

T1

GENERAL NOTES:

1. PROVIDE SOLID WOOD POST UNDER ALL BEAM BEARING POINTS, MIN. SIZE EQUAL TO WIDTH OF BEAM.
2. PROVIDE 26 GA. G.I. FLASHING AS FOLLOWS:
 - a. WINDOW AND DOOR DRIP CAPS.
 - b. AT ALL THROUGH WALL OPENINGS
3. ALL INTERIOR WALLS ARE 2 X 4 (3 1/2") UNLESS DIMENSIONED OR NOTED OTHERWISE
4. PROVIDE 2 X 6 WALL AT ALL PLUMBING LOCATIONS.

5. FIGURED DIMENSIONS SHALL GOVERN – CONSULT WITH ARCHITECT IN CASE OF DISCREPANCY.
6. ALL FLOOR JOISTS UNDER BATH AREAS AND WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED.
7. ALL FLOOR JOISTS ARE TO BE GRADE 1 SOUTHERN PINE 2 X 10'S AT 16" O.C. WITH BRIDGING.
8. NO MORE THAN 4" PERMITTED BETWEEN RAILING BALUSTERS OR OTHER CONSTRUCTION.

9. NO MORE THAN 12" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6' FROM AN OPENING IN A WALL.
10. INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, WIRED IN SERIES FOR SIMULTANEOUS ACTUATION. CONNECT TO 110V. SYSTEM
11. INSTALL TYPE 'L' COPPER OR BETTER WATER DISTRIBUTION PIPE ABOVE GROUND, TYPE 'K' BELOW GROUND.

12. ALL EXTERIOR DOORS TO HAVE DEAD BOLT WITH NO LESS THAN 1" THROW. SAID DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.
13. LIGHTS IN CLOTHES CLOSETS TO BE INSTALLED IN COMPLIANCE WITH N.E.C. 1993 410-8.

14. PROVIDE METAL JOIST HANGERS @ STAIR MEMBERS.
15. EXPOSED KRAFT PAPER SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS.
15. ALL EXTERIOR DOORS SHALL BE IDENTICALLY KEYED.
16. WATER RESISTIVE DRYWALL SHALL BE INSTALLED AT ALL BATH AND SHOWER ROOMS AND ALL OTHER AREAS SUBJECTED TO MOISTURE AS NOTED.
17. 100 S.F. OF 5/8" FIRERATED DRYWALL SHALL BE INSTALLED CENTERED OVER FURNACE AND WATER HEATER.

18. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS I FLAME SPREAD RATING OF 0-25
19. ALL STAIRS SHALL HAVE SOLID TREADS, RISERS, AND PLATFORM.
20. ALL EXIT DOORS SHALL COMPLY WITH SECTION (13-16-200)
21. ALL FLOOR COVERINGS SHALL BE CLASS A CRITICAL RADIANT FLUX OF .E4 OR HIGHER.
21. CLASS 'C' ROOF
22. PROVIDE CONTINUOUS 2X4 WOOD FIRE STOPPING AT FLOOR, CEILING AND ROOF.

23. ALL PENETRATIONS OF MECHANICAL, ELECTRICAL, OR EQUIPMENT THROUGH FLOOR SLABS OR WALLS SHALL BE PACKED AND SEALED AROUND WITH NON-COMBUSTIBLE, UL TESTED MATERIAL EQUAL TO THE REQUIRED FIRE RATING OF THE SLAB OR WALL.

HEADER SCHEDULE:

HEADERS ARE REQUIRED FOR ALL OPENINGS GREATER THAN 20" (TWENTY INCHES) HEADERS SHALL COMPLY WITH THE FOLLOWING STANDARDS:

HEADER SIZE	MAXIMUM ALLOWABLE ROUGH OPENING
2 – 2 x 6	4'-6"
2 – 2 x 8	7'-0"
2 – 2 x 10	10'-0"
2 – 2 x 12	14'-0"
3 – 2 x 12	16'-0"
2 – 2 x 14	17'-0"
3 – 2 x 14	20'-0"

STEEL LINTEL SCHEDULE:

STEEL LINTELS ARE REQUIRED FOR ALL MASONRY OPENINGS AS FOLLOWS:

0 – 4'-0"	1L 3 1/2" x 3 1/2" x 1/4"	6" BEARING
4'-0" – 6'-0"	1L 4" x 3 1/2" x 5/16"	7" BEARING
6'-0" – 8'-0"	1L 5" x 3 1/2" x 5/16"	8" BEARING
8'-0" AND UP	SEE STRUCTURAL	

ENERGY CODE:

- GEN. CONTRACTOR SHALL PROVIDE THE MIN. U- OR R-VALUES AS FOLLOWS.
1. GLAZING U-VALUE: 0.35
 2. CEILING R-VALUE: R.36
 3. EXTERIOR WALL R-VALUE: R.18
 4. SLAB PERIMETER: R-9/DEPTH: 4 FEET UNLESS SHOWN ON DRAWINGS

LIVE LOAD:

ROOF	25 PSF + DRIFTING EFFECTS
DEAD LOADS:	
SINGLE PLY MEMBRANE	2 PSF
INSULATION	2 PSF
DECK	3 PSF
STRUCTURE	4 PSF
CEILING	3 PSF
HVAC	3 PSF
MISC	3 PSF


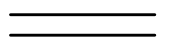
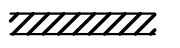
SUPERIMPOSED FLOOR LOADS:

LIVE LOADS:	
SLEEPING AREA	30 PSF
MAIN FLOOR	40 PSF
BALCONY	100 PSF
DEAD LOADS:	
PARTITIONS	10 PSF
SHEATHING	3 PSF
STRUCTURE	8 PSF
CEILING	3 PSF
HVAC	3 PSF
MISC	3 PSF





















WIND LOADS CRITERIA:

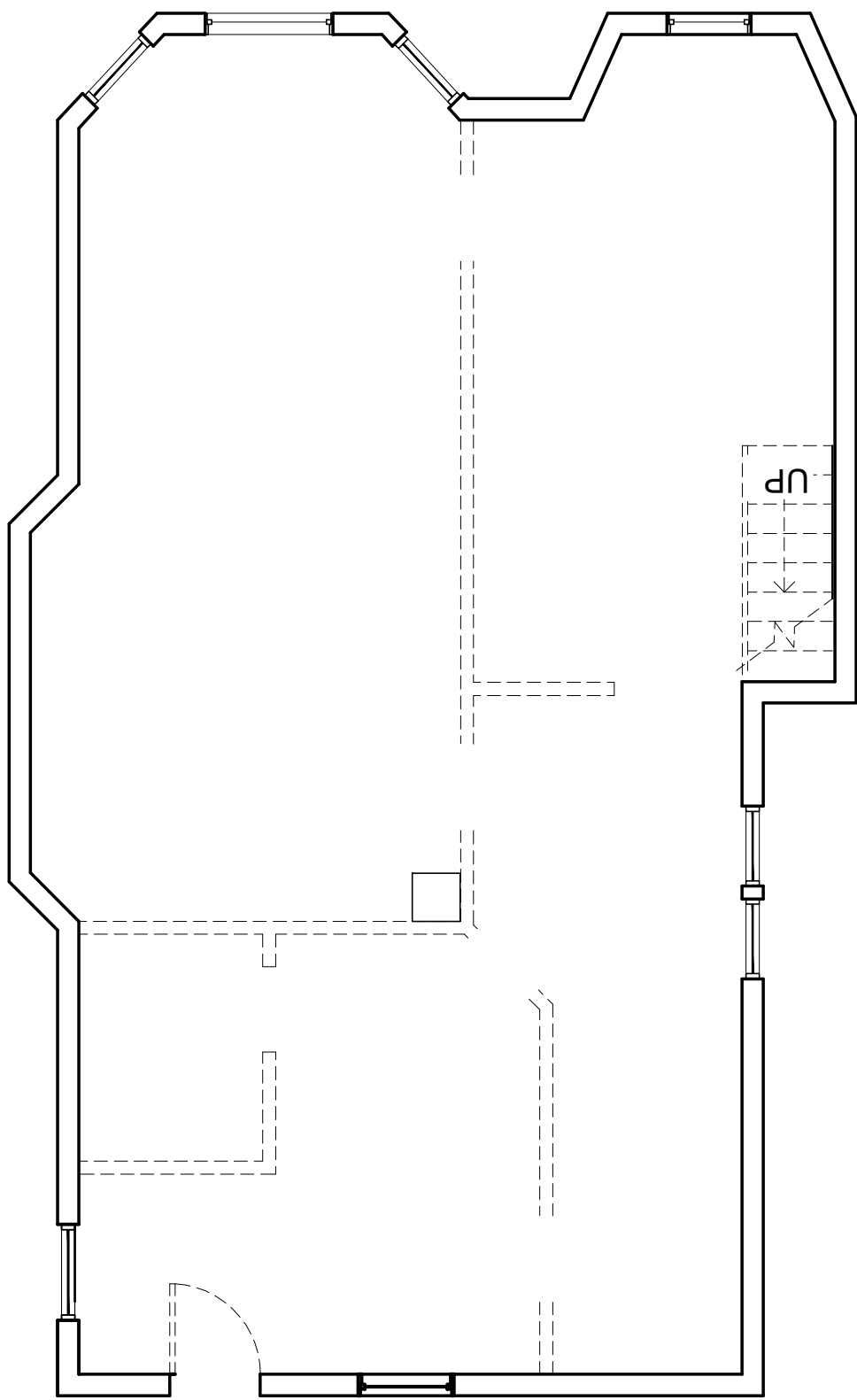
BASIC WIND SPEED	20 PSF UP TO 200'
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WALL LEGEND:

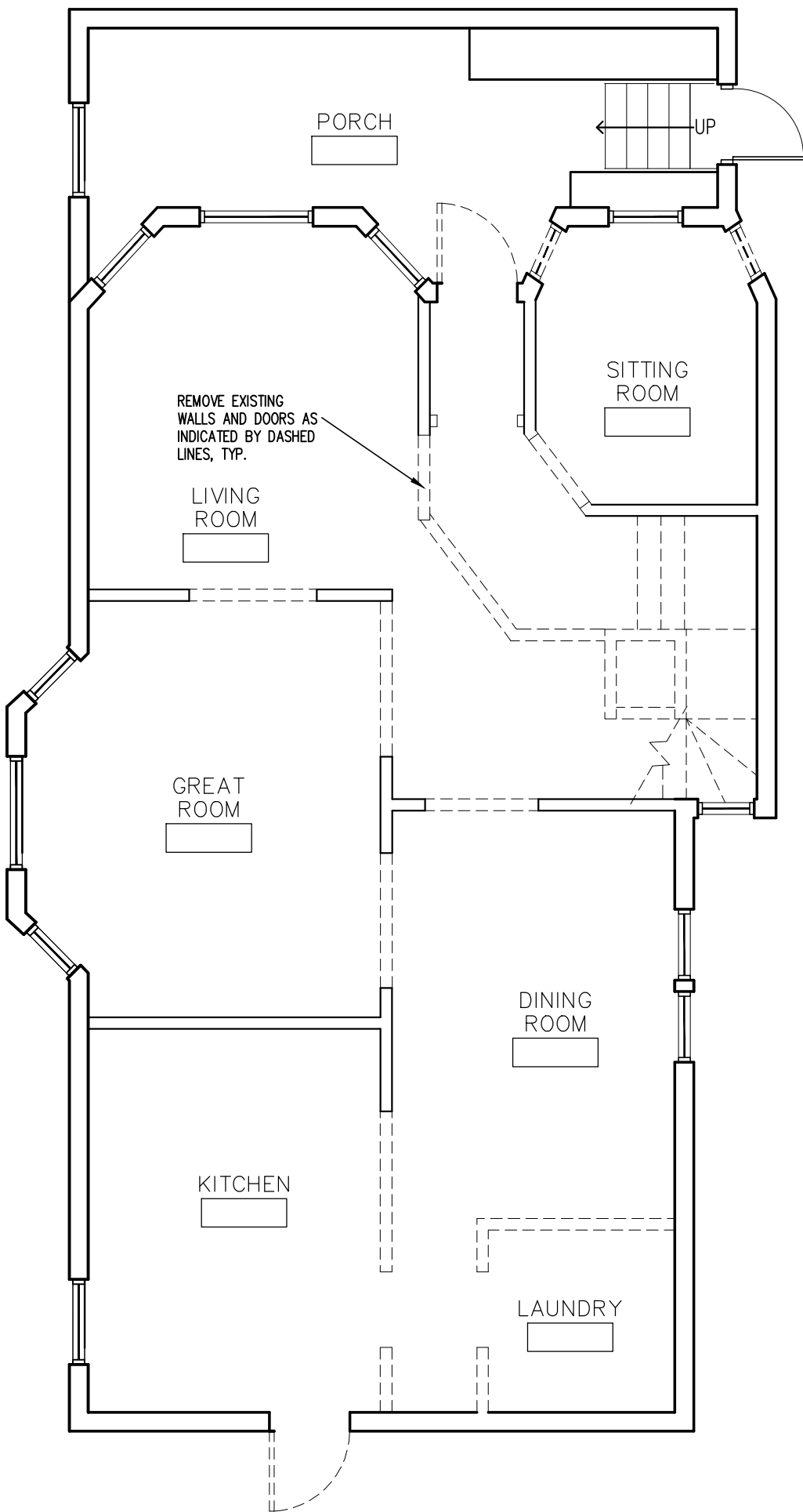
-  EXISTING EXTERIOR WALLS –EXISTING BRICK
EXTERIOR W/ NEW 5/8" GYP. BD. ON NEW 2X2 WD. STUDS @ 16" O.C. W/BATT INSULATION
-  EXISTING CONSTRUCTION TO REMAIN
-  NEW INTERIOR DRYWALL CONSTRUCTION – 5/8" GYP. BD. EA. SIDES ON EXISTING 2X4 WD. STUDS @ 16" O.C. – UL DESIGN #U-305 (1 HR)

