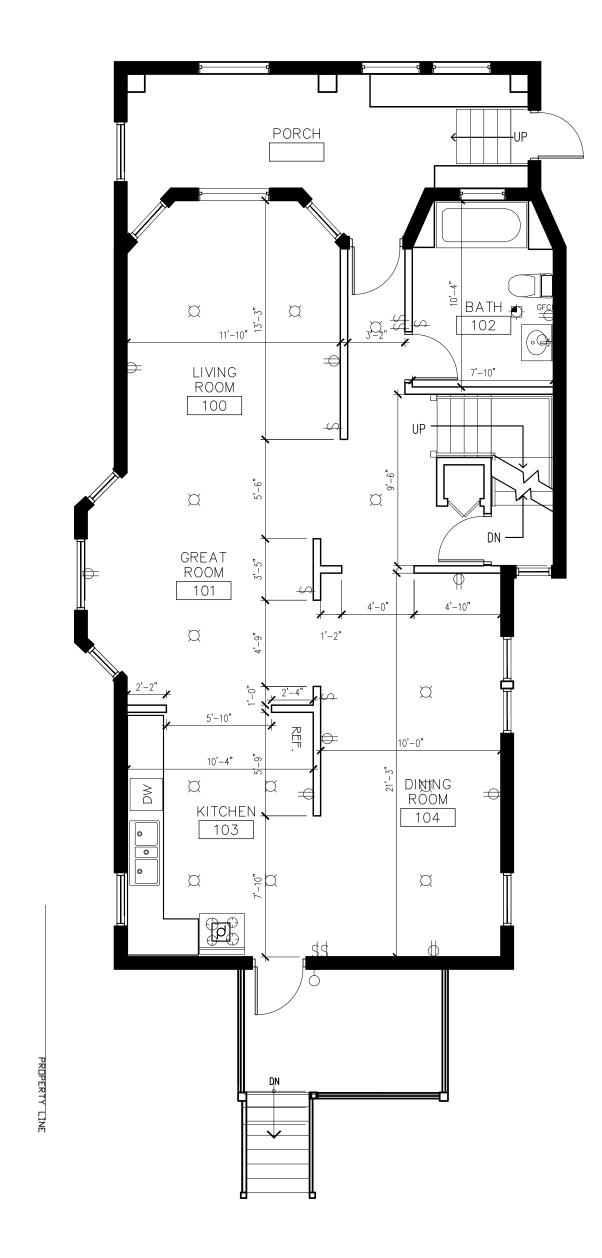
EXISTING EXTERIOR WALLS —EXISTING BRICK EXTERIOR W/ NEW 5/8" GYP. BD. ON NEW 2X2 WD. STUDS @ 16" O.C. W/BATT INSULATION

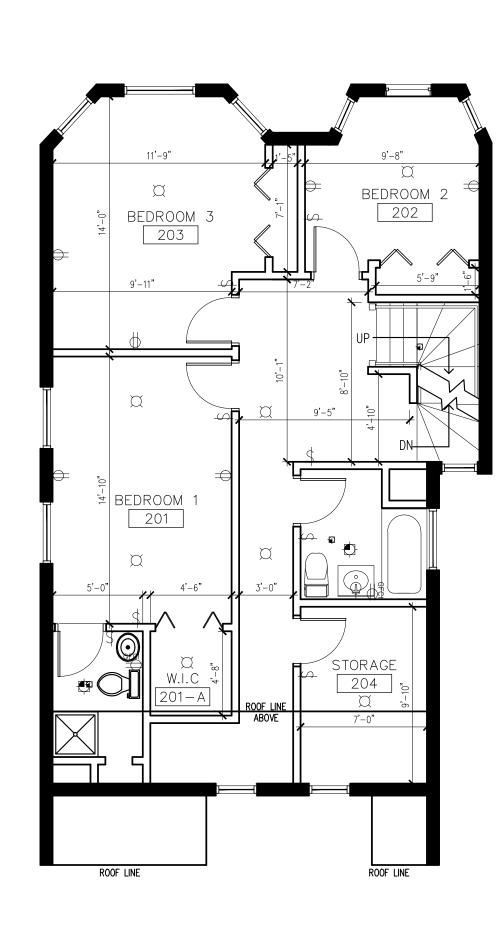
EXISTING CONSTRUCTION TO REMAIN

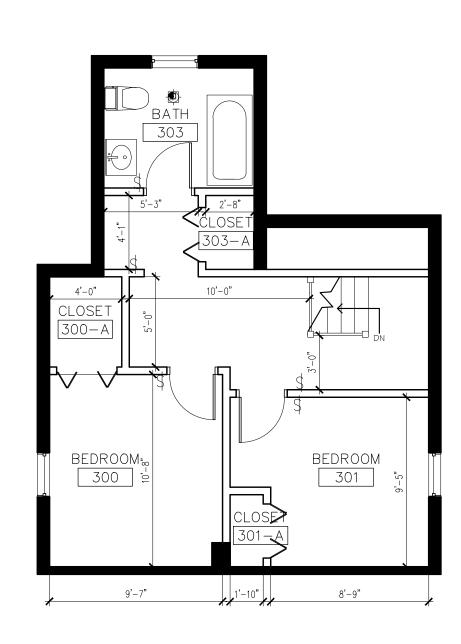
NEW INTERIOR DRYWALL CONSTRUCTION - 5/8" GYP. BD. EA. SIDES ON EXISTING 2X4 WD. STUDS @ 16" O.C. - UL DESIGN #U-305 (1 HR)











& Finishes, and Plumbing) /alls rical (New Wal, Electri sal, Electri Porch For Interior Renovation (Upgrade Mechanical & New Open Rear Poser Serge Oliv

FABRICATION.

822 North Lockwood A Chicago, Illinois 60651 11.25.13 ISSUED FOR PERMIT

Vie

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS,

DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY

ARCHITECT: AND NO PART THEREOF SHALL BE COPIED,

DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE

ARCHITECT, VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIA- TIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH

DISCLOSED TO OTHERS OR USED IN THE CONNECTION

WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND

ARE AND SHALL REMAIN THE PROPERTY OF THE

1157 South Harvey Avenue Oak Park, Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602 kasidesigns@netscape.net

> PROPOSED NEW FLOOR PLANS

APPLICATION # CHECKED BY TKM 822.01 11.19.13

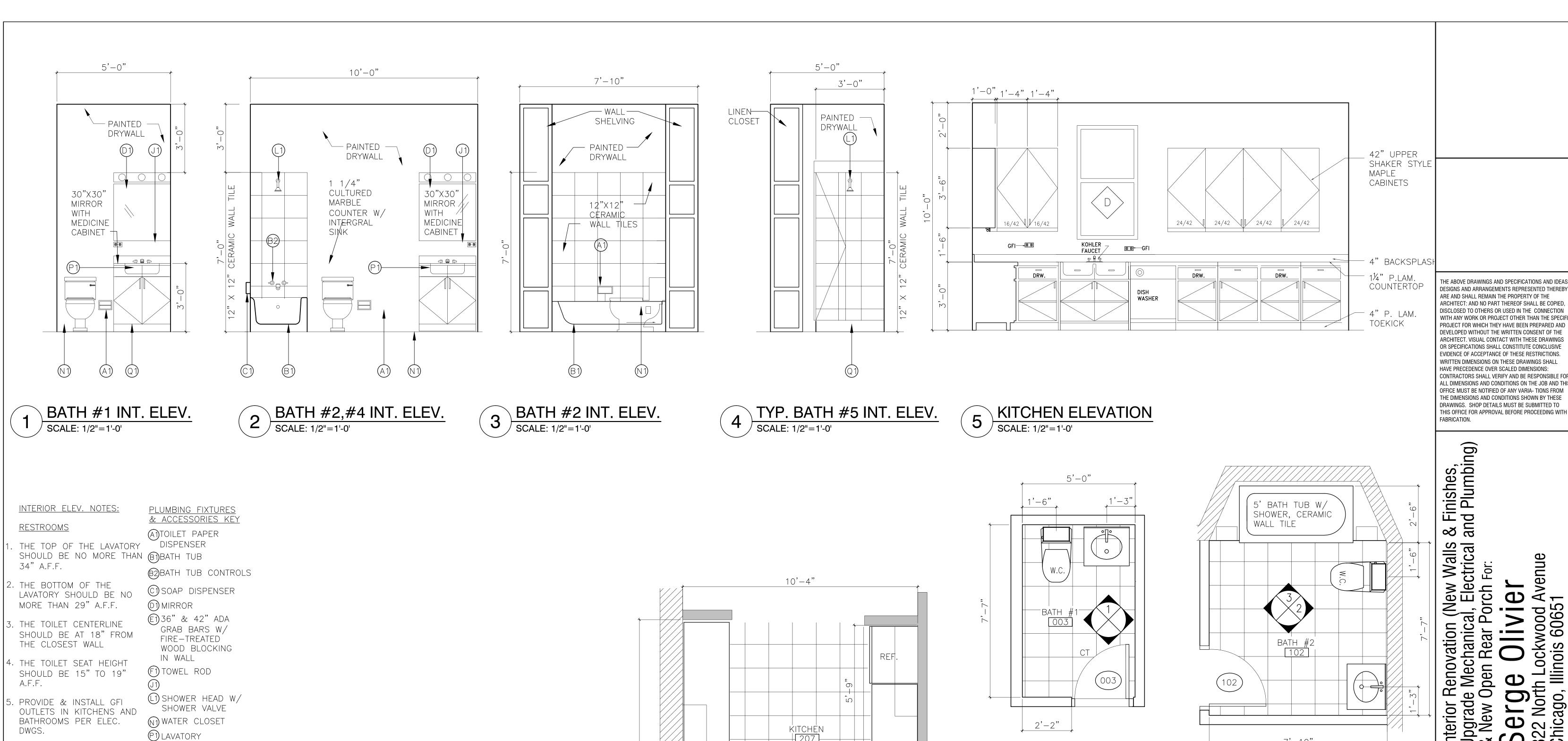
BASEMENT FLOOR PLAN SCALE: 3/16" = 1'-0"

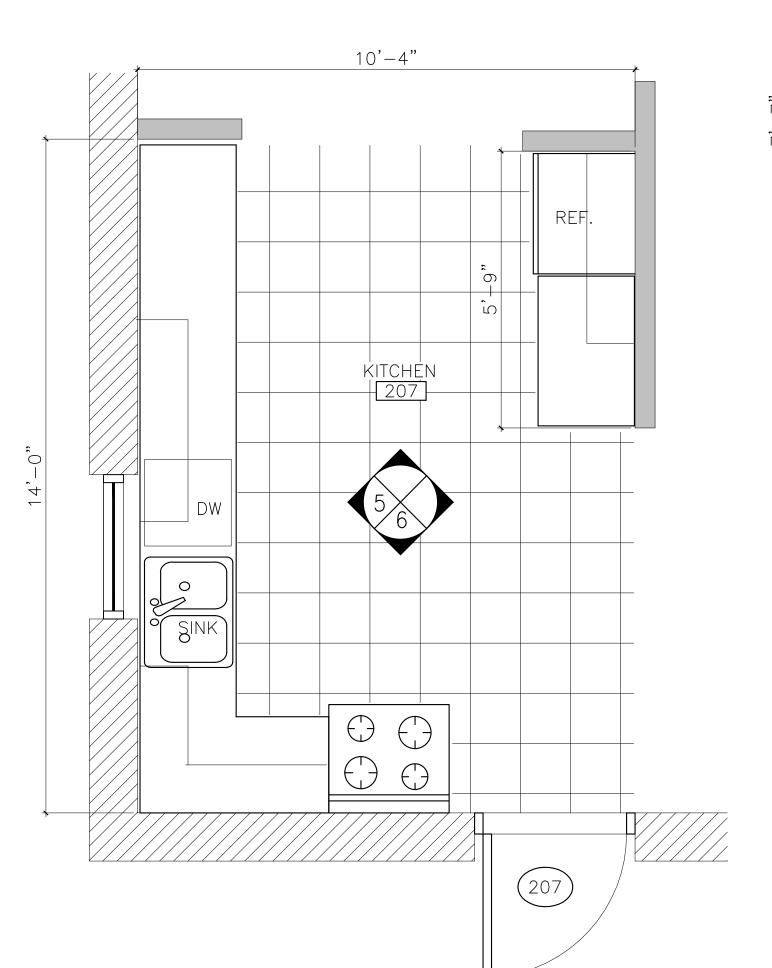
FIRST FLOOR PLAN SCALE: 3/16" = 1'-0"

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

THIRD FLOOR PLAN SCALE : 3/16" = 1'-0"





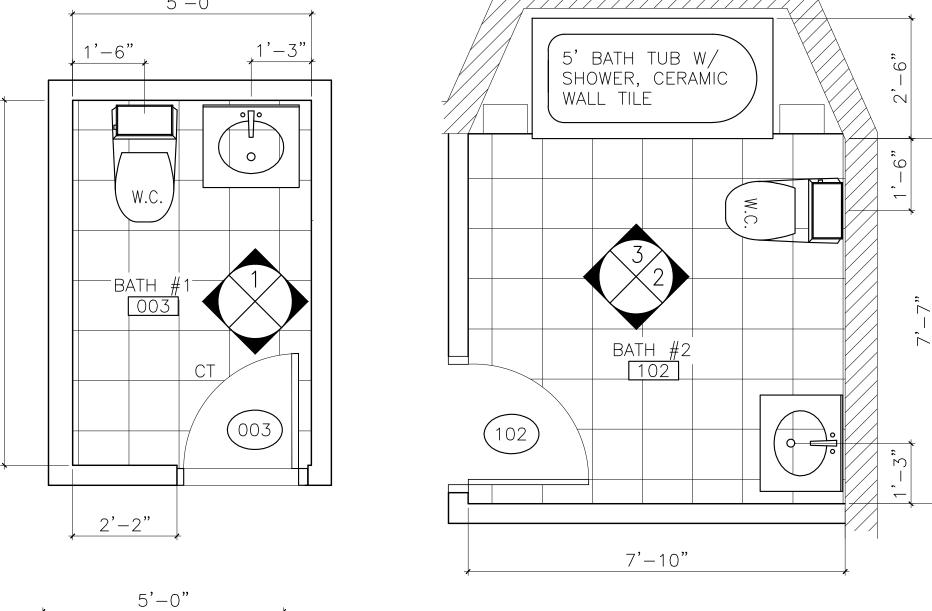
@PRE-FAB SHOWER

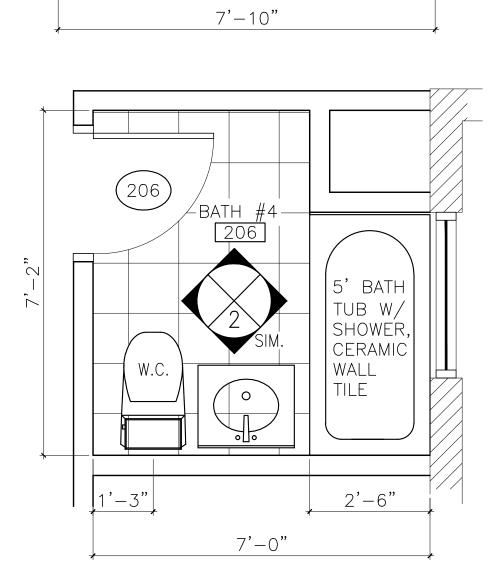
ENCLOSURE

6. PROVIDE & INSTALL ALL

AMERICAN STANDARD PLUMBING FIXTURES &

KOHLER BATH FAUCETS





Interior Renovation (New Walls & Upgrade Mechanical, Electrical a & New Open Rear Porch For:

Serge Oliver
822 North Lockwood Avenue Chicago, Illinois 60651 DATE 11.25.13 ISSUED FOR PERMIT Architects

KASIdesigns, P. C. ARCHITECTURE - CONSTRUCTION - DEVELOPMENT

1157 South Harvey Avenue Oak Park, Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602

kasidesigns@netscape.net

TYPICAL KITCHEN AND BATHROOM PLANS, ETAILS & ELEVATIONS

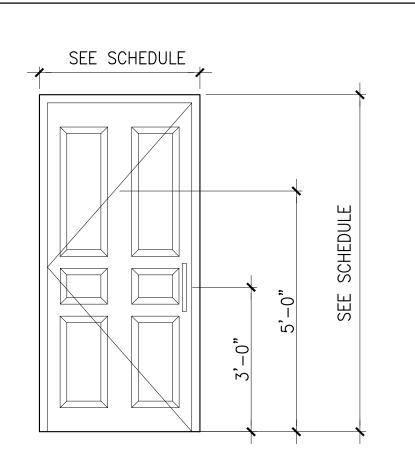
APPLICATION # 100514966 SHEET NO. CHECKED BY KEC DRAWN BY TKM A3.0 PROJECT NO. 822.01 11.19.13

KITCHEN FLOOR PLAN SCALE: 1/2"=1'-0'

TYP. BATHROOM FLOOR PLANS 9 SCALE: 1/2"=1'-0'

BATH #3 203

(203)



TEMPERED SAFETY

PEEP HOLES -

ONLY AT UNIT

ENTRY DOORS.

SEE DOOR

SCHEDULE.

GLAZED DOOR

HOLLOW CORE METAL DOOR

- DBL PANE W/ MIN. U-FACTOR

0.400, THRML

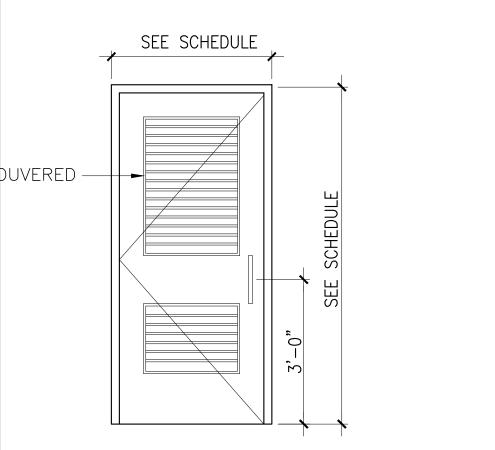
METAL FRAME

METAL FRAME

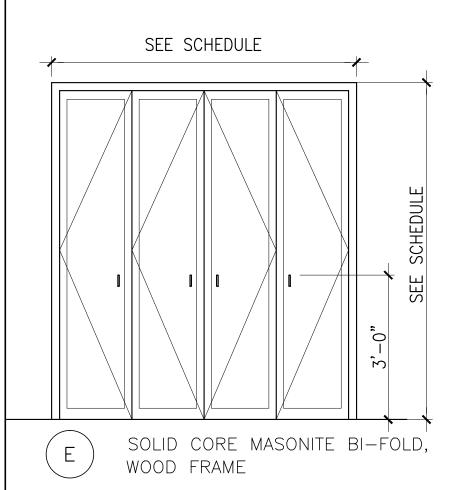
SEE SCHEDULE

GLASS

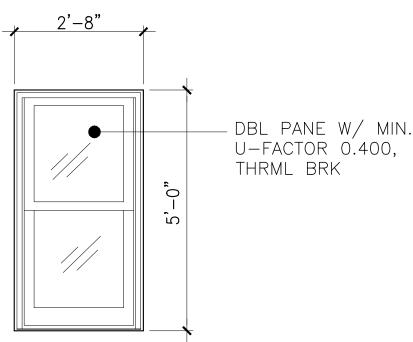
B SOLID CORE MASONITE DOOR WOOD FRAME

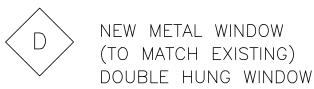


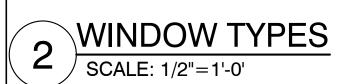
SOLID CORE MASONITE DOOR, WOOD FRAME



1 DOOR TYPES
SCALE: 1/2"=1'-0'







GENERAL NOTES - DOORS

- 1. CONTRACTOR SHALL VERIFY ALL EXISTING ROUGH OPENINGS BEFORE ORDERING DOORS.
- 2. ALL 1S FLOOR DOORS TO REMAIN KEYLESS IN THE DIRECTION OF EGRESS.
- 3. PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
- 4. INSTALL LEVER HANDLES AT ALL H.C. ROOMS
- 5. ALL DOOR HARDWARE MUST BE ADA COMPLIANT.
- 6. DOOR OPENING FORCE SHALL BE 5 lb. MAXIMUM.
- 7. ALL HANDICAPPED DOORS REQUIRE A MINIMUM OF 36 INCHES CLEAR DOOR OPENING WIDTH.
- 8. A CLEAR FLOOR SPACE OF 18" IS REQUIRED AT THE PULL SIDE OF H.C. ROOM DOORS.
- 9. THRESHOLD HEIGHT SHALL BE NO GREATER THAN 1/2".
- 10. ALL BUILDING ENTRANCE DOORS SHALL COMPLY W/ SECTION 13-164-030 AND 040 OF C.B.C., TO BE CLASS B DOORS W/ SELF CLOSER
- 11. ALL GLAZING IN DOOR, SIDE LIGHTS,
 AND TRANSOMS SHALL BE INPACT RESISTANT
 TEMPERED SAFETY GLASS, DOUBLE PANE W/ MIN.
 U-FACTOR OF 0.400 & THERMAL BREAK.

GENERAL NOTES - WINDOWS

- CONTRACTOR SHALL VERIFY ALL EXISTING ROUGH OPENINGS BEFORE ORDERING WINDOWS.
- 2. ALL WINDOW GLAZING SHALL BE IMPACT RESISTANT TEMPERED SAFETY GLASS. DBL. PANE W/ MIN. U-FACTOR OF 0.400 & THERMAL BREAK.

						O	OR SO	CHE	DU	JLE	•						
	DOOR	TYPICAL			D(OOR)		F	RAV	1E		DETAIL	_	#		REMARKS
	NO.	LOCATION	DOOR	OPENIN	IG SIZE	TYPE	- NAAT'I	FINISH	TVDE	N A A T'1	FINISH	HEAD	JAMB	SILL	HDWE.	LABEL	
			W	Н	Т		MAT'L	LIMOU	ITTE	MAI L	 	I HEAD	JAMD	SILL	I I W	(FIRE RATING)	
	100A	FOYER	3'-4"	7'-0"	1 3/4"	А	MTL & GLSS.	PAINTED	Α	MTL.	PAINTED	6/A-4.0	6/A-4.0	7/A-4.0	_	_	GLAZED W/ SELF CLOSER
Ŀ.	102A	BATH #1	3'-4"	7'-0"	1 3/4"	В	SC, MASONITE	PAINTED	В	MTL.	PAINTED	6/A-4.0	6/A-4.0	7/A-4.0	_	_	6 PANEL MASONITE
st	103A	KITCHEN	3'-4"	7'-0"	1 3/4"	С	НМ	PAINTED	С	НМ	PAINTED	6/A-4.0	6/A-4.0	7/A-4.0	_	-	HM W/ PEEP HOLE
_																	
	201A,202A,203A	BEDROOM ENTRY	3'-4"	6'-8"	1 3/4"	В	SC, MASONITE	PAINTED	В	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	_	-	6 PANEL MASONITE
L.	201B,202B,203B	BEDROOM CLOSET	3'-2"	6'-8"	1 3/4"	E	SC, MASONITE	PAINTED	В	WOOD	PAINTED	9/A-4.0	9/A-4.0	11/A-4.0	_	-	BI-FOLD, PAIR
pu	200B,201B	BATHROOMS	4'-0"	6'-8"	1 3/4"	В	SC, MASONITE	PAINTED	В	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	_	-	6 PANEL MASONITE
2	204A	REAR ENTRY	3'-0"	6'-8"	1 3/4"	В	SC, MASONITE	PAINTED	В	WOOD	PAINTED	9/A-4.0	9/A-4.0	11/A-4.0	_	-	6 PANEL MASONITE
	201A,202A,203A	BEDROOM ENTRY	3'-4"	7'-0"	1 3/4"	В	SC, MASONITE	PAINTED	В	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	_	-	6 PANEL MASONITE
Ë	201B,202B,203B	BEDROOM CLOSET	3'-2"	6'-8"	1 3/4"	E	SC, MASONITE	PAINTED	В	WOOD	PAINTED	9/A-4.0	9/A-4.0	11/A-4.0	_	-	6 PANEL MASONITE
Srd	200B,201B	BATHROOMS	4'-0"	6'-8"	1 3/4"	В	SC, MASONITE	PAINTED	В	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	_	_	6 PANEL MASONITE
۱۰)																	