SYMBOLS LEGEND

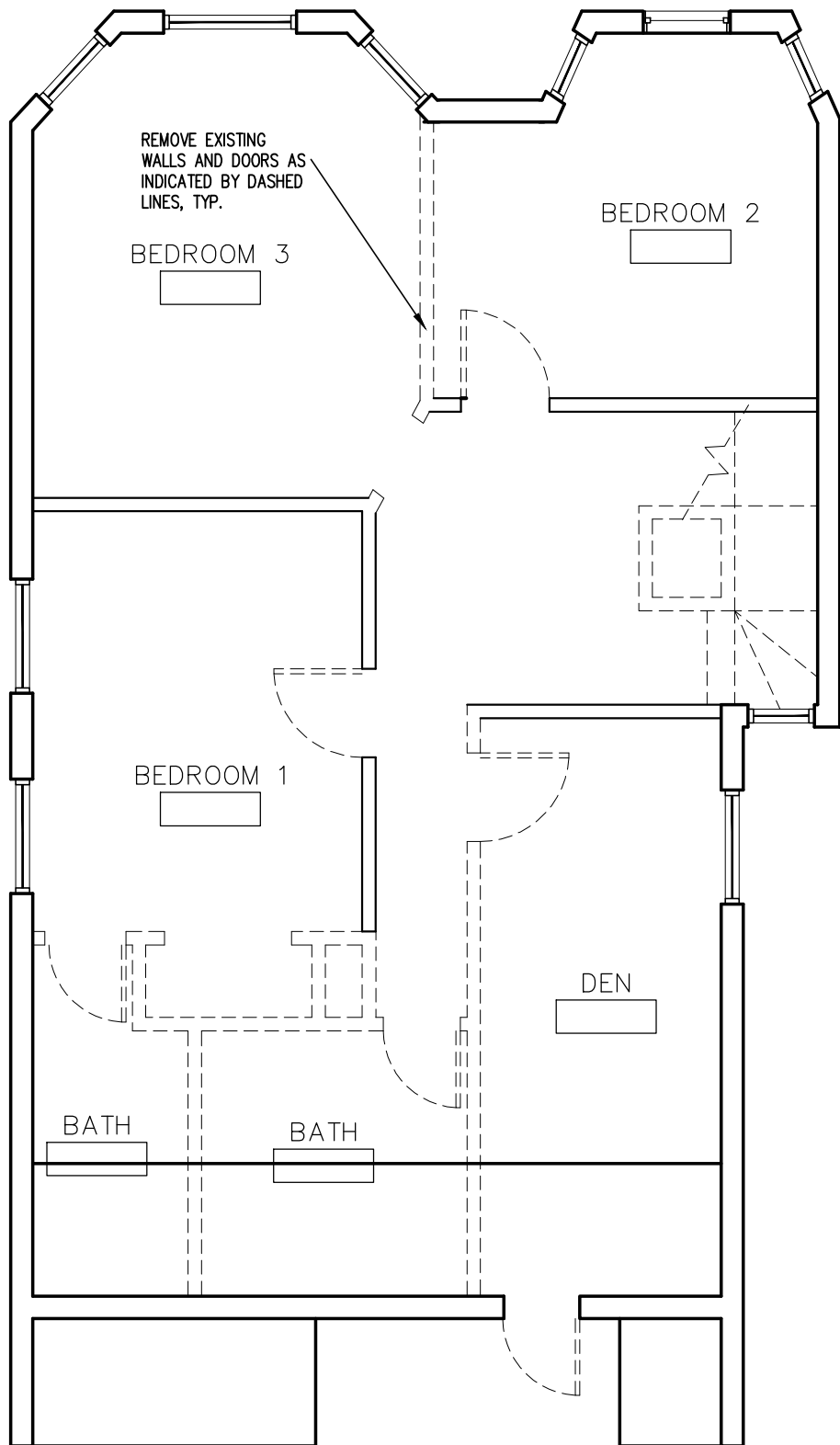
	GROUNDING DUPLEX RECEPTACLE		DISCONNECT SWITCH
	SINGLE POLE SINGLE THROW WALL SWITCH		100A MAIN BRK 24 1P. PANEL
	3-WAY WALL SWITCH		DOOR CHIME
	LIGHTING FIXTURE-WALL MOUNTED.		CAN OVER SINK
	CEILING MOUNTED FIXTURE		FAN W/ LIGHT (BATHROOM)
	GROUND FAULT INTERRUPTOR		FLUORESCENT LIGHTING FIXTURE
	PROVIDE AFCI (ARC-FAULT CIRCUIT INTERRUPTERS) IN ALL DWELLING UNIT BEDROOMS		SMOKE DETECTOR
	TELEPHONE WALL OUTLET		CARBON MONOXIDE DETECTOR
	CABLE T.V. WALL OUTLET-75 OHMS		FAN W/ LIGHT (BEDROOM)
	WATERPROOF OUTLET		HOT WIRE PHOTO CELL



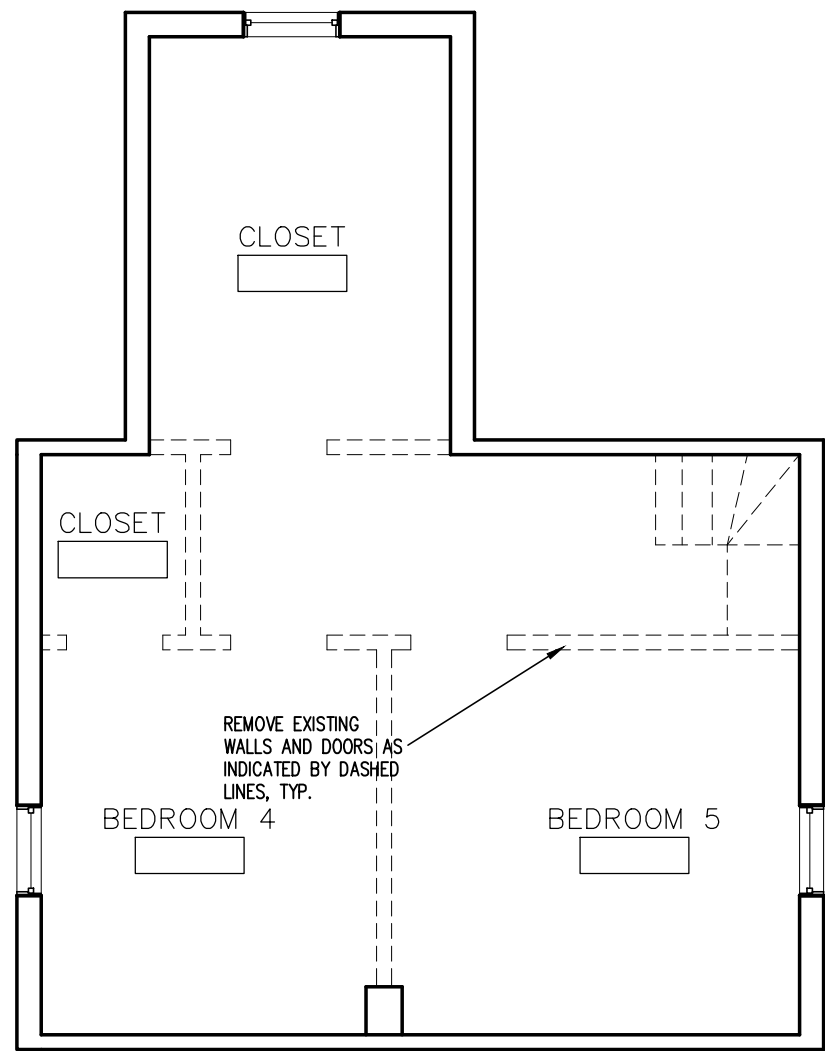
BASEMENT DEMOLITION PLAN
SCALE : 3/16" = 1'-0"



FIRST FLOOR DEMOLITION PLAN
SCALE : 3/16" = 1'-0"



SECOND FLOOR DEMOLITION PLAN
SCALE : 3/16" = 1'-0"

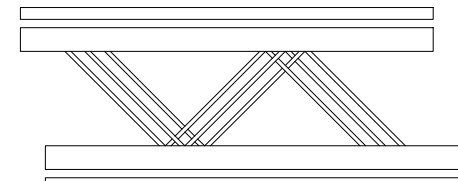


THIRD FLOOR DEMOLITION PLAN
SCALE : 3/16" = 1'-0"

Interior Renovation (New Walls & Finishes,
Upgrade Mechanical, Electrical and Plumbing)
& New Open Rear Porch For:
Serge Olivier
822 North Lockwood Avenue
Chicago, Illinois 60651

REV. NO.	DATE	REMARKS
1	11.25.13	ISSUED FOR PERMIT

Architects



KASIdesigns, P. C.
ARCHITECTURE - CONSTRUCTION - DEVELOPMENT

1157 South Harvey Avenue
Oak Park, Illinois 60304
Telephone: 312.914.2644
Fax: 866.738.9602
kasidesigns@netscape.net

EXISTING FLOOR
PLANS, DEMOLITION
FLOOR PLANS

APPLICATION #	100514966	SHEET NO.
CHECKED BY	KEC	A1.0
DRAWN BY	TKM	
PROJECT NO.	822.01	
DATE	11.19.13	

GENERAL NOTES:

1. PROVIDE SOLID WOOD POST UNDER ALL BEAM BEARING POINTS, MIN. SIZE EQUAL TO WIDTH OF BEAM.
2. PROVIDE 26 GA. G.I. FLASHING AS FOLLOWS:
a. WINDOW AND DOOR DRIP CAPS.
b. AT ALL THROUGH WALL OPENINGS
3. ALL INTERIOR WALLS ARE 2 X 4 (3 1/2") UNLESS DIMENSIONED OR NOTED OTHERWISE
4. PROVIDE 2 X 6 WALL AT ALL PLUMBING LOCATIONS.
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7. ALL FLOOR JOISTS ARE TO BE GRADE 1 SOUTHERN PINE 2 X 10'S AT 16" O.C. WITH BRIDGING.
8. NO MORE THAN 4" PERMITTED BETWEEN RAILING BALUSTERS OR OTHER CONSTRUCTION.
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10. INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, WIRED IN SERIES FOR SIMULTANEOUS ACTUATION. CONNECT TO 110V. SYSTEM
11. INSTALL TYPE 'L' COPPER OR BETTER WATER DISTRIBUTION PIPE ABOVE GROUND, TYPE 'K' BELOW GROUND.
12. ALL EXTERIOR DOORS TO HAVE DEAD BOLT WITH NO LESS THAN 1" THROW. SAID DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.
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8'-0" AND UP	SEE STRUCTURAL	

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LIVE LOAD:

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DEAD LOADS:	
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INSULATION	2 PSF
DECK	3 PSF
STRUCTURE	4 PSF
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HVAC	3 PSF
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SUPERIMPOSED FLOOR LOADS:

LIVE LOADS:	
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MAIN FLOOR	40 PSF
BALCONY	100 PSF
DEAD LOADS:	
PARTITIONS	10 PSF
SHEATHING	3 PSF
STRUCTURE	5 PSF
CEILING	3 PSF
HVAC	3 PSF
MISC	3 PSF

WIND LOADS CRITERIA:

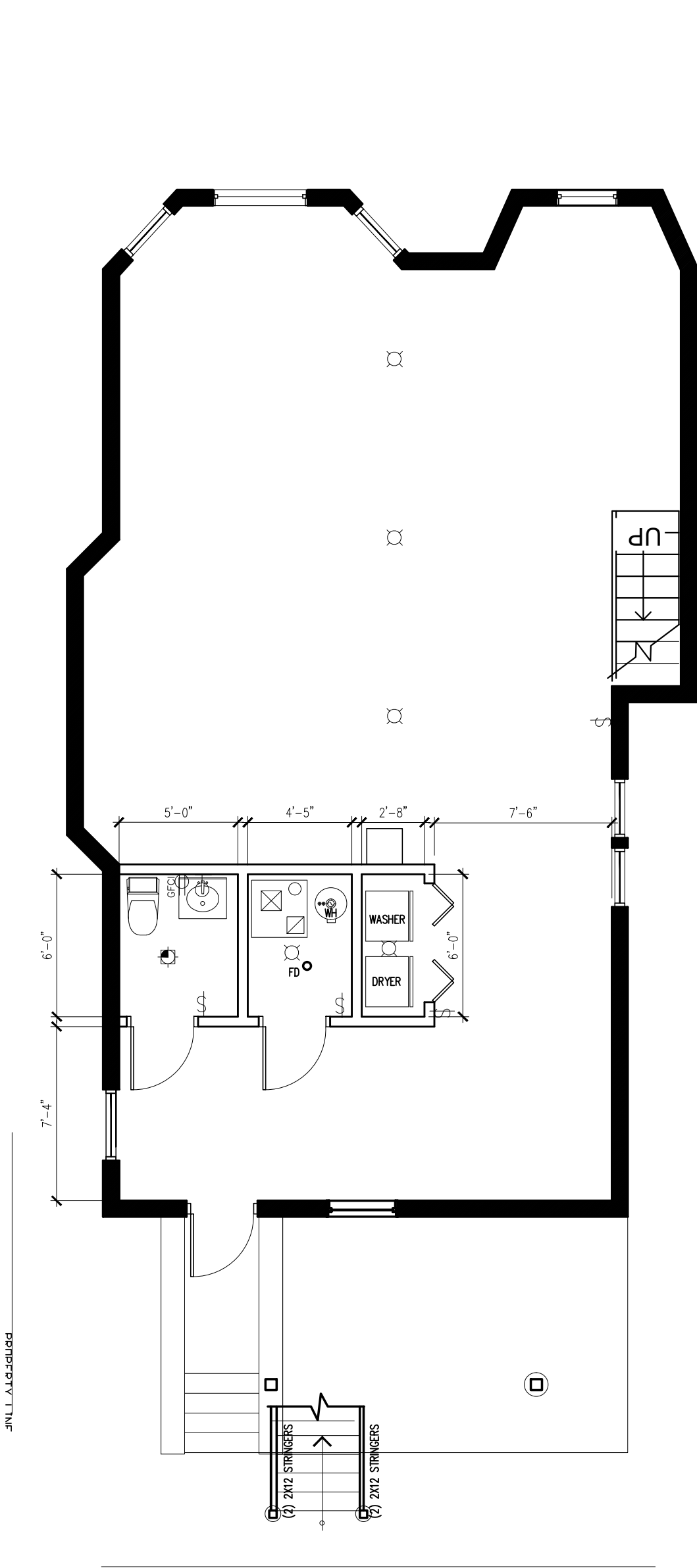
BASIC WIND SPEED	20 PSF UP TO 200'
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WALL LEGEND:

- EXISTING EXTERIOR WALLS -EXISTING BRICK
EXTERIOR W/ NEW 5/8" GYP. BD. ON NEW 2X2 WD. STUDS @ 16" O.C. W/BATT INSULATION
- EXISTING CONSTRUCTION TO REMAIN
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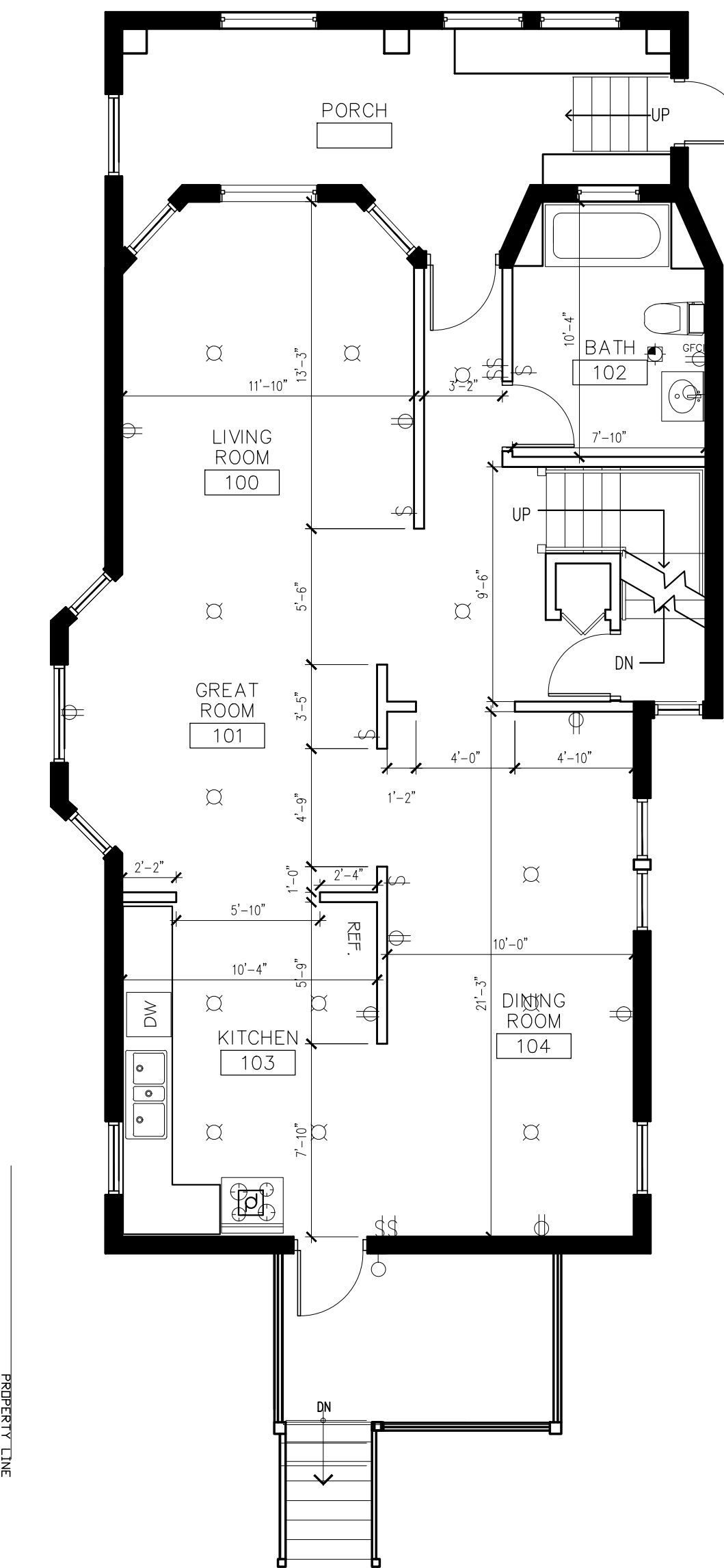
SYMBOLS LEGEND

	GROUNDING DUPLEX RECEPTACLE		DISCONNECT SWITCH
	SINGLE POLE SILENCE WALL SWITCH		100A MAIN BRK 24 1P. PANEL
	3-WAY WALL SWITCH		DOOR CHIME
	LIGHTING FIXTURE-WALL MOUNTED.		CAN OVER SINK
	CEILING MOUNTED FIXTURE		FAN W/ LIGHT (BATHROOM)
	GROUND FAULT INTERRUPTOR		FLOURESCENT LIGHTING FIXTURE
	PROVIDE AFCI (ARC-FAULT CIRCUIT INTERRUPTERS) IN ALL DWELLING UNIT BEDROOMS		SMOKE DETECTOR
	TELEPHONE WALL OUTLET		CARBON MONOXIDE DETECTOR
	CABLE T.V. WALL OUTLET-75 OHMS		FAN W/ LIGHT (BEDROOM)
	WATERPROOF OUTLET		HOT WIRE PHOTO CELL



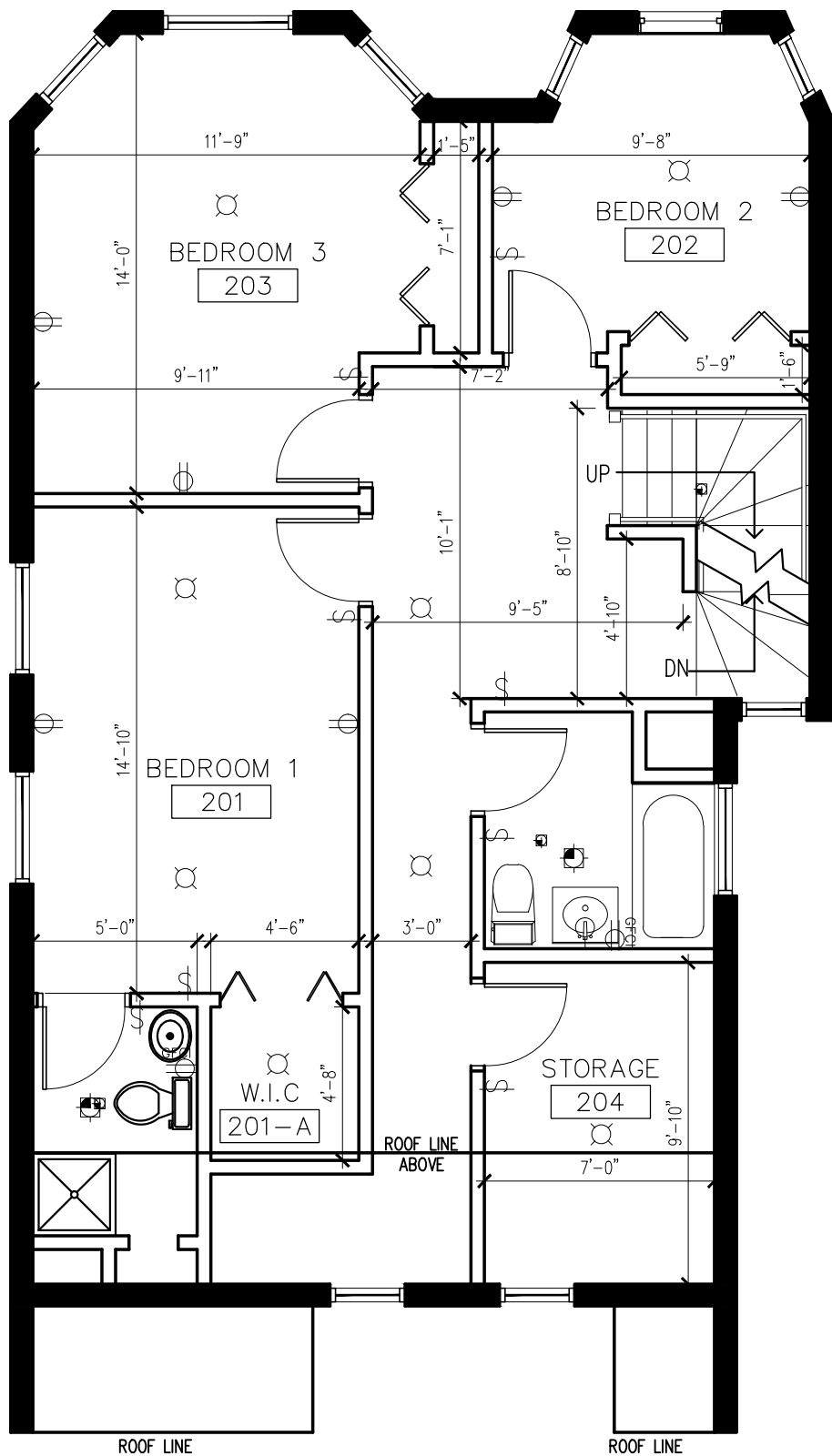
BASEMENT FLOOR PLAN

SCALE : 3/16" = 1'-0"



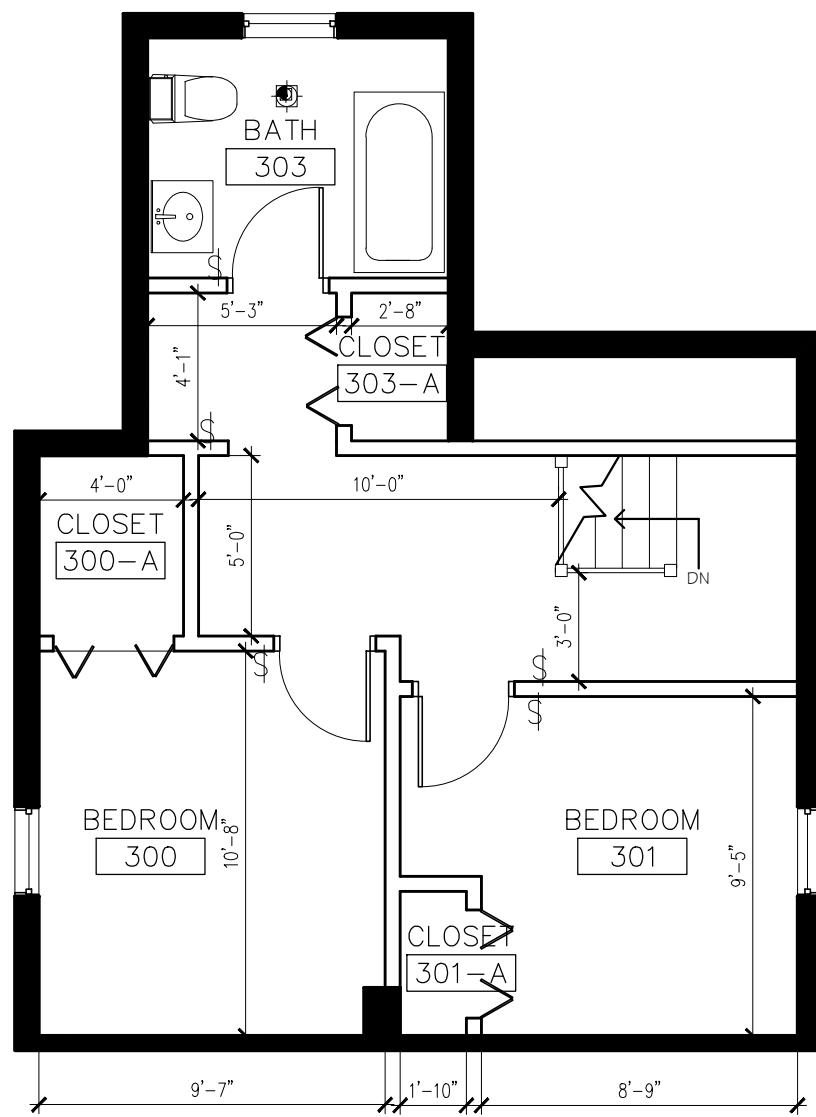
FIRST FLOOR PLAN

SCALE : 3/16" = 1'-0"



SECOND FLOOR PLAN

SCALE : 3/16" = 1'-0"



THIRD FLOOR PLAN

SCALE : 3/16" = 1'-0"

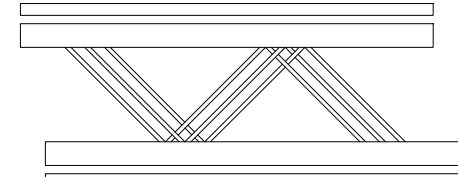
Interior Renovation (New Walls & Finishes,
Upgrade Mechanical, Electrical and Plumbing)
& New Open Rear Porch For:

Serge Olivier

822 North Lockwood Avenue
Chicago, Illinois 60651

REV. NO.	DATE	REMARKS
1	11.25.13	ISSUED FOR PERMIT

Architects

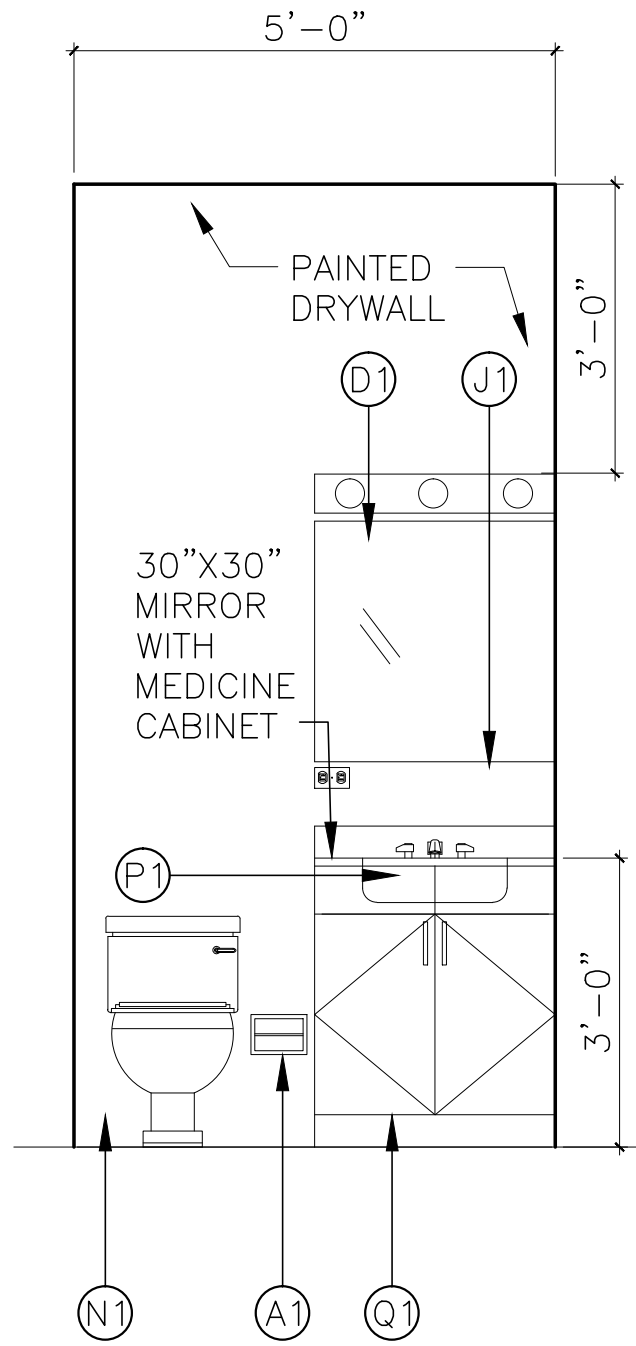


KASIdesigns, P. C.
ARCHITECTURE - CONSTRUCTION - DEVELOPMENT

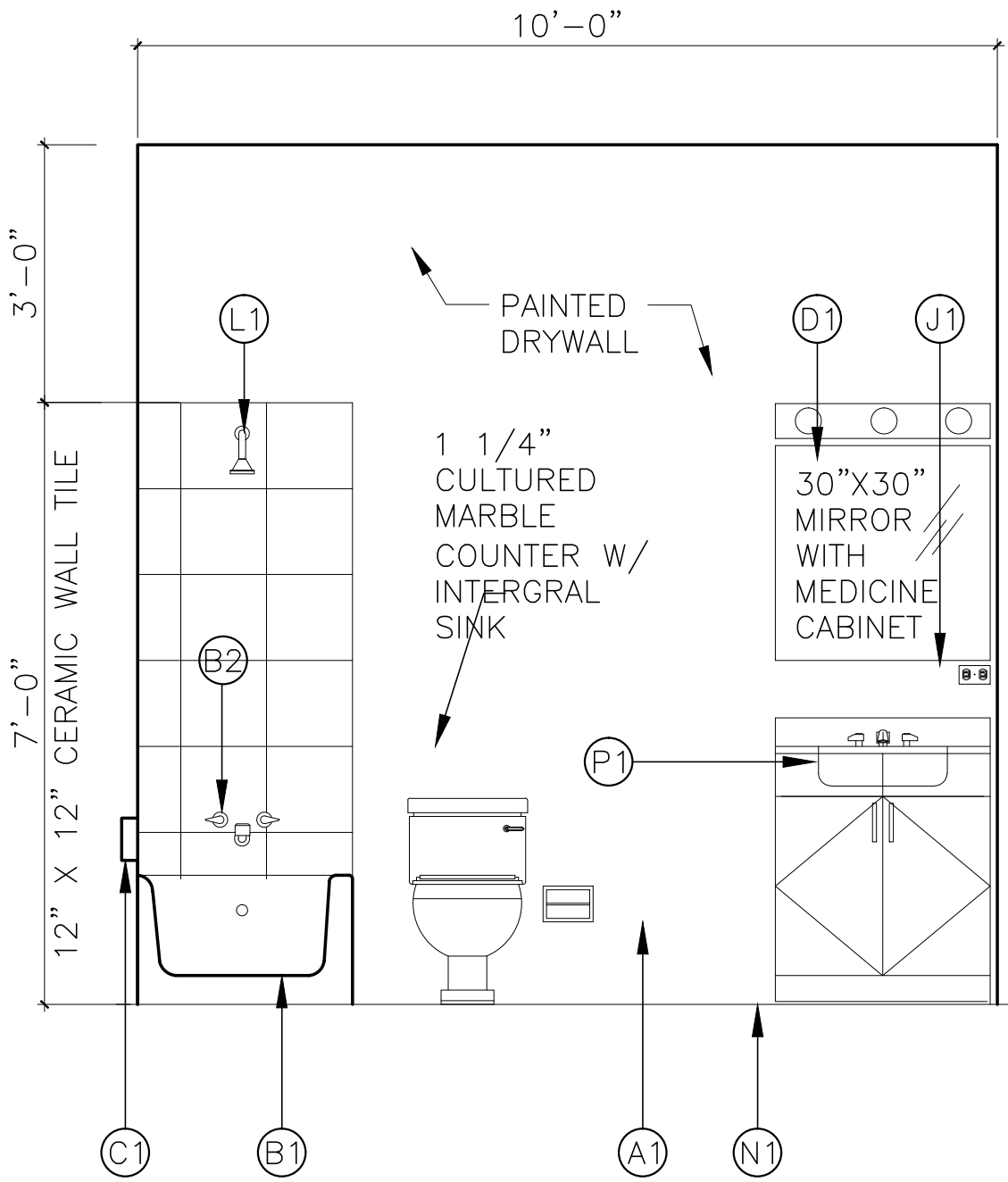
1157 South Harvey Avenue
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Fax: 866.738.9602
kasidesigns@netscape.net