WINDOW SCHEDULE												
KEY		\bigvee	INDOW		DETAIL		A.F.F.	REMARKS				
	WIN. OPENING SIZE		LICAD	LANAD	CILI							
	W	Н	TYPE	HEAD	JAMB	SILL						
Α	4'-3"	6'-3"	DOUBLE HUNG					EXISTING/NEW DBL PANE, U-FACTOR 0.400				
В	8'-4"	6'-3"	DOUBLE HUNG/FIXED					EXISTING TO REMAIN				
С	3'-6" 6'-3" DOUBLE HUNG							EXISTING TO REMAIN				

		-	RC	00	M	FIN	IIS	Н	SC	H	ED	UL	E				
	ROOMS	FLOOR					В	BASE		WALLS		CEILING			REMARKS		
RM. #	ROOM NAME MATERIALS			MATERIALS		MATERIALS		MATERIALS									
		12"X12" STONE TILES	12"X12" CERAMIC TILES	CARPET	16" X 16" MARBLE TILES	PRE-FINISHED WOOD 3/4" RED OAK - POLISHED	CONC. SLB-SMOOTH TROWELED	4" WOOD BASE (WB)-PAINTED	4" CERAMIC COVE BASE(CCB)	NO BASE	PAINTED GYP. BD. (PGB)	CERAMIC WALL TILE (CWT)	12"X12" MARBLE TILES	GYPSUM BD - PAINTED	2X2 LAY—IN ACOUSTICAL TILES EXPOSED SLAB	CEILING HEIGHT	
100	FOYER		0				0	0	0		0			0		±12'-0"	
102	BATH #1		0					0	0		0			0		±12'-0"	
103A	KITCHEN		0					0	0		0			0		VARIES	
201,202,203	BEDROOM ENTRY			0				0			0			0		±12'-0"	
201,202,203	BEDROOM CLOSET			0				0			0			0		±10'-0"	
200,201	BATHROOMS		0					0	0		0	0		0		±10'-0"	
204A	REAR ENTRY		0					0			0			0		±10'-0"	
201A,202A,203A	BEDROOM ENTRY			0				0			0			0		±10'-0"	
201B,202B,203B	BEDROOM CLOSET			0				0						0			
200B,201B	BATHROOMS							0				0		0			

	FLOOR I	FINISH LEGEND								
MATERIAL	MANUFACTURER	DESCRIPTION	REMARKS							
MARBLE WALL AND FLOOR TILES	XXXXX	STYLE: XXXXXX COLOR: XXXXXX	MASTER BATHROOM SIZE: 12"X12"							
CERAMIC FLOOR TILE	US CERAMIC TILE COMPANY	STYLE: BRIGHT COLOR: ALMOND (U-779)	SIZE: 12" X 12"							
WALL FINISH LEGEND										
MATERIAL	MANUFACTURER	DESCRIPTION	REMARKS							
PAINT GYPSUM BOARD	BENJAMIN MOORE	STYLE: HISTORICAL COLORS (84) COLOR: ELMIRA WHITE	OTHER COLORS AS SELECTED BY ARCHITECT							
	BA	SE FINISH LEGEND								
MATERIAL	MANUFACTURER	DESCRIPTION	REMARKS							
VOOD BASE, PAINTED WHITE	XXXX	STYLE: STANDARD COLOR: WHITE	SIZE: 4" H							

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Interior Renovation (New Walls & Finishes, Upgrade Mechanical, Electrical and Plumbing) & New Open Rear Porch For:

Serge Olivier
822 North Lockwood Avenue
Chicago, Illinois 60651

REV. NO. DATE REMARKS

1 11.25.13 ISSUED FOR PERMIT

Architects

KASIdesigns, P. C. ARCHITECTURE - CONSTRUCTION - DEVELOPMENT

1157 South Harvey Avenue Oak Park, Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602 kasidesigns@netscape.net

WALL TYPES, DOOR TYPES, SCHEDULES

APPLICATION # 100514966 SHEET NO.

CHECKED BY KEC

DRAWN BY TKM

PROJECT NO. 822.01

DATE 11.19.13

AL WINDOW
H EXISTING)
HUNG WINDOW

NEW METAL WINDOW

(TO MATCH EXISTING)
DOUBLE HUNG WINDOW

GENERAL NOTES:

- 1. PROVIDE SOLID WOOD POST UNDER ALL BEAM BEARING POINTS,
- MIN. SIZE EQUAL TO WIDTH OF BEAM.
- PROVIDE 26 GA. G.I. FLASHING AS FOLLOWS: a. WINDOW AND DOOR DRIP CAPS.
- b. AT ALL THROUGH WALL OPENINGS
- 3. ALL INTERIOR WALLS ARE 2 X 4 (3 1/2") UNLESS DIMENSIONED OR NOTED OTHERWISE
- 4. PROVIDE 2 X 6 WALL AT ALL PLUMBING LOCATIONS.

5. FIGURED DIMENSIONS SHALL GOVERN — CONSULT WITH ARCHITECT IN CASE OF DISCREPANCY.

6. ALL FLOOR JOISTS UNDER BATH AREAS AND WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED.

OTHER CONSTRUCTION.

7. ALL FLOOR JOISTS ARE TO BE GRADE 1 SOUTHERN PINE 2 X 10'S FLOOR, INCLUDING BASEMENT, WIRED IN SERIES FOR SIMULTANEOUS AT 16" O.C. WITH BRIDGING. 8. NO MORE THAN 4" PERMITTED BETWEEN RAILING BALUSTERS OR

ACTUATION. CONNECT TO 110V. SYSTEM 11. INSTALL TYPE 'L' COPPER OR BETTER WATER DISTRIBUTION PIPE ABOVE GROUND, TYPE 'K' BELOW GROUND.

FROM AN OPENING IN A WALL.

9. NO MORE THAN 12' PERMITTED BETWEEN ELECTRICAL

RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6' EGRESS. 10. INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH WITH N.E.C. 1993 410-8.

12. ALL EXTERIOR DOORS TO HAVE DEAD BOLT WITH NO LESS THAN 1" THROW. SAID DOORS TO BE KEYLESS IN DIRECTION OF 13. LIGHTS IN CLOTHES CLOSETS TO BE INSTALLED IN COMPLIANCE

14. PROVIDE METAL JOIST HANGERS @ STAIR MEMBERS. 15. EXPOSED KRAFT PAPER SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS.

15. ALL EXTERIOR DOORS SHALL BE IDENTICALLY KEYED. 16. WATER RESISTIVE DRYWALL SHALL BE INSTALLED AT ALL BATH AND SHOWER ROOMS AND ALL OTHER AREAS SUBJECTED TO MOISTURE AS NOTED.

17. 100 S.F. OF 5/8" FIRERATED DRYWALL SHALL BE INSTALLED CENTERED OVER FURNACE AND WATER HEATER.