PROPOSED NEW FLOOR
PLANS

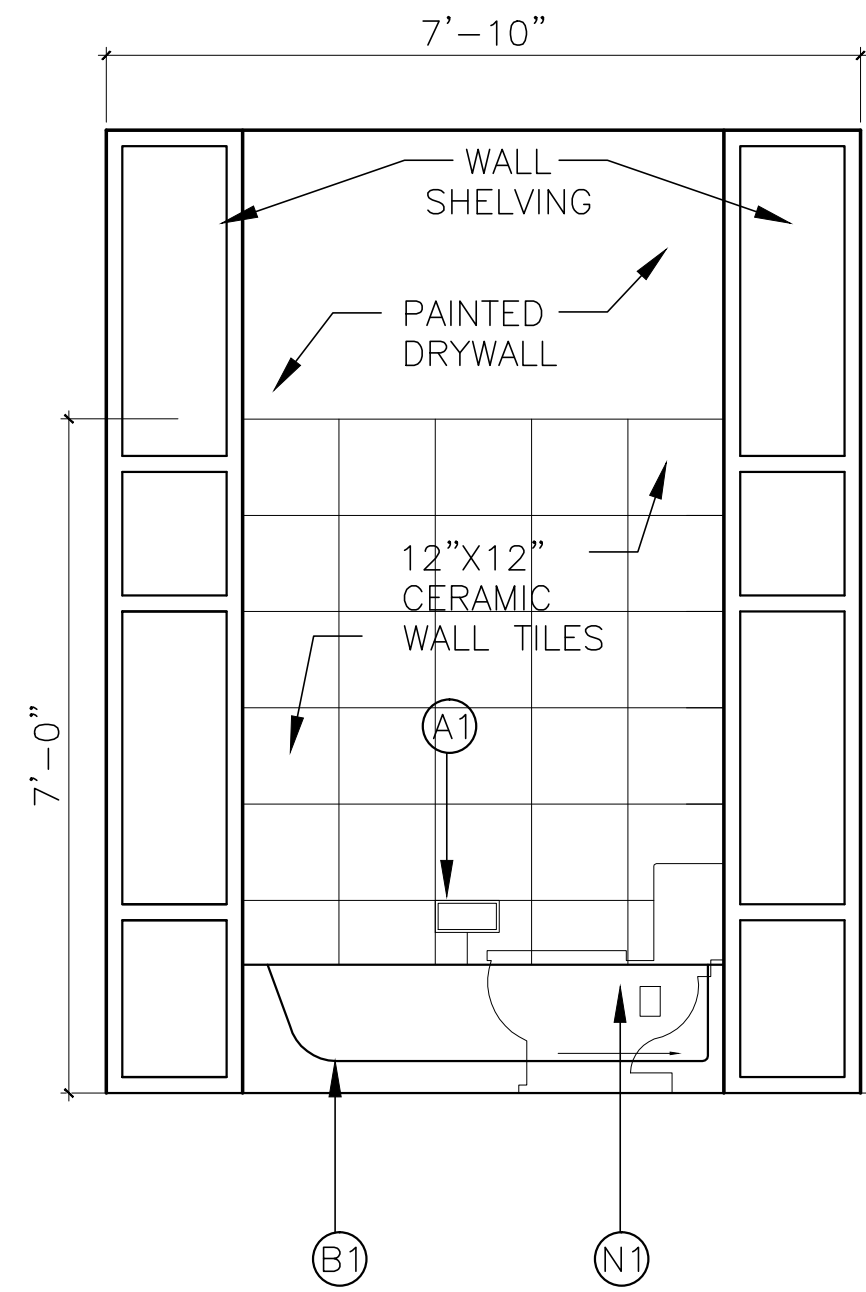
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CHECKED BY	KEC	A1.2
DRAWN BY	TKM	
PROJECT NO.	822.01	
DATE	11.19.13	



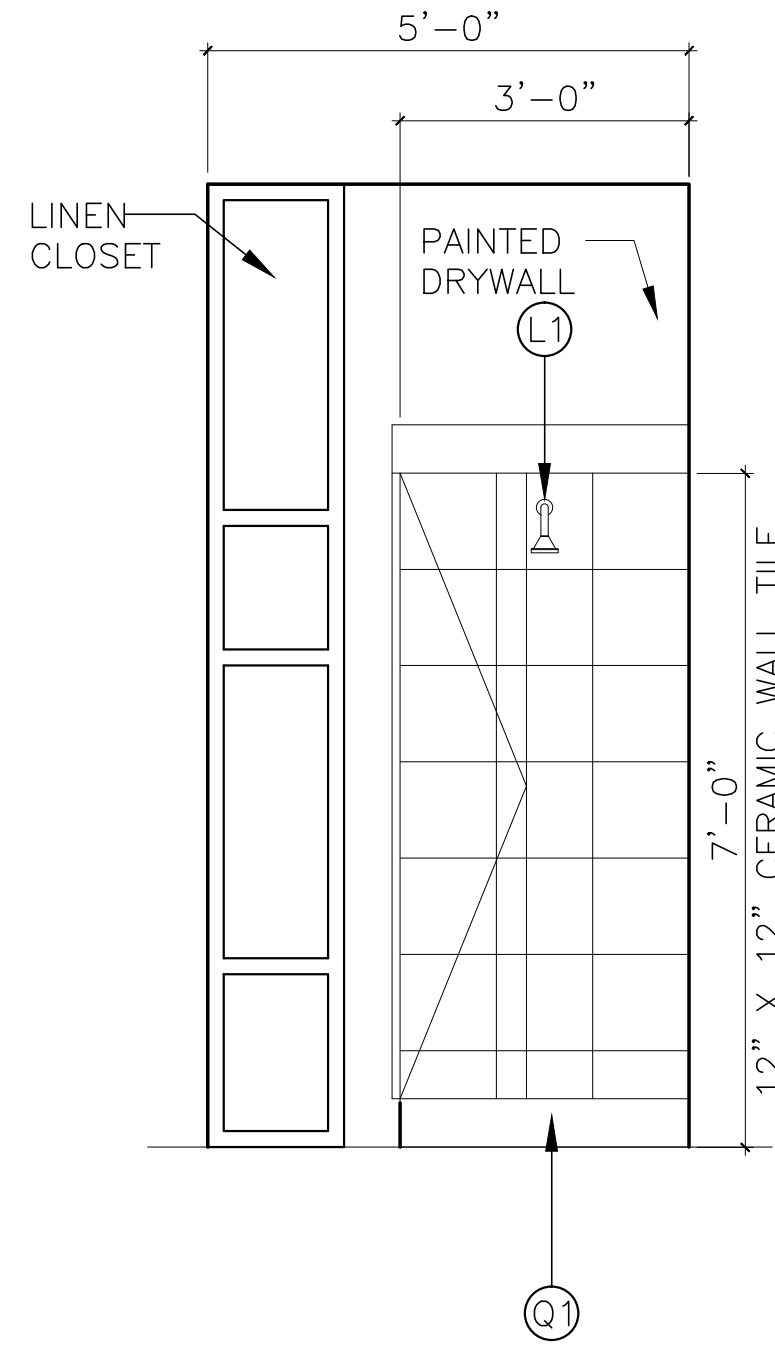
1 BATH #1 INT. ELEV.
SCALE: 1/2"=1'-0"



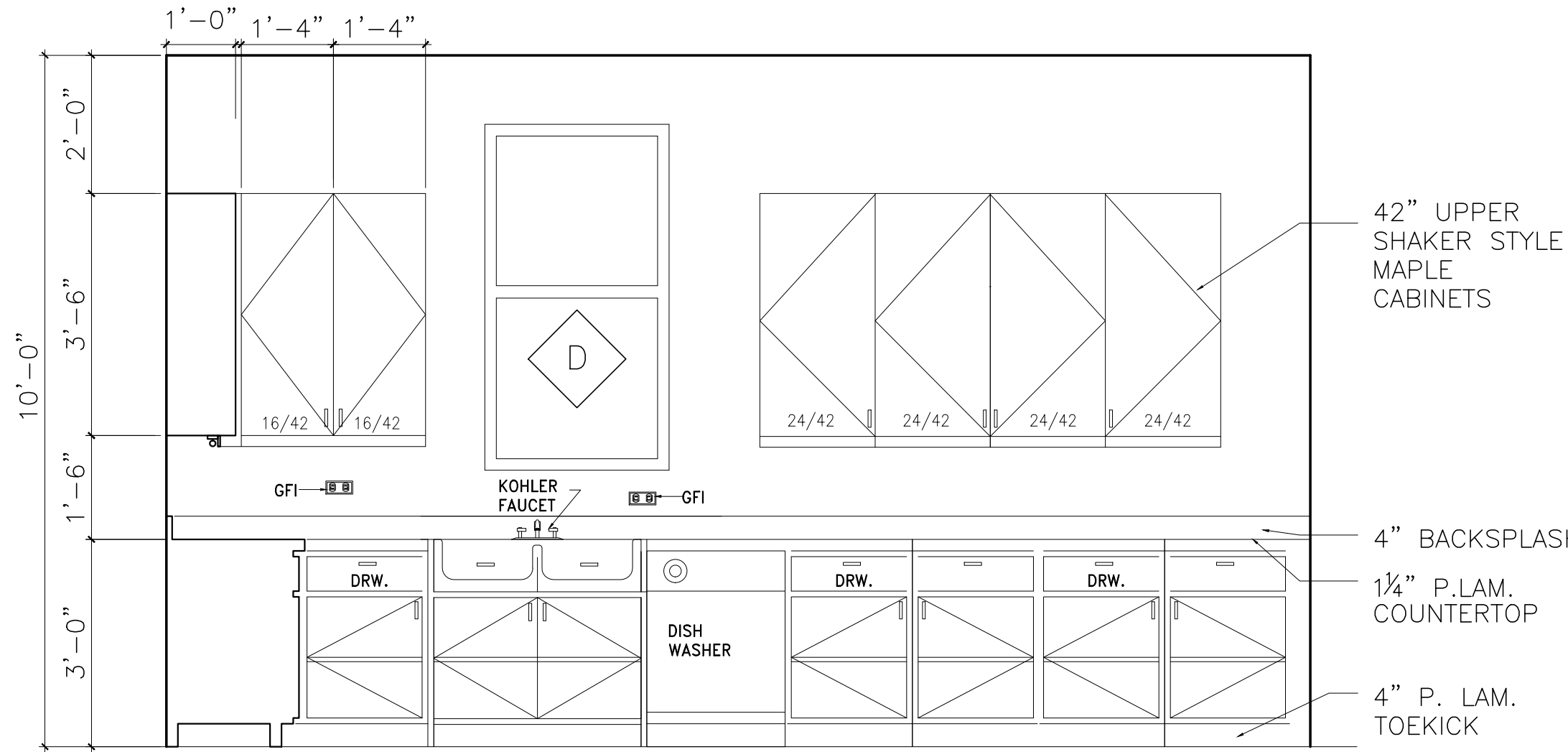
2 BATH #2,#4 INT. ELEV.
SCALE: 1/2"=1'-0"



3 BATH #2 INT. ELEV.
SCALE: 1/2"=1'-0"



4 TYP. BATH #5 INT. ELEV.
SCALE: 1/2"=1'-0"



5 KITCHEN ELEVATION
SCALE: 1/2"=1'-0"

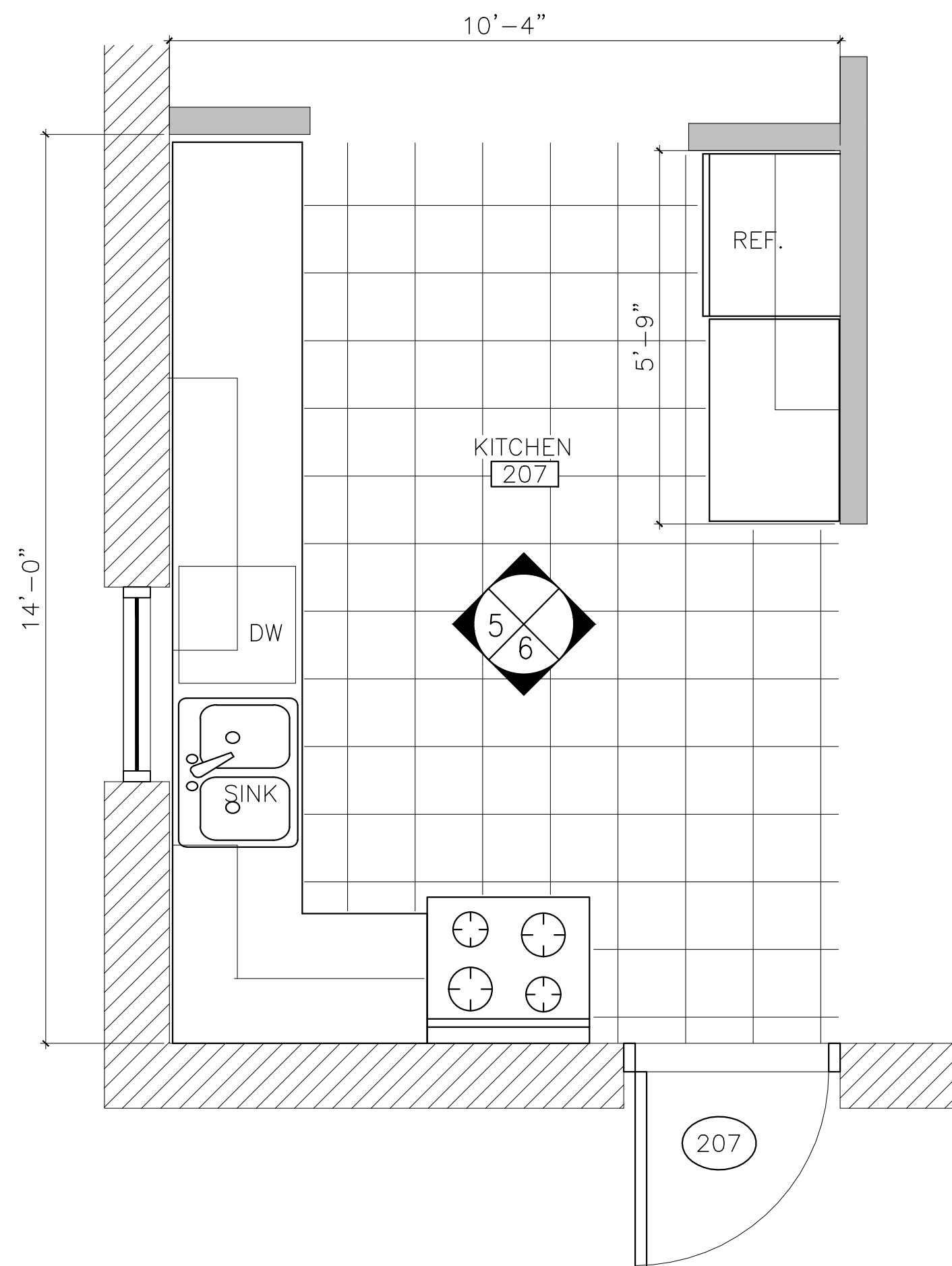
INTERIOR ELEV. NOTES:

RESTROOMS

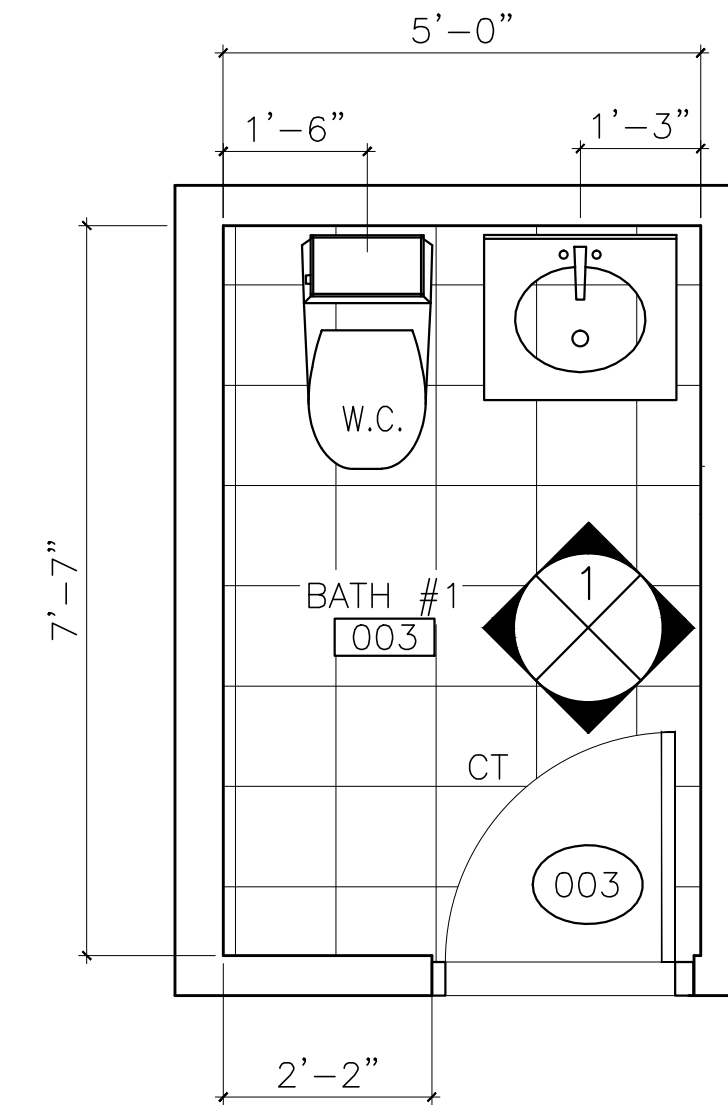
1. THE TOP OF THE LAVATORY SHOULD BE NO MORE THAN 34" A.F.F.
2. THE BOTTOM OF THE LAVATORY SHOULD BE NO MORE THAN 29" A.F.F.
3. THE TOILET CENTERLINE SHOULD BE AT 18" FROM THE CLOSEST WALL
4. THE TOILET SEAT HEIGHT SHOULD BE 15" TO 19" A.F.F.
5. PROVIDE & INSTALL GFI OUTLETS IN KITCHENS AND BATHROOMS PER ELEC. DWGS.
6. PROVIDE & INSTALL ALL AMERICAN STANDARD PLUMBING FIXTURES & KOHLER BATH FAUCETS

PLUMBING FIXTURES & ACCESSORIES KEY

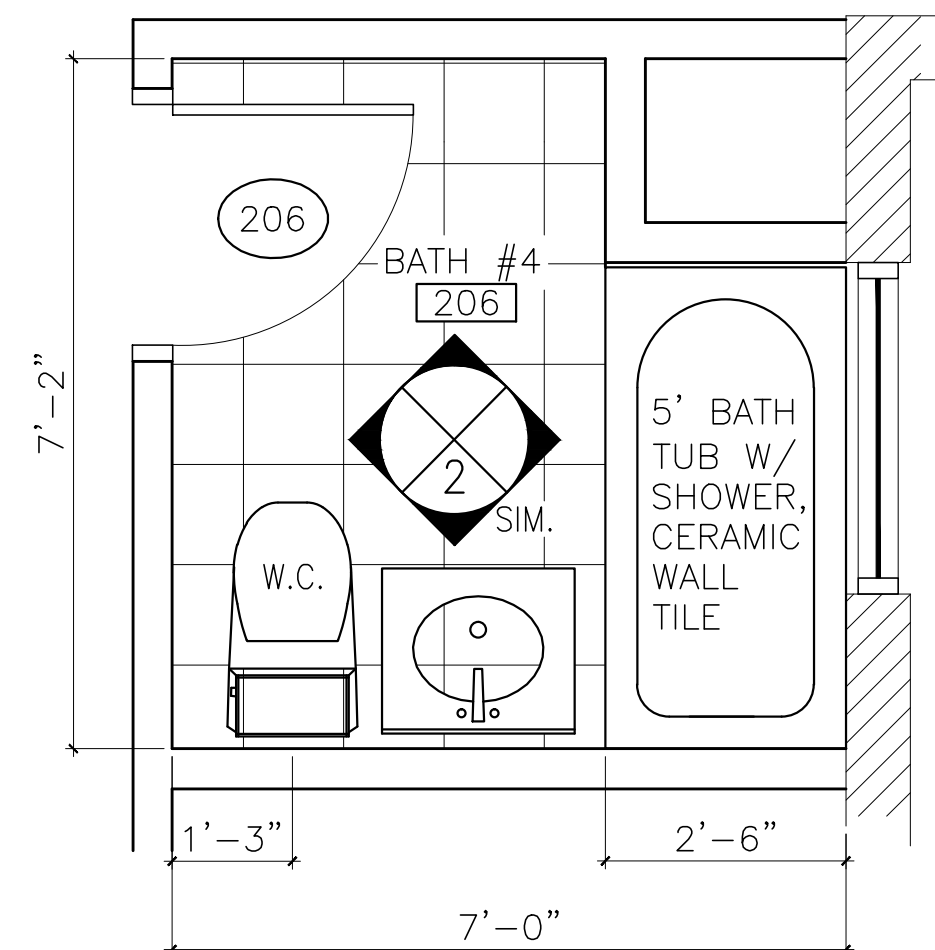
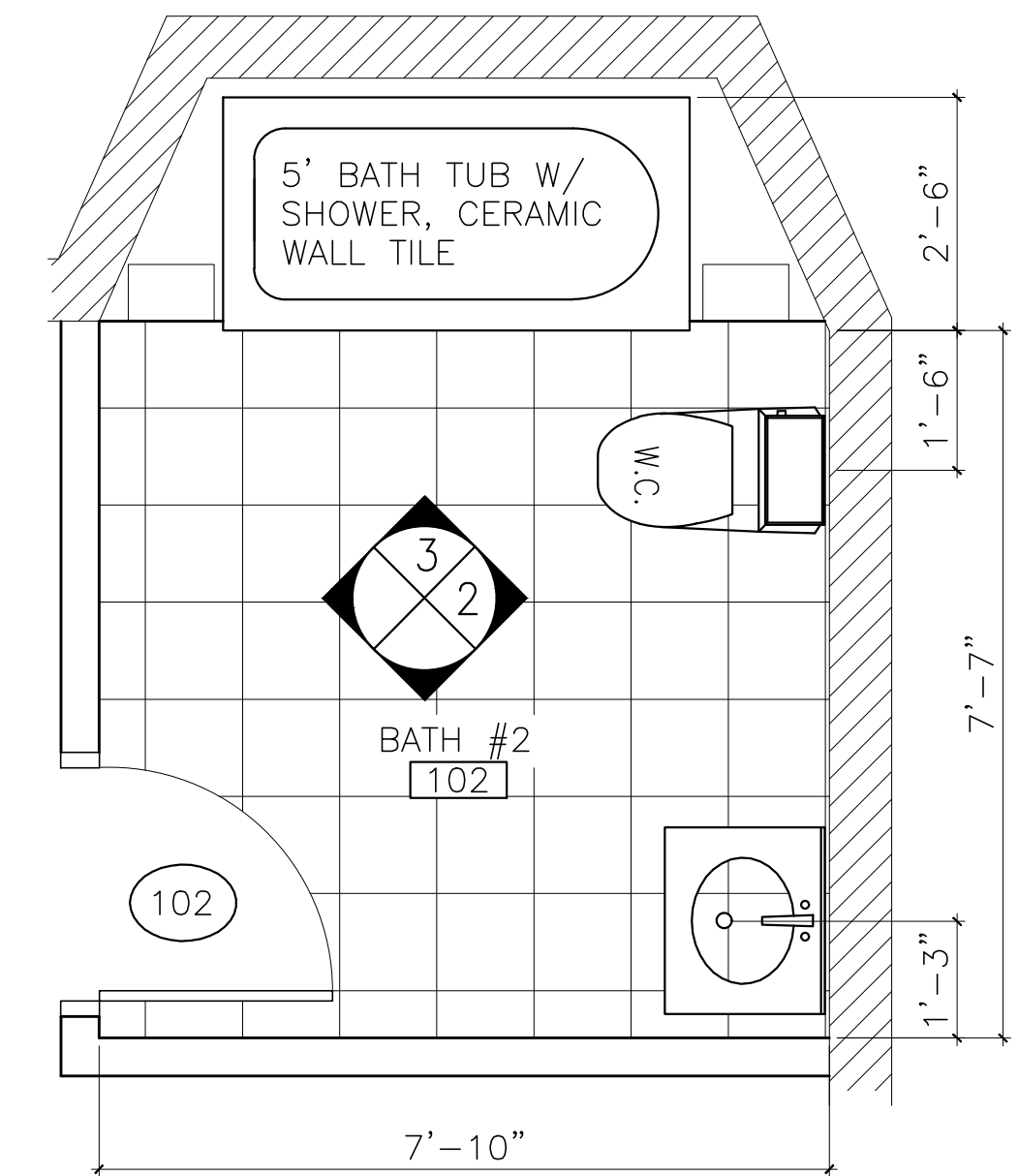
- A1 TOILET PAPER DISPENSER
- B1 BATH TUB
- B2 BATH TUB CONTROLS
- C1 SOAP DISPENSER
- D1 MIRROR
- E1 36" & 42" ADA GRAB BARS W/ FIRE-TREATED WOOD BLOCKING IN WALL
- F1 TOWEL ROD
- J1
- L1 SHOWER HEAD W/ SHOWER VALVE
- N1 WATER CLOSET
- P1 LAVATORY
- Q1 PRE-FAB SHOWER ENCLOSURE



8 KITCHEN FLOOR PLAN
SCALE: 1/2"=1'-0"



9 TYP. BATHROOM FLOOR PLANS
SCALE: 1/2"=1'-0"



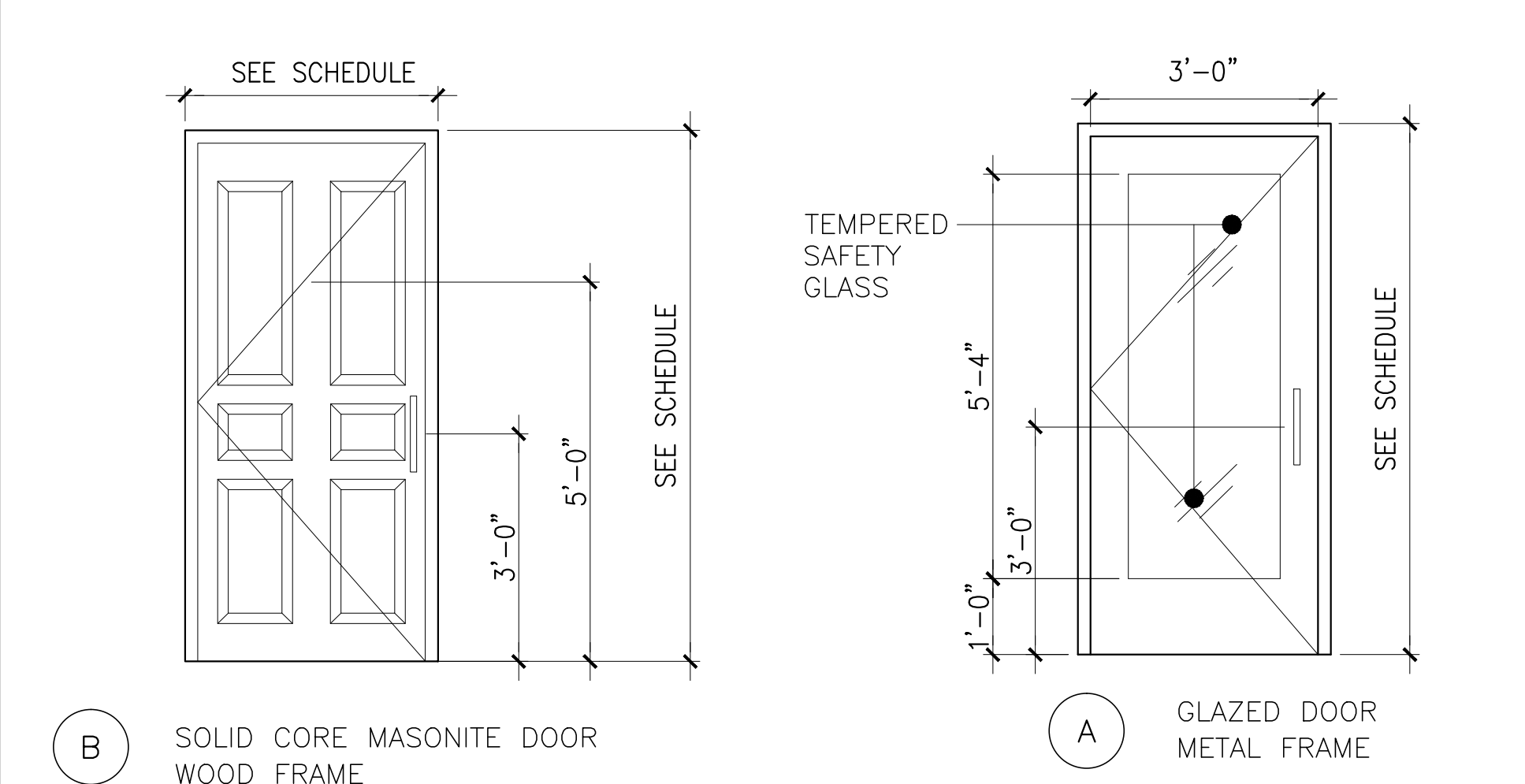
THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT; AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Interior Renovation (New Walls & Finishes,
Upgrade Mechanical, Electrical and Plumbing)
& New Open Rear Porch For:
Serge Olivier
822 North Lockwood Avenue
Chicago, Illinois 60651

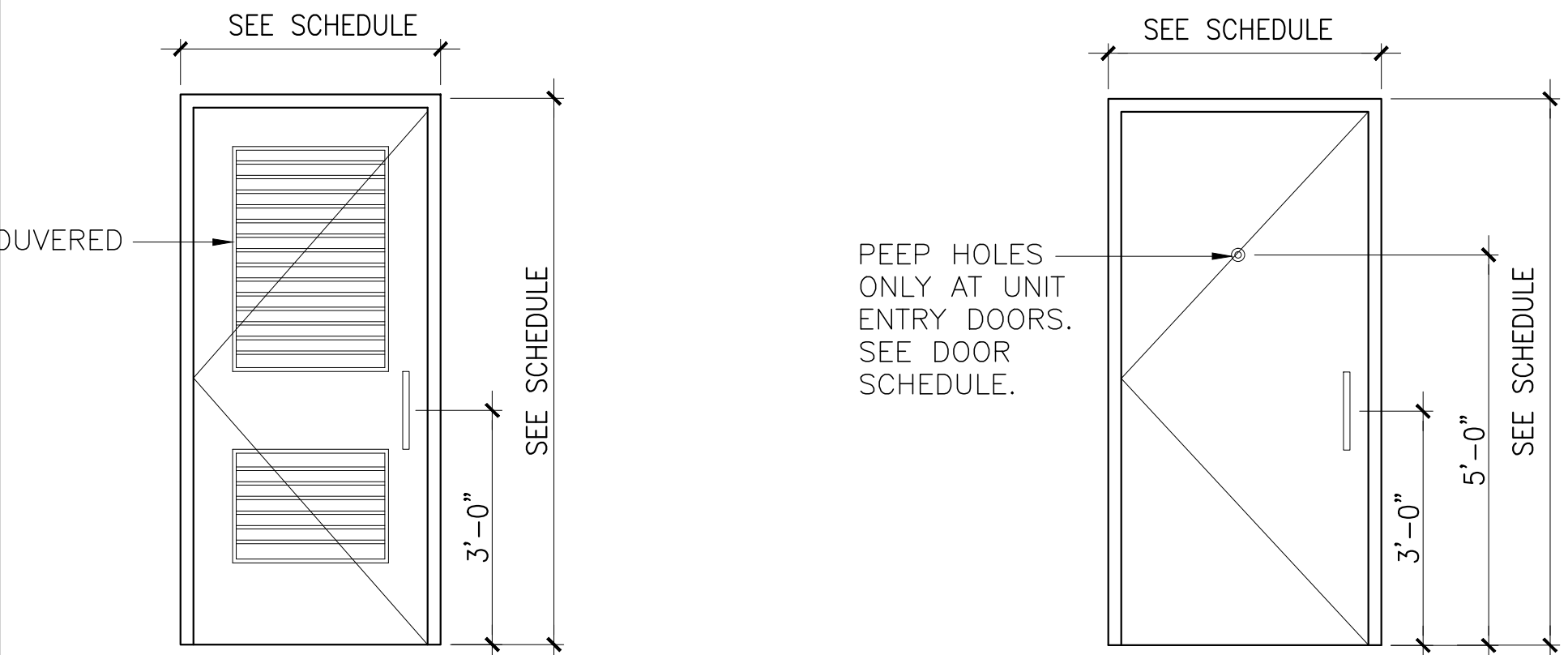
Architects
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TYPICAL KITCHEN AND
BATHROOM PLANS,
DETAILS & ELEVATIONS

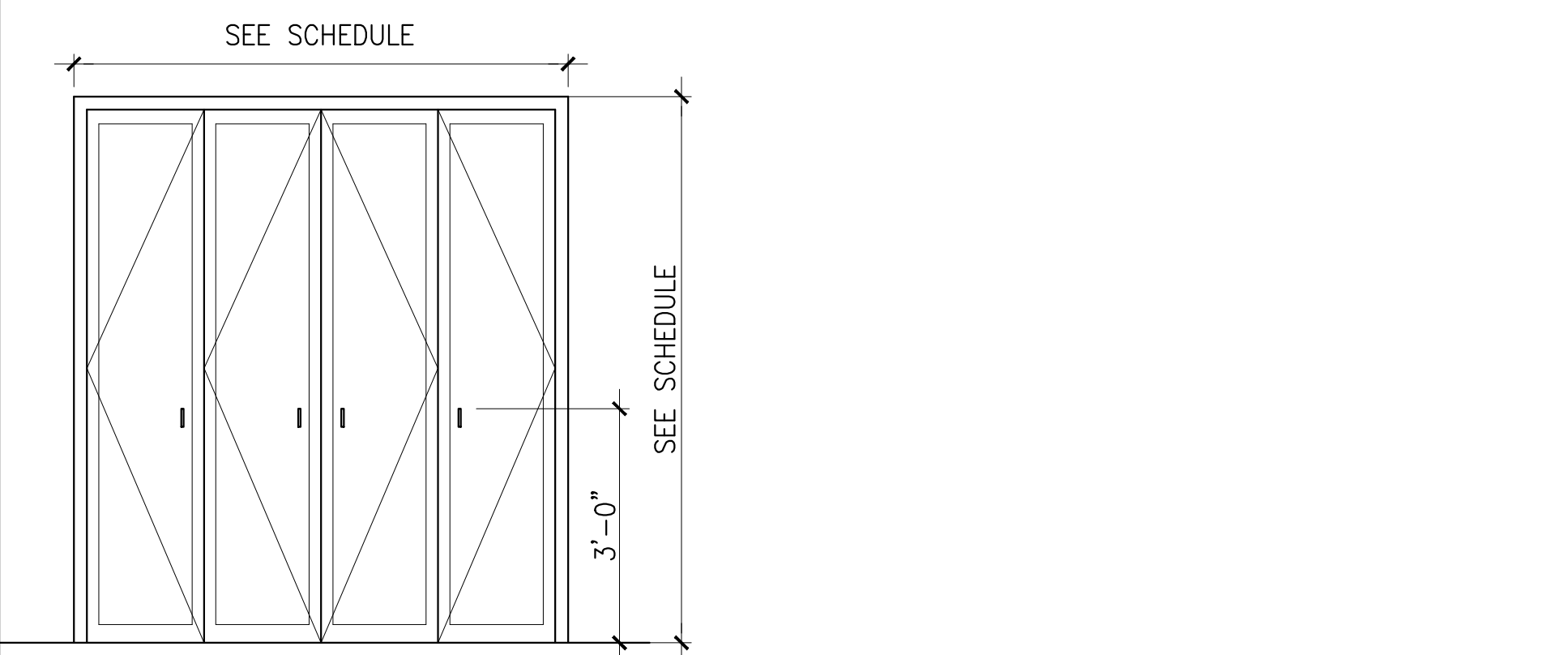
APPLICATION #	100514966	SHEET NO.
CHECKED BY	KEC	A3.0
DRAWN BY	TKM	
PROJECT NO.	822.01	
DATE	11.19.13	



B SOLID CORE MASONITE DOOR
WOOD FRAME



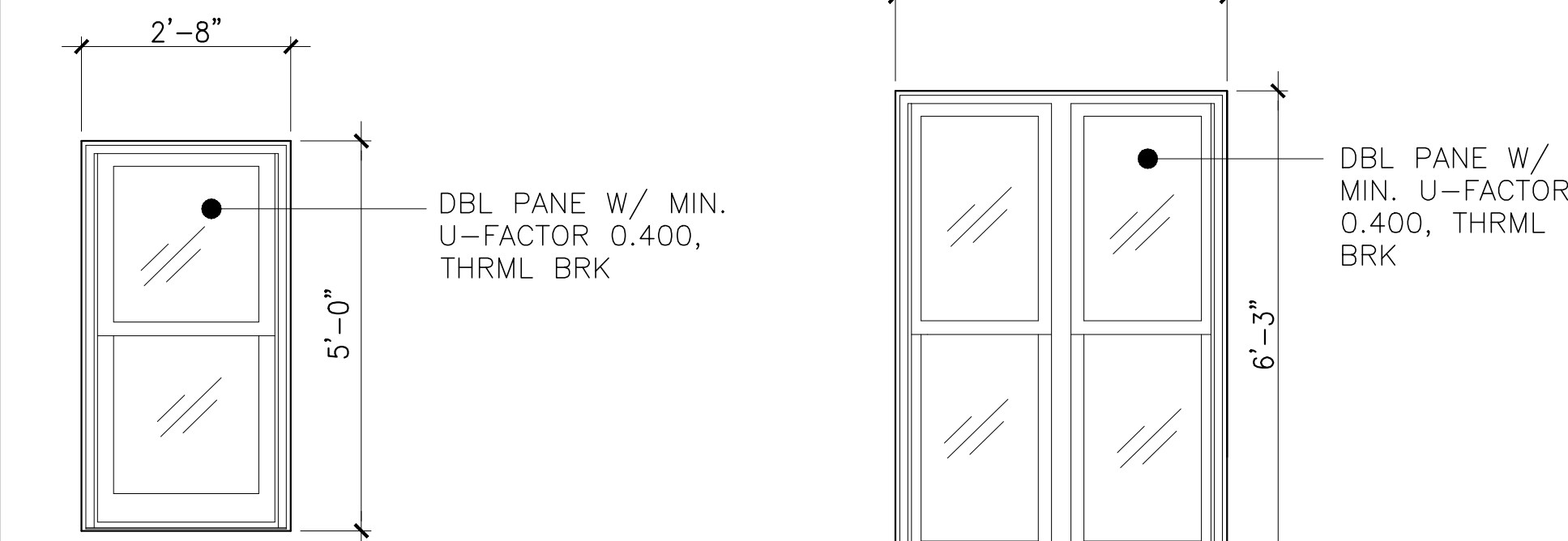
D SOLID CORE MASONITE DOOR,
WOOD FRAME



E SOLID CORE MASONITE BI-FOLD,
WOOD FRAME

1 DOOR TYPES

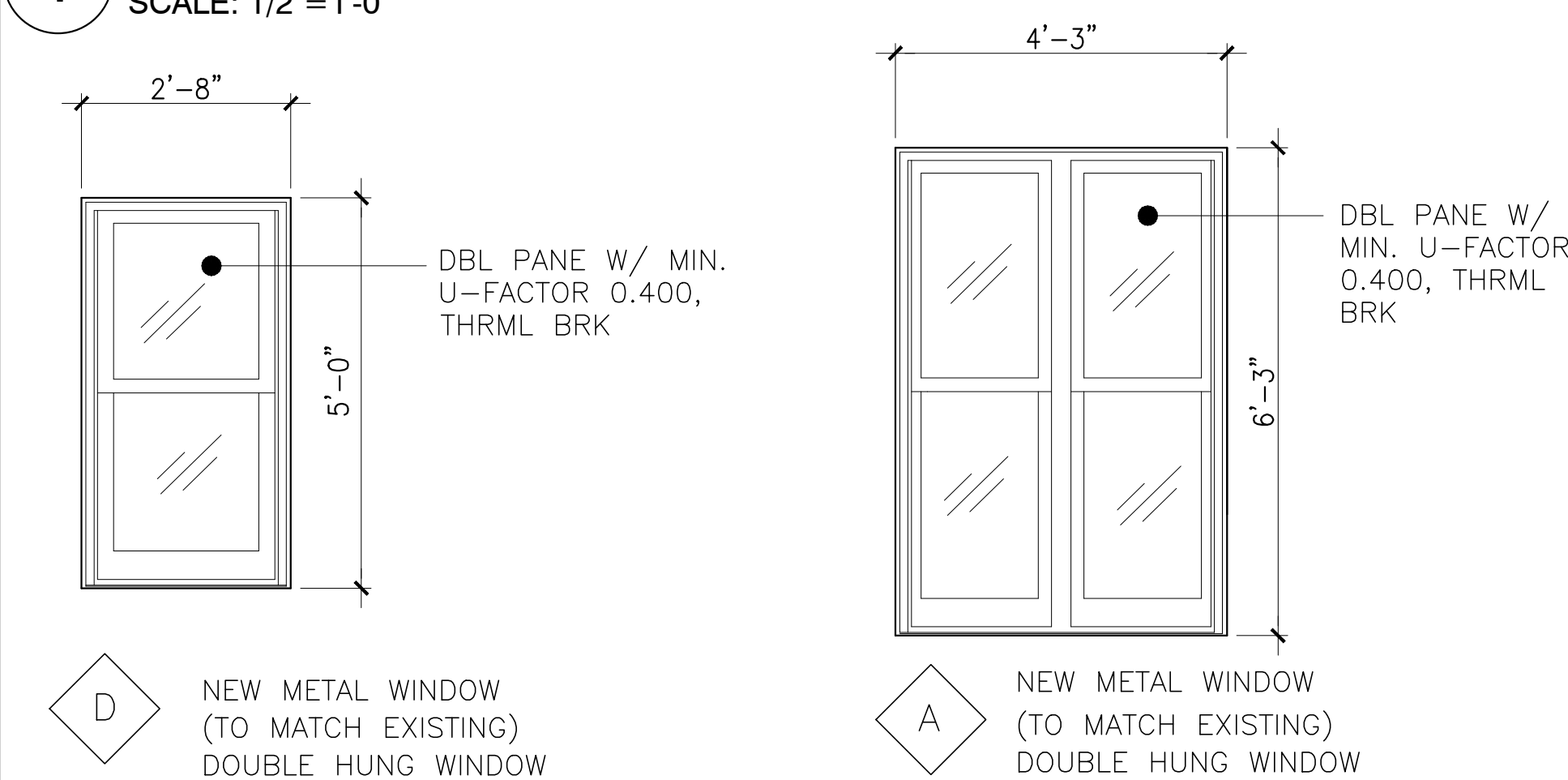
SCALE: 1/2"=1'-0"



D NEW METAL WINDOW
(TO MATCH EXISTING)
DOUBLE HUNG WINDOW

2 WINDOW TYPES

SCALE: 1/2"=1'-0"



A NEW METAL WINDOW
(TO MATCH EXISTING)
DOUBLE HUNG WINDOW

GENERAL NOTES - DOORS

- CONTRACTOR SHALL VERIFY ALL EXISTING ROUGH OPENINGS BEFORE ORDERING DOORS.
- ALL 1S FLOOR DOORS TO REMAIN KEYLESS IN THE DIRECTION OF EGRESS.
- PROVIDE WEATHERSTRIPPING AT ALL EXTERIOR DOORS.
- INSTALL LEVER HANDLES AT ALL H.C. ROOMS
- ALL DOOR HARDWARE MUST BE ADA COMPLIANT.
- DOOR OPENING FORCE SHALL BE 5 lb. MAXIMUM.
- ALL HANDICAPPED DOORS REQUIRE A MINIMUM OF 36 INCHES CLEAR DOOR OPENING WIDTH.
- A CLEAR FLOOR SPACE OF 18" IS REQUIRED AT THE PULL SIDE OF H.C. ROOM DOORS.
- THRESHOLD HEIGHT SHALL BE NO GREATER THAN 1/2".
- ALL BUILDING ENTRANCE DOORS SHALL COMPLY W/ SECTION 13-164-030 AND 040 OF C.B.C. , TO BE CLASS B DOORS W/ SELF CLOSER
- ALL GLAZING IN DOOR, SIDE LIGHTS, AND TRANSOMS SHALL BE IMPACT RESISTANT TEMPERED SAFETY GLASS, DOUBLE PANE W/ MIN. U-FACTOR OF 0.400 & THERMAL BREAK.