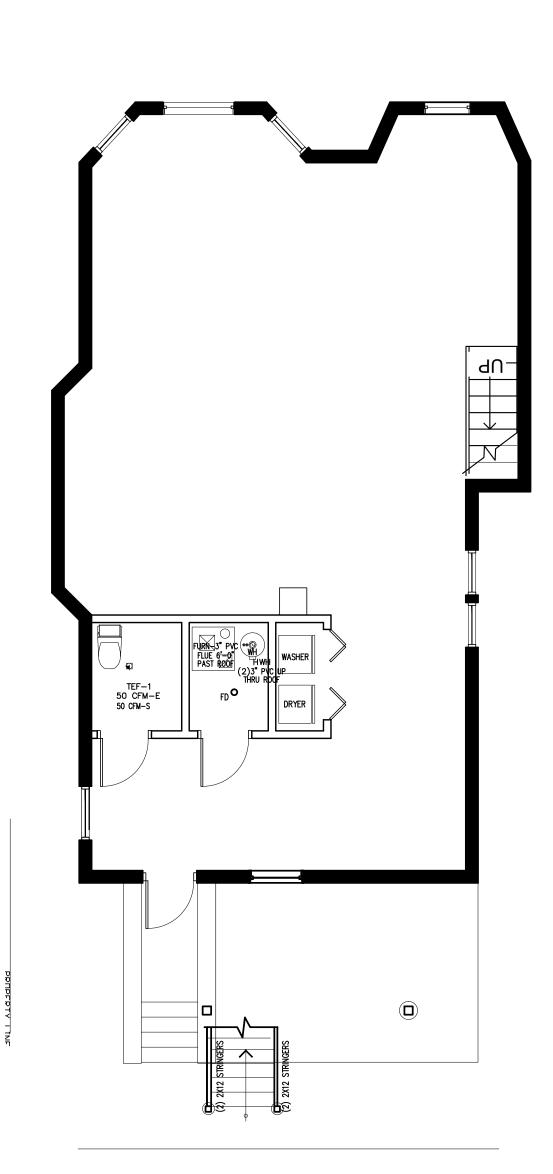
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21. CLASS 'C' ROOF

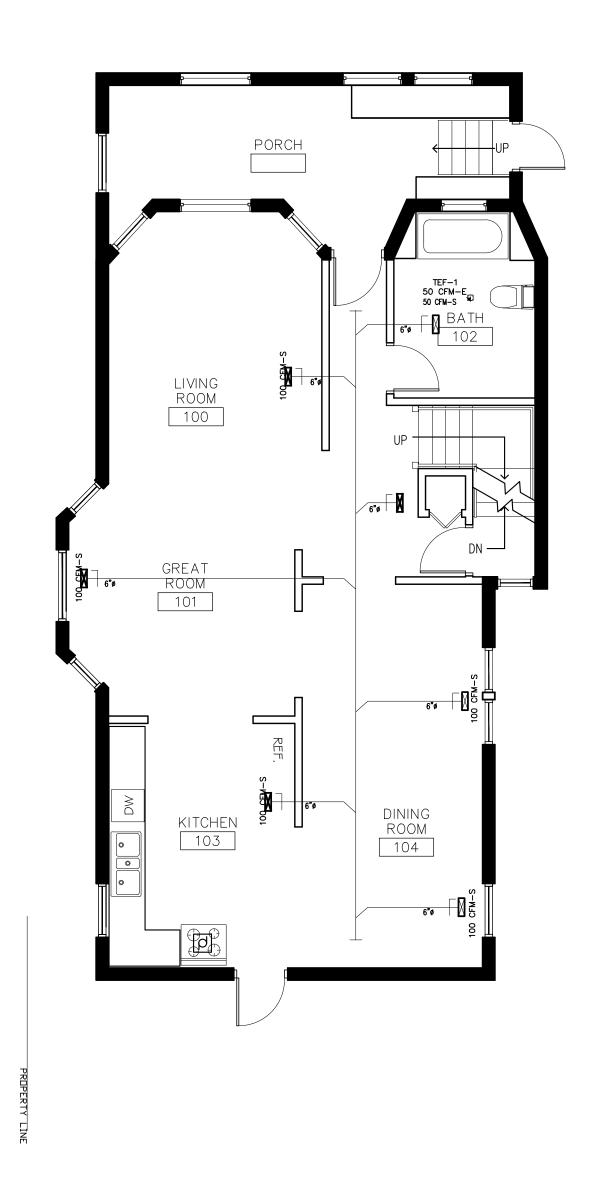
22. PROVIDE CONTINUOUS 2X4 WOOD FIRE STOPPING AT FLOOR, CEILING AND ROOF.

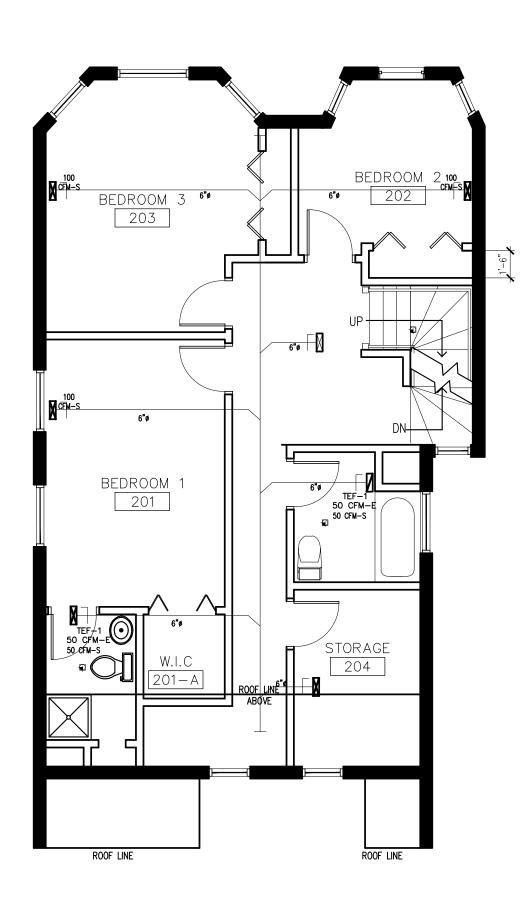
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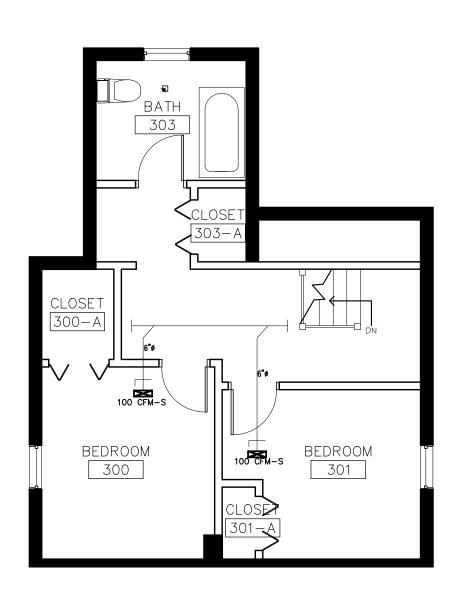


BASEMENT FLOOR PLAN

SCALE: 3/16" = 1'-0"







THIRD FLOOR PLAN

SCALE : 3/16" = 1'-0"

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& Finishes, and Plumbing) Interior Renovation (New Walls & Upgrade Mechanical, Electrical al & New Open Rear Porch For:

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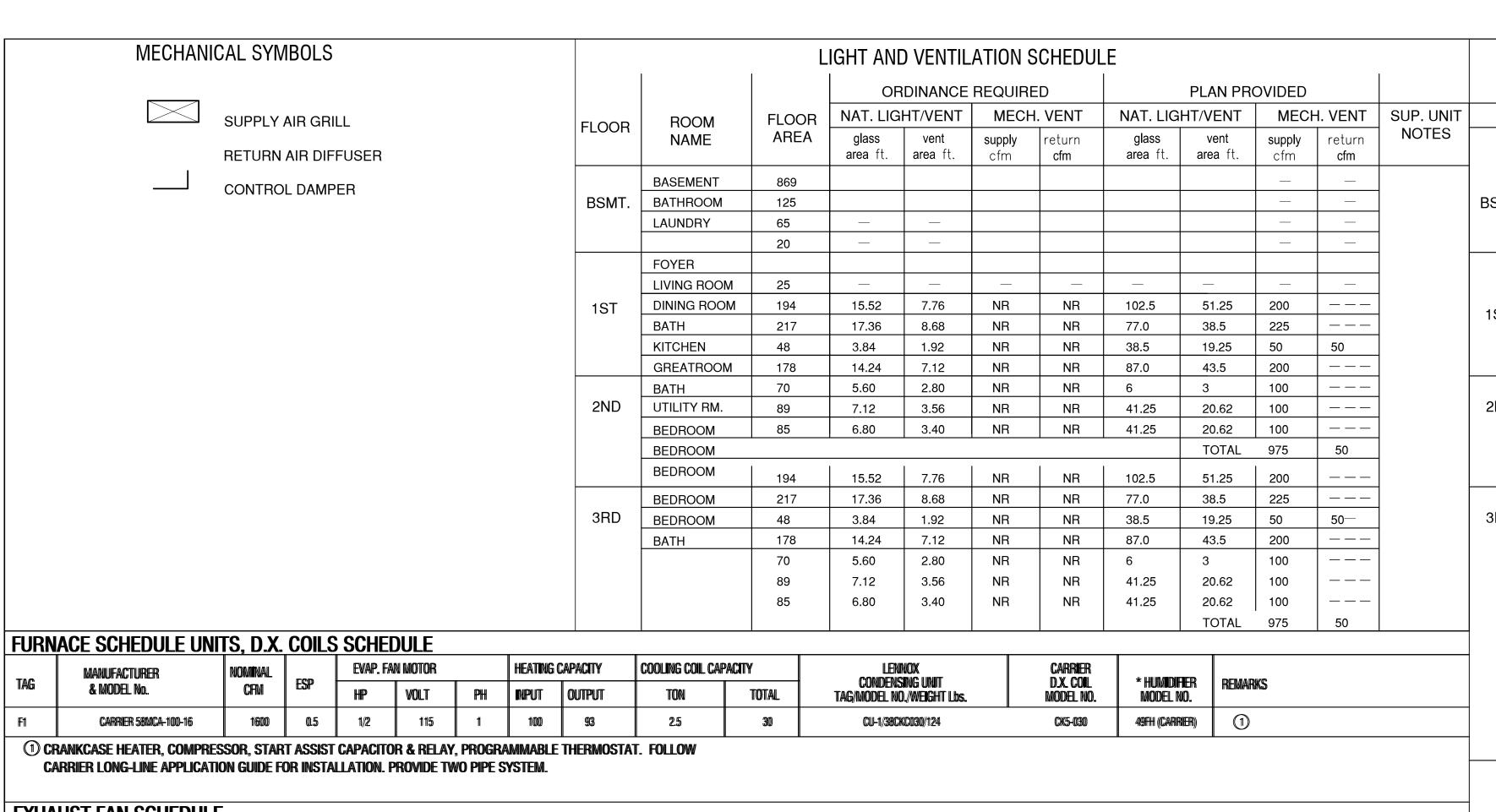
1157 South Harvey Avenue Oak Park, Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602 kasidesigns@netscape.net

MECHANICAL LAYOUT

APPLICATION #	100514966	SHEET NO.
CHECKED BY	KEC	
DRAWN BY	TKM	\mathbf{L}
PROJECT NO.	822.01	IVI I . U
DATE	11.19.13	







EXHAUST FAN SCHEDULE

ITEM	SERVICE	CFM	SP	RPM	TYPE	WATTS	AMP	VOLT	PH	MANUFACTURER	REMARKS
TEF-1	BATHROOMS	50	1/8‴	640	CEILING	_	0.6	115	1	BROAN-HD80	1 2
KEF-1	KITCHEN	180	1/8"	_	CEILING	_	0.6	115	1	BROAN-HD200	1 3

- (1) COMPLETE WITH DISCONNECT SWITCH, GRAVITY DAMPER, WALL JACK.
- (2) COMPLETE WITH DISCONNECT SWITCH, GRAVITY DAMPER, ROOF CAP.
- (3) OTHER EQUAL MANUFACTURERS ARE ACCEPTABLE

- 1. ALL WORK SHALL COMPLY W/THE CITY 6. FURNANCE SHALL HAVE THE CAPACITY OF CHICAGO BUILDING CODE & SMACNA. TO HEAT BUILDING TO 70T AT OUTSIDE
- 2. ALL SUPPLY DUCTS SHALL BE GALVANIZED SHEET METAL.
- 3. 3" FLUE SHALL BE PVC AND EXTEND 6"-0" ABOVE ROOF.
- 5. INSTALL HUMIDIFER TO GAS FURNANCE.
- - AIR TEMPERATURE OF -10°F.
 - 7. NOISE LEVEL FROM MECHANICAL EQUIPMENT SHALL NOT EXCEED 55 DB AT THE LOT LINE.

(4) 3/4"X10" VENT UP

- 8. INSTALL CARBON MONOXIDE DETECTORS. 4. LOCK TYPE DAMPERS SHALL BE USED. 9. INSTALL FLOOR REGISTERS NOT MORE THAN
 - 9" FROM A WALL.

MECHANICAL NOTES:

- 1. ALL WORK TO COMPLY WITH ALL LOCAL, MUNICIPAL & NATIONAL HEATING & VENTILATION CODES.
- 2. ALL DUCTWORK TO BE MADE OF SHEETMETAL AND MADE IN COMPLIANCE WITH A.S.H.R.A.E.. AND S.M.A.C.N.A. STANDARDS FOR LOW VELOCITY DUCTWORK CONCEALED DUCT TO BE WRAPPED WITH 1 1/2" INSULATION. DUCTBOARD WILL BE
- ACCEPTED FOR DUCTWORK CONCEALED ABOVE THE CEILING. 3. ALL SUPPLY BRANCH TAKEOFFS TO HAVE MANUALLY ADJUSTABLE VOLUME
- 4. ALL SUPPLY OPENINGS TO BE A MINIMUM OF 15'-0" FROM ANY AND ALL EXHAUST OPENINGS.
- 5. NOISE AT A LOT LINE SHALL NOT EXCEED 55db. ON THE "A" SCALE.
- 6. ALL FLUES TO BE AMERIVENT "B" OR EQUAL. ALL FURNACE FLUES SHALL EXTEND ABOVE ROOF.
- 7. ALL ELECTRICAL WIRING SHALL BE BY THE ELECTRICAL CONTRACTOR.
- 8. ALL REGISTERS, GRILLES AND DIFFUSERS SHALL BE MANUFACTURED BY KRUEGER, OR EQUAL, AS FOLLOWS:
 - A. REGISTERS: MODEL 880H0BD
 - B. RETURN AIR GRILLES: MODEL S80H
 - C. DIFFUSERS: MODEL 1400
- SIZES AND CFM AS DETAILED ON THE DRAWINGS.
- 9. THE CONTRACTOR SHALL CHECK DESIGN REQUIREMENTS FOR HEATING,
- COOLING, AIR SUPPLY AND EXHAUST SYSTEMS AND SHALL ACCEPT RESPONSIBILITY FOR CAPACITIES OF THESE SYSTEMS IN ACCORDANCE WITH STANDARD PRACTICE AS STATED IN THE LATEST EDITION OF THE A.S.H.R.A.E.
- GUIDE. 10. CHANGE FILTERS ON HVAC EQUIPMENT AT COMPLETION OF PROJECT. 11. GAS PIPING BY PLUMBING CONTRACTOR. THIS CONTRACTOR TO VERIFY GAS
- PIPING SIZES. 12. SYSTEM SHALL BE BALANCED TO $\pm 10\%$ OF DESIGN.
- 13. REFRIGERATION PIPING SIZES PER MANUFACTURER'S RECOMMENDATION.
- 14. TEMPERATURE CONTROL AND POWER WIRING BY ELECTRICAL CONTRACTOR.
- 15. EXPOSED DUCTWORK TO BE SPIRAL DUCTS WITH GALVANIZED FINISH (NOT TO BE PAINTED) AS MANUFACTURED BY LINDAB.
- 16. CEILINGS OF BASEMENT AND FIRST FLOOR TO BE THE EXPOSED STRUCTURAL

17. NOISE LEVEL OF ALL HVAC EQUIPMENT SHALL NOT EXCEED 55 DECIBELS AT LOT LINE

VENTILATION NOTES:

- 1. CLEARANCES FOR FORCED AIR FURNACES MUST CONFORM TO MANUFACTURERS REQUIREMENTS
- 2. ALL DUCTWORK MUST BE GALVANIZED STEEL OF STAINLESS STEEL. 3. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE SHOWN ON
- DRAWING(S). 4. IF THE PROJECT INCLUDES A PLENUM CEILING OR FLOOR: THE CONTRACTOR SHALL GUARANTEE THAT THE PLENUM CHAMBER USED FOR RECIRCULATION OF AIR WILL BE OF TIGHT CONSTRUCTION AND THAT ALL SOURCES OF AIR
- CONTAMINATION FROM TRAPS, SOIL STACKS, DOWNSPOUTS, VENTS AND ALL OTHER SOURCES OF CONTAMINATION WILL BE ENCLOSE SUCH THAT NO CONTAMINATED AIR WILL BE RECIRCULATED.