GENERAL NOTES - WINDOWS

- CONTRACTOR SHALL VERIFY ALL EXISTING ROUGH OPENINGS BEFORE ORDERING WINDOWS.
- ALL WINDOW GLAZING SHALL BE IMPACT RESISTANT TEMPERED SAFETY GLASS. DBL. PANE W/ MIN. U-FACTOR OF 0.400 & THERMAL BREAK.

DOOR SCHEDULE

DOOR NO.		TYPICAL LOCATION	DOOR						FRAME			DETAIL			HDWE. SET #	LABEL (FIRE RATING)	REMARKS
			DOOR OPENING SIZE			TYPE	MAT'L	FINISH	TYPE	MAT'L	FINISH	HEAD	JAMB	SILL			
			W	H	T												
1st FL.	100A	FOYER	3'-4"	7'-0"	1 3/4"	A	MTL & GLSS.	PAINTED	A	MTL.	PAINTED	6/A-4.0	6/A-4.0	7/A-4.0	-	-	GLAZED W/ SELF CLOSER
	102A	BATH #1	3'-4"	7'-0"	1 3/4"	B	SC, MASONITE	PAINTED	B	MTL.	PAINTED	6/A-4.0	6/A-4.0	7/A-4.0	-	-	6 PANEL MASONITE
	103A	KITCHEN	3'-4"	7'-0"	1 3/4"	C	HM	PAINTED	C	HM	PAINTED	6/A-4.0	6/A-4.0	7/A-4.0	-	-	HM W/ PEEP HOLE
2nd FL.	201A,202A,203A	BEDROOM ENTRY	3'-4"	6'-8"	1 3/4"	B	SC, MASONITE	PAINTED	B	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	-	-	6 PANEL MASONITE
	201B,202B,203B	BEDROOM CLOSET	3'-2"	6'-8"	1 3/4"	E	SC, MASONITE	PAINTED	B	WOOD	PAINTED	9/A-4.0	9/A-4.0	11/A-4.0	-	-	BI-FOLD, PAIR
	200B,201B	BATHROOMS	4'-0"	6'-8"	1 3/4"	B	SC, MASONITE	PAINTED	B	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	-	-	6 PANEL MASONITE
	204A	REAR ENTRY	3'-0"	6'-8"	1 3/4"	B	SC, MASONITE	PAINTED	B	WOOD	PAINTED	9/A-4.0	9/A-4.0	11/A-4.0	-	-	6 PANEL MASONITE
3rd FL.	201A,202A,203A	BEDROOM ENTRY	3'-4"	7'-0"	1 3/4"	B	SC, MASONITE	PAINTED	B	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	-	-	6 PANEL MASONITE
	201B,202B,203B	BEDROOM CLOSET	3'-2"	6'-8"	1 3/4"	E	SC, MASONITE	PAINTED	B	WOOD	PAINTED	9/A-4.0	9/A-4.0	11/A-4.0	-	-	6 PANEL MASONITE
	200B,201B	BATHROOMS	4'-0"	6'-8"	1 3/4"	B	SC, MASONITE	PAINTED	B	WOOD	PAINTED	10/A-4.0	14/A-4.0	11/A-4.0	-	-	6 PANEL MASONITE

WINDOW SCHEDULE

KEY	WINDOW		DETAIL			A.F.F.	REMARKS	
	WIN. OPENING SIZE		TYPE	HEAD	JAMB			SILL
	W	H						
A	4'-3"	6'-3"	DOUBLE HUNG				EXISTING/NEW DBL PANE, U-FACTOR 0.400	
B	8'-4"	6'-3"	DOUBLE HUNG/FIXED				EXISTING TO REMAIN	
C	3'-6"	6'-3"	DOUBLE HUNG				EXISTING TO REMAIN	

ROOM FINISH SCHEDULE

	ROOMS	FLOOR						BASE	WALLS	CEILING		REMARKS						
RM. #	ROOM NAME	MATERIALS						MATERIALS	MATERIALS	MATERIALS								
		12"x12" STONE TILES	12"x12" CERAMIC TILES	CARPET	16" X 16" MARBLE TILES	PRE-FINISHED WOOD 3/4" RED OAK – POLISHED	CONC. SLB-SMOOTH TROWELED	4" WOOD BASE (WB) –PAINTED	4" CERAMIC COVE BASE(CCB)	NO BASE	PAINTED GYP. BD. (PGB)	CERAMIC WALL TILE (CWT)	12"x12" MARBLE TILES	GYPSUM BD – PAINTED	2X2 LAY-IN ACOUSTICAL TILES	EXPOSED SLAB	CEILING HEIGHT	
100	FOYER		o				o	o	o		o			o			±12'-0"	
102	BATH #1		o					o	o		o			o			±12'-0"	
103A	KITCHEN		o					o	o		o			o			VARIES	
201,202,203	BEDROOM ENTRY			o				o	o		o			o			±12'-0"	
201,202,203	BEDROOM CLOSET			o				o	o		o			o			±10'-0"	
200,201	BATHROOMS		o					o	o		o	o		o			±10'-0"	
204A	REAR ENTRY		o					o	o		o			o			±10'-0"	
201A,202A,203A	BEDROOM ENTRY			o				o	o		o			o			±10'-0"	
201B,202B,203B	BEDROOM CLOSET			o				o	o		o			o			±10'-0"	
200B,201B	BATHROOMS							o			o	o		o				

FLOOR FINISH LEGEND

MATERIAL	MANUFACTURER	DESCRIPTION		REMARKS	
MARBLE WALL AND FLOOR TILES	XXXXX	STYLE: XXXXXX	COLOR: XXXXXX	MASTER BATHROOM	SIZE: 12"x12"
CERAMIC FLOOR TILE	US CERAMIC TILE COMPANY	STYLE: BRIGHT	COLOR: ALMOND (U-779)	SIZE: 12" X 12"	

WALL FINISH LEGEND

MATERIAL	MANUFACTURER	DESCRIPTION		REMARKS	
PAINT GYPSUM BOARD	BENJAMIN MOORE	STYLE: HISTORICAL COLORS (84)	COLOR: ELMIRA WHITE	OTHER COLORS AS SELECTED BY ARCHITECT	

BASE FINISH LEGEND

MATERIAL	MANUFACTURER	DESCRIPTION		REMARKS	
WOOD BASE, PAINTED WHITE	XXXX	STYLE: STANDARD	COLOR: WHITE	SIZE: 4" H	

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Interior Renovation (New Walls & Finishes,
Upgrade Mechanical, Electrical and Plumbing)
& New Open Rear Porch For:
Serge Olivier
822 North Lockwood Avenue
Chicago, Illinois 60651

REV. NO.	DATE	REMARKS
1	11.25.13	ISSUED FOR PERMIT

Architects

KASIdesigns, P. C.
ARCHITECTURE - CONSTRUCTION - DEVELOPMENT
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Telephone: 312.914.2644
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WALL TYPES, DOOR
TYPES, SCHEDULES

APPLICATION #	100514966	SHEET NO.
CHECKED BY	KEC	A5.0
DRAWN BY	TKM	
PROJECT NO.	822.01	
DATE	11.19.13	

GENERAL NOTES:

1. PROVIDE SOLID WOOD POST UNDER ALL BEAM BEARING POINTS, MIN. SIZE EQUAL TO WIDTH OF BEAM.

2. PROVIDE 26 GA. G.I. FLASHING AS FOLLOWS:
a. WINDOW AND DOOR DRIP CAPS.
b. AT ALL THROUGH WALL OPENINGS

3. ALL INTERIOR WALLS ARE 2 X 4 (3 1/2") UNLESS DIMENSIONED OR NOTED OTHERWISE

4. PROVIDE 2 X 6 WALL AT ALL PLUMBING LOCATIONS.
5. FIGURED DIMENSIONS SHALL GOVERN - CONSULT WITH ARCHITECT IN CASE OF DISCREPANCY.

6. ALL FLOOR JOISTS UNDER BATH AREAS AND WALLS PARALLEL TO THE JOISTS SHALL BE DOUBLED.

7. ALL FLOOR JOISTS ARE TO BE GRADE 1 SOUTHERN PINE 2 X 10'S AT 16" O.C. WITH BRIDGING.

8. NO MORE THAN 4" PERMITTED BETWEEN RAILING BALUSTERS OR OTHER CONSTRUCTION.
9. NO MORE THAN 12" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6' FROM AN OPENING IN A WALL.

10. INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, WIRED IN SERIES FOR SIMULTANEOUS ACTUATION. CONNECT TO 110V. SYSTEM

11. INSTALL TYPE 'L' COPPER OR BETTER WATER DISTRIBUTION PIPE ABOVE GROUND, TYPE 'K' BELOW GROUND.
12. ALL EXTERIOR DOORS TO HAVE DEAD BOLT WITH NO LESS THAN 1" THROW. SAID DOORS TO BE KEYLESS IN DIRECTION OF EGRESS.

13. LIGHTS IN CLOTHES CLOSETS TO BE INSTALLED IN COMPLIANCE WITH N.E.C. 1993 410-8.
14. PROVIDE METAL JOIST HANGERS @ STAIR MEMBERS.

15. EXPOSED KRAFT PAPER SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS.

15. ALL EXTERIOR DOORS SHALL BE IDENTICALLY KEYED.

16. WATER RESISTIVE DRYWALL SHALL BE INSTALLED AT ALL BATH AND SHOWER ROOMS AND ALL OTHER AREAS SUBJECTED TO MOISTURE AS NOTED.

17. 100 S.F. OF 5/8" FIRERATED DRYWALL SHALL BE INSTALLED CENTERED OVER FURNACE AND WATER HEATER.
18. ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS I FLAME SPREAD RATING OF 0-25

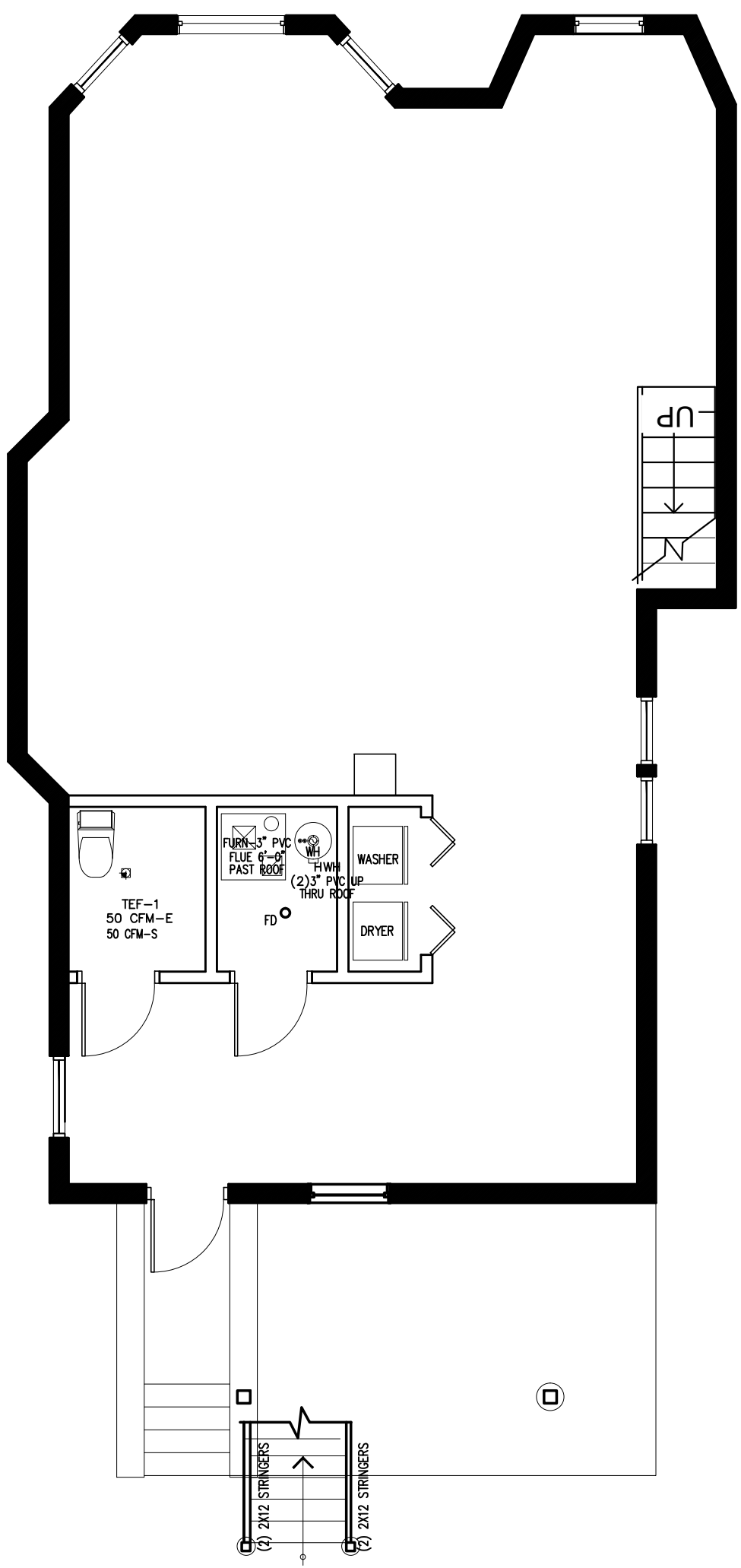
19. ALL STAIRS SHALL HAVE SOLID TREADS, RISERS, AND PLATFORM.