REFRIGERATION NOTES:

- 1. REFRIGERANT PRESSURE RELIEF PIPING TO OUTSIDE. EMERGENCY RELIEF VALVE IN UNIT PER CITY OF CHICAGO CODE. DISCHARGE PIPE OUTLET SHALL BE MORE THAN 12' ABOVE THE GROUND, MORE THAN 10' FROM ANY BUILDING OPENING AND NOT CLOSER THAN 20' TO ANY FIRE ESCAPE. OUTLET SHALL BE
- TURNED DOWNWARD. 6 LBS. AND OVER. 2. ALL REFRIGERANT PIPING AND DEVICES SHALL BE LOCATED OUT OF AIR STREAM.
- 3. ALL REFRIGERANT PIPING SHALL BE TYPE K HARD COPPER.
- 4. PRESSURE RELIEF DEVICE SHALL BE LOCATED ON THE DISCHARGE SIDE OF THE COMPRESSOR.
- 5. INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF THE SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.
- 6. REMOVE EXPANSION VALVES, DEVICES AND CONNECTIONS FROM THE AIR STREAM.
- 7. REFRIGERANT PIPING MUST BE TYPE "K" OR TYPE "ACR".
- 8. ALL CONNECTIONS AND DEVICES MUST BE BRAZED.

				HEAT DATA	1			SPLIT SYSTEM HVAC DIAGRAM	
IJТ	SPA	CE NAME	SPACE USE	1	ACT'L BTHU HEAT LOSS	REQ'D CFM @ 175°	ACT'L CFM @ 175°	DISCONNECT	
6				CITY OF CHI	4200	87	100	SWITCH(FUSED) POWER SUPPLY	
		BASEMENT					800		
	BSMT.	BATHROOM			6125	147	200	CONDENSING	
	_	LAUNDRY			6125	147	200	UNIT 1/2", LIQUID-LINE	
					4900	134	100	1/2" LIQUID-LINE 7/8" SUCTION LINE FILTER DRIER SIGHT GLASS	
	_	FOYER			1575	42	70		
	-	LIVING ROOM			6125	87	100	HUMIDIFIER NOTES:	
	1ST	DINING ROOM			5600	87	100	CONDENSATE DRAIN	
	-	BATH KITCHEN			7000	87	100	GAS SUPPLY PIPE THERMOSTAT	
	_	GREATROOM			37450	731	870	FURNACE TO FLOOR DRAIN	
		BATH							
	2ND	UTILITY RM.							
		BEDROOM						REFRIGERATION PIPING TO BE TYPE	
		BEDROOM						"K" COPPER AND SHALL BE BRAZED. REMOVE EXPANSION VALVES, DEVICES AND CONNECTIONS FROM AIR STREAM.	
		BEDROOM			6125	87	100	AND CONNECTIONS FROM AIR STREAM. SAFETY VALVE TO BE LOCATED ON THE HIGH PRESSURE SIDE OF	
		BEDROOM			5600	87	100	SAFETY VALVE TO BE LOCATED ON THE HIGH PRESSURE SIDE OF REFRIGERATON SYSTEM WITHOUT ANY INTERVENING VALVES OR	THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS,
	3RD	BEDROOM			7000	87	100		DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE
		BATH		ļ <u> </u>	37450	731	870		ARCHITECT: AND NO PART THEREOF SHALL BE COPIED,
								FLUE & COMBUSTION INTAKE DETAIL SCALE: NTS	DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIA- TIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FARRICATION

RCHITECT. VISUAL CONTACT WITH THESE DRAWINGS R SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE IDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. RITTEN DIMENSIONS ON THESE DRAWINGS SHALL AVE PRECEDENCE OVER SCALED DIMENSIONS: ONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR $_{ extsf{L}}$ dimensions and conditions on the Job and this FICE MUST BE NOTIFIED OF ANY VARIA- TIONS FROM IE DIMENSIONS AND CONDITIONS SHOWN BY THESE AWINGS. SHOP DETAILS MUST BE SUBMITTED TO HIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. Finishes, nd Plumbing) /alls rical Φ al, Electri Porch For: 000 vood terior Renovation (pgrade Mechanica New Open Rear P

REV. NO.	DATE	REMARKS
1	11.25.13	ISSUED FOR PERMIT
Archite	ects	

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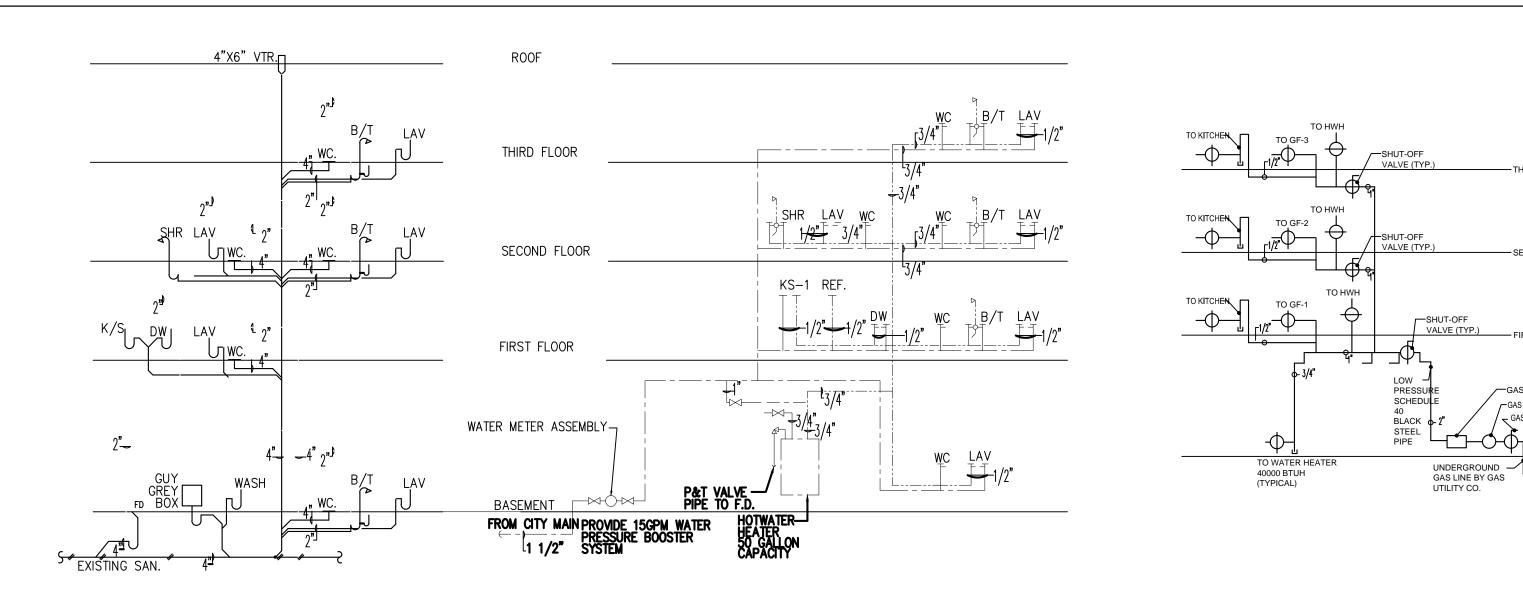
FG6 (North Locago, Illino

KASIdesigns, P. C ARCHITECTURE - CONSTRUCTION - DEVELOPMENT

1157 South Harvey Avenue Oak Park. Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602 kasidesigns@netscape.net

> general mechanical NOTES

APPLICATION #	100514966	SHEET NO.
CHECKED BY	KEC	
DRAWN BY	TKM	NAC
PROJECT NO.	822.01	IVI .∠
DATE	11.19.13	



GAS PIPING DIAGRAM SANITARY WASTE DIAGRAM SUPPLY WATER DIAGRAM

GENERAL PLUMBING NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF LOCAL AUTHORITIES.

PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.

GAS METER

GAS PRESSURE REGULATOR

GAS SHUT-OFF VALVE

ALL AUTHORITIES HAVING JURISDICTION SHALL BE NOTIFIED AT LEAST THREE WORKING DAYS PRIOR TO COMMENCEMENT OF WORK.

ALL PIPING SHALL BE ROUTED CONCEALED UNLESS OTHERWISE INDICATED.

EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME

SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.

ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.

ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.

WHEREVER FOUNDATION WALLS, DUTSIDE WALLS, ROOF, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT. WORK SHALL BE PERFORMED BY CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.

ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHED SPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT. AT ALL CONNECTIONS BETWEEN FERROUS PIPING AND NONFERROUS PIPING, PROVIDE AN ISOLATING DIELECTRIC

PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.

ALL DRAINAGE PIPING SHALL BE UNIFORMLY PITCHED, 1/4" PER FOOT UNLESS OTHERWISE REQUIRED BY EXISTING CONDITIONS.

PROVIDE A COMPLETE SYSTEM OF SCHEDULE 40 GALVANIZED STEEL VENT RISERS ABOVE FLOOR. ALL VENTS SHALL BE CARRIED THROUGH THE ROOF WITH FLASHING. ALTERNATE MATERIALS MAY BE ALLOWED IF APPROVED BY LOCAL CODE AUTHORITIES.

CONDENSATE AND INDIRECT DRAIN PIPING SHALL BE TYPE M COPPER TUBING UP TO BASE OF ALL VERTICAL WASTE AND DRAIN PIPES, CLEANOUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.

HOT AND COLD WATER PIPING SHALL BE TYPE L COPPER TUBING WITH WROUGHT COPPER FITTINGS AND SWEAT CONNECTIONS. PROVIDE MINIMUM 16" HIGH FULL AIR CHAMBER AT EACH FIXTURE STOP.

INSULATE ALL HOT AND COLD WATER PIPING BOTH VERTICALLY AND HORIZONTALLY, IN CEILING AND CONCEALED IN WALLS COMPLETELY. PROVIDE 1" PRE FORMED FIBERGLASS ASJ-VB, FLAME SPREAD 25, SMOKE DEVELOPED 50, ASTM C-547.

PIPING ROUTED IN EXTERIOR WALLS SHALL BE ROUTED ON WINTER WARM SIDE OF BUILDING WALL INSULATION.

ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.

TEST WATER SYSTEM AS PER LOCAL REQUIREMENTS. WHEN TESTING INDICATES MATERIALS OR WORKMANSHIP IS DEFICIENT, REPLACE OR REPAIR AS REQUIRED, AND REPEAT TEST UNTIL STANDARDS ARE ACHIEVED.

THE DOMESTIC WATER SYSTEM AND DRAINAGE SYSTEMS SYSTEM SHALL BE FLUSHED AND PRESSURE TESTED. THE DOMESTIC WATER SYSTEM SHALL BE

SANITARY DRAINAGE PIPING ABOVE FLOOR SHALL BE CAST-IRON PIPE, FITTINGS, AND CONNECTIONS AND PIPING BELOW GRADE SHALL BE SERVICE-WEIGHT HUB AND SPIGOT TYPE CAST-IRON WITH NEOPRENE GASKET JOINTS, ALTERNATE MATERIALS MAY BE ALLOWED IF APPROVED BY LOCAL CODE AUTHORITIES.

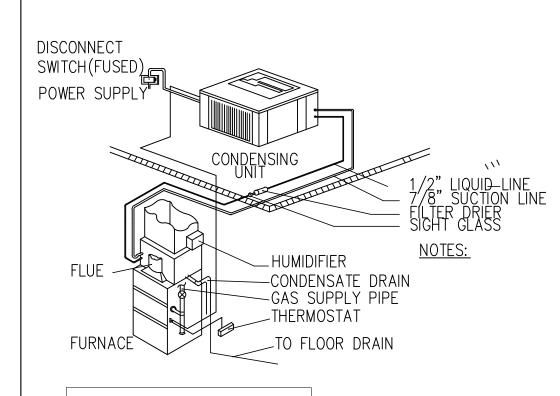
ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER

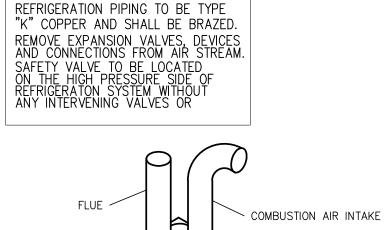
FURNISH AND INSTALL WATTS 8A VACUUM BREAKER ON ANY THREADED INTERIOR FAUCETS, IF FAUCETS DO NOT COME WITH VACUUM BREAKER.

ALL WATER SHUT OFF VALVES SHALL BE "BALL LOCK" TYPE

POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS ARE NOT TO BE USED.

SPLIT SYSTEM HVAC DIAGRAM





FLUE & COMBUSTION INTAKE DETAIL

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT: AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIA- TIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

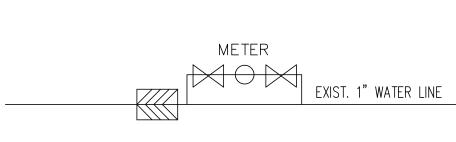
HOT WATER HEATER DIAGRAM

& Finishes, and Plumbing) /alls rical n (New Wal, Electri Porch For: Veni 000 y North Lockwo

PLUMBING FIXTURE TYPES

DESCRIPTION

TUB/SHOWER
AMERICAN STANDARD MODEL NO. 2295.020 RHD HYLINE CAST IRON WATER CLOSETS
AMERICAN STANDARD MODEL NO. 2120.5 VITREOUS CHINA LAVATORYS
AMERICAN STANDARD MODEL NO. 177.034 VITREOUS CHINA <u>KITCHEN SINK</u> AMERICAN STANDARD MODEL NO. STAINLESS STEEL <u>UTILITY SINK</u> AMERICAN STANDARD MODEL NO. STAINLESS STEEL HOSE BIBB AMERICAN VALVE MODEL NO. BRASS TOTAL PLUMBING FIXTURES



INCOMING WATER LINE DIAGRAM

N.T.S.

A. ALL WATER DISTRIBUTION PIPING SHALL BE COPPER OR GALVANIZED STEEL PIPE. B. ALL WASTE AND VENT PIPING SHALL BE CAST IRON OR HARD DRAWN COPPER.

C. PROVIDE CODE APPROVED GREASE TRAP FOR SINKS.

Interior Renovation (Upgrade Mechanical & New Open Rear Post Serge Ollv 822 North Lockwoo Chicago, Illinois 606 DATE 11.25.13 ISSUED FOR PERMIT

ARCHITECTURE - CONSTRUCTION - DEVELOPMENT

1157 South Harvey Avenue Oak Park, Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602 kasidesigns@netscape.net

PLUMBING RISER, WASTE DIAGRAMS &

APPLICATION # 100514966 SHEET NO. CHECKED BY KEC RAWN BY TKM PROJECT NO. 822.01 DATE 11.19.13