20. ALL EXIT DOORS SHALL COMPLY WITH SECTION (13-16-200)

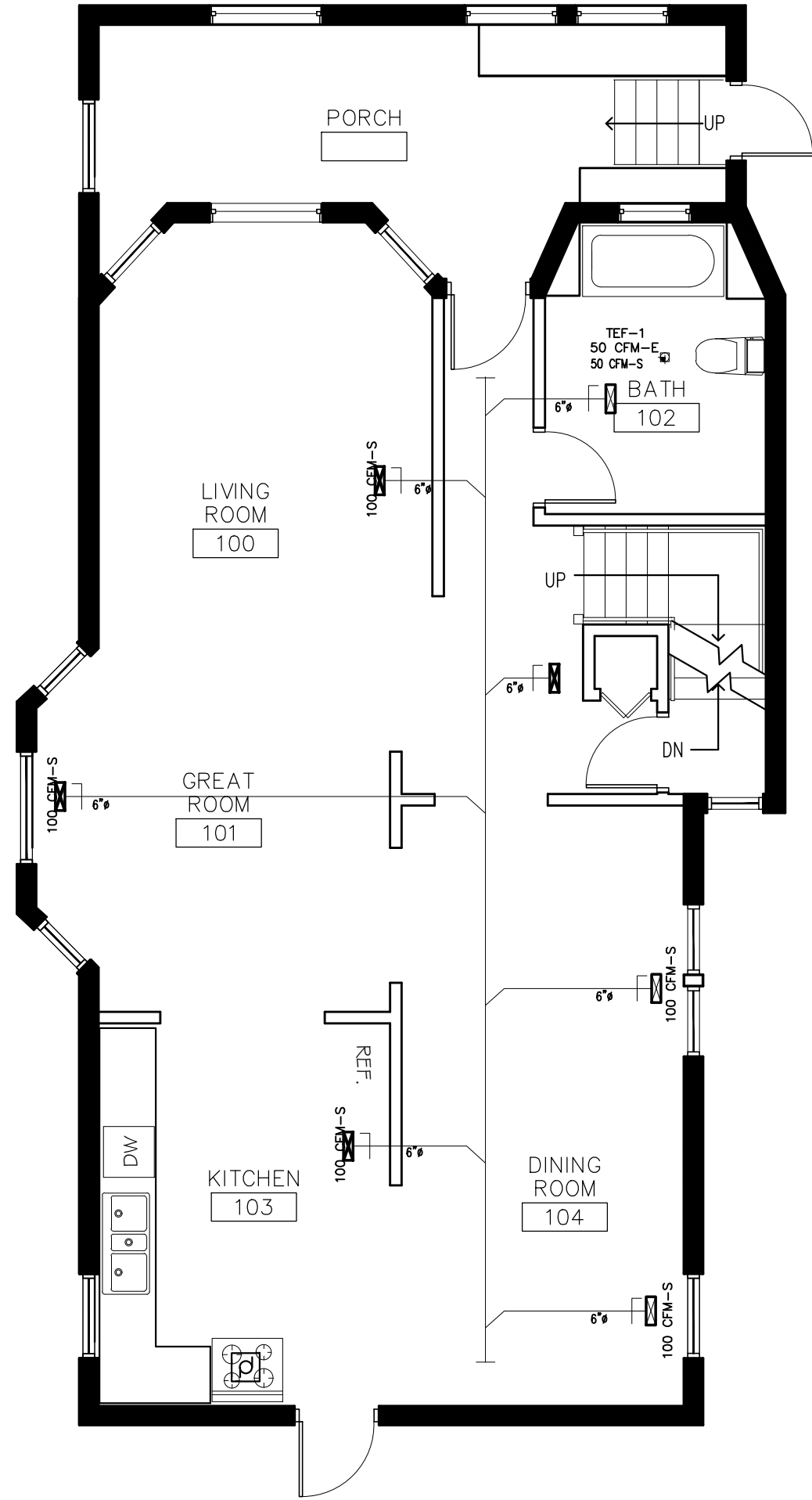
21. ALL FLOOR COVERINGS SHALL BE CLASS A CRITICAL RADIANT FLUX OF .E4 OR HIGHER.

21. CLASS 'C' ROOF

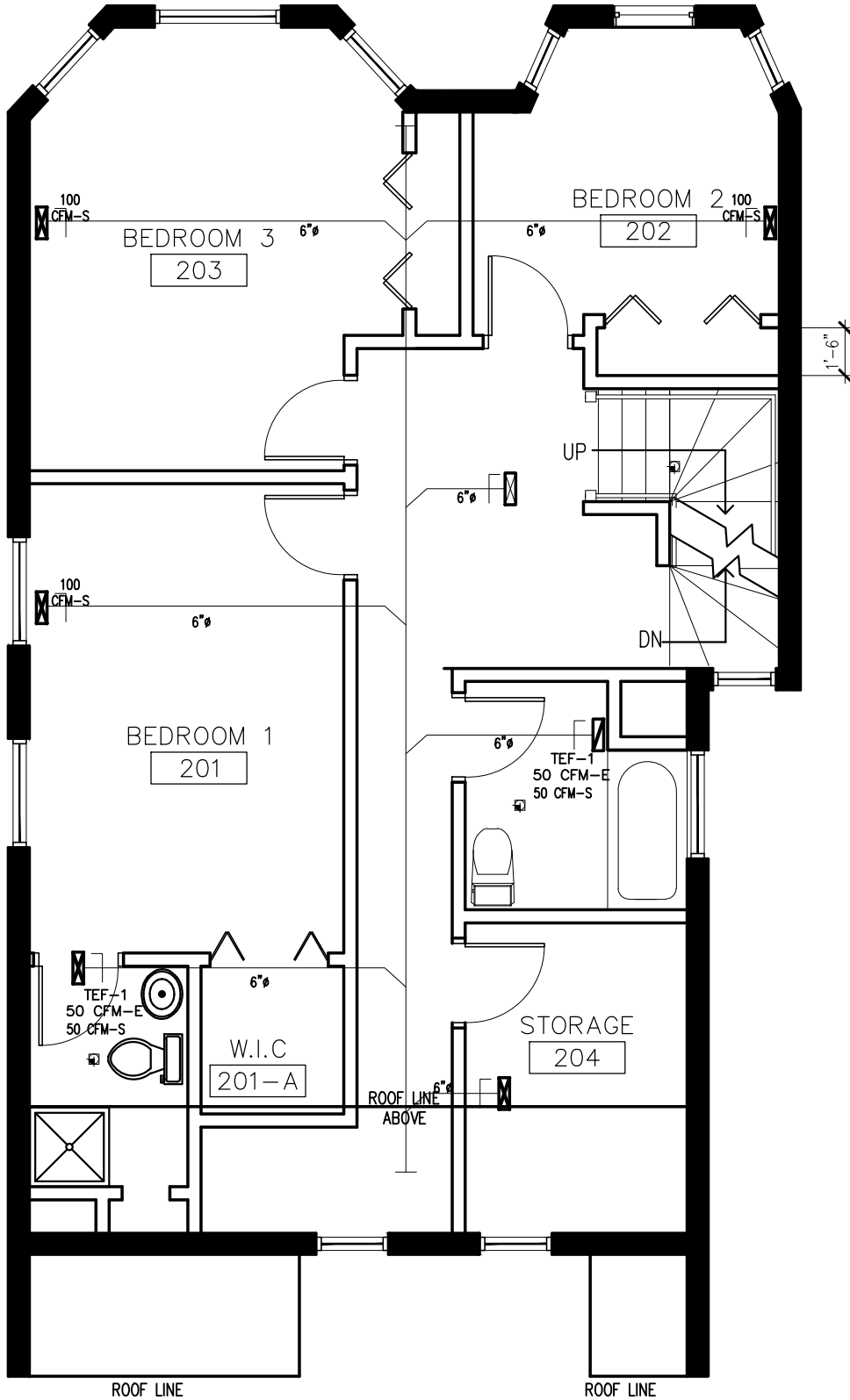
22. PROVIDE CONTINUOUS 2X4 WOOD FIRE STOPPING AT FLOOR, CEILING AND ROOF.
23. ALL PENETRATIONS OF MECHANICAL, ELECTRICAL, OR EQUIPMENT THROUGH FLOOR SLABS OR WALLS SHALL BE PACKED AND SEALED AROUND WITH NON-COMBUSTIBLE, UL TESTED MATERIAL EQUAL TO THE REQUIRED FIRE RATING OF THE SLAB OR WALL.



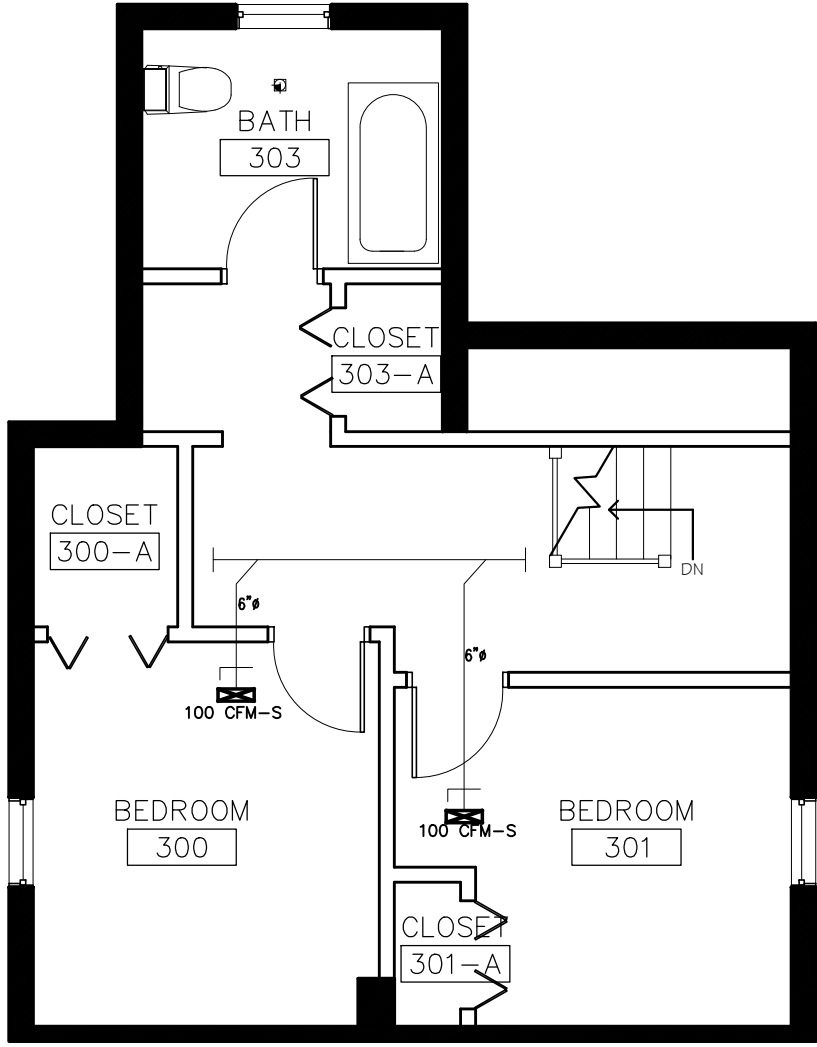
BASEMENT FLOOR PLAN
SCALE : 3/16" = 1'-0"



FIRST FLOOR PLAN
SCALE : 3/16" = 1'-0"



SECOND FLOOR PLAN
SCALE : 3/16" = 1'-0"



THIRD FLOOR PLAN
SCALE : 3/16" = 1'-0"

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MECHANICAL LAYOUT

APPLICATION #	100514966	SHEET NO.
CHECKED BY	KEC	M1.0
DRAWN BY	TKM	
PROJECT NO.	822.01	
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MECHANICAL SYMBOLS

SUPPLY AIR GRILL

RETURN AIR DIFFUSER

CONTROL DAMPER

FLOOR

ROOM NAME

FLOOR AREA

NAT. LIGHT/VENT

MECH. VENT

NAT. LIGHT/VENT

MECH. VENT

SUP. UNIT NOTES

BSMT.

BASEMENT

BATHROOM

LAUNDRY

869

125

65

1ST

FOYER

LIVING ROOM

DINING ROOM

BATH

KITCHEN

GREATROOM

25

194

217

48

178

2ND

BATH

UTILITY RM.

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BEDROOM

BATH

70

89

85

194

217

48

178

70

89

85

3RD

BEDROOM

BEDROOM

BATH

70

89

85

FURNACE SCHEDULE UNITS, D.X. COILS SCHEDULE

TAG	MANUFACTURER & MODEL No.	NOMINAL CFM	ESP	EVAP. FAN MOTOR			HEATING CAPACITY		COOLING COIL CAPACITY		LEMMOX CONDENSING UNIT TAG/MODEL NO./WEIGHT Lbs.	CARRIER D.X. COIL MODEL NO.	* HUMIDIFIER MODEL NO.	REMARKS
				HP	VOLT	PH	INPUT	OUTPUT	TON	TOTAL				
F1	CARRIER 58MCA-100-16	1600	0.5	1/2	115	1	100	93	2.5	30	CU-1/38CXD300/124	CKS-030	49FH (CARRIER)	①

① CRANKCASE HEATER, COMPRESSOR, START ASSIST CAPACITOR & RELAY, PROGRAMMABLE THERMOSTAT. FOLLOW CARRIER LONG-LINE APPLICATION GUIDE FOR INSTALLATION. PROVIDE TWO PIPE SYSTEM.

EXHAUST FAN SCHEDULE

ITEM	SERVICE	CFM	SP	RPM	TYPE	WATTS	AMP	VOLT	PH	MANUFACTURER	REMARKS
TEF-1	BATHROOMS	50	1/8"	640	CEILING	-	0.6	115	1	BROAN-HD80	① ②
KEF-1	KITCHEN	180	1/8"	-	CEILING	-	0.6	115	1	BROAN-HD200	① ③

① COMPLETE WITH DISCONNECT SWITCH, GRAVITY DAMPER, WALL JACK.

② COMPLETE WITH DISCONNECT SWITCH, GRAVITY DAMPER, ROOF CAP.

③ OTHER EQUAL MANUFACTURERS ARE ACCEPTABLE.

④ 3/4"x10" VENT UP

NOTE:

1. ALL WORK SHALL COMPLY W/THE CITY OF CHICAGO BUILDING CODE & SMACNA.

2. ALL SUPPLY DUCTS SHALL BE GALVANIZED SHEET METAL.

3. 3" FLUE SHALL BE PVC AND EXTEND 6'-0" ABOVE ROOF.

4. LOCK TYPE DAMPERS SHALL BE USED.

5. INSTALL HUMIDIFIER TO GAS FURNACE.

6. FURNACE SHALL HAVE THE CAPACITY TO HEAT BUILDING TO 70°F AT OUTSIDE AIR TEMPERATURE OF -10°F.

7. NOISE LEVEL FROM MECHANICAL EQUIPMENT SHALL NOT EXCEED 55 DB AT THE LOT LINE.

8. INSTALL CARBON MONOXIDE DETECTORS.

9. INSTALL FLOOR REGISTERS NOT MORE THAN 9" FROM A WALL.

MECHANICAL NOTES:

1. ALL WORK TO COMPLY WITH ALL LOCAL, MUNICIPAL & NATIONAL HEATING & VENTILATION CODES.

2. ALL DUCTWORK TO BE MADE OF SHEETMETAL AND MADE IN COMPLIANCE WITH A.S.H.R.A.E.. AND S.M.A.C.N.A. STANDARDS FOR LOW VELOCITY DUCTWORK. CONCEALED DUCT TO BE WRAPPED WITH 1 1/2" INSULATION. DUCTBOARD WILL BE ACCEPTED FOR DUCTWORK CONCEALED ABOVE THE CEILING.

3. ALL SUPPLY BRANCH TAKEOFFS TO HAVE MANUALLY ADJUSTABLE VOLUME DAMPERS.

4. ALL SUPPLY OPENINGS TO BE A MINIMUM OF 15'-0" FROM ANY AND ALL EXHAUST OPENINGS.

5. NOISE AT A LOT LINE SHALL NOT EXCEED 55db. ON THE "A" SCALE.

6. ALL FLUES TO BE AMERIVENT "B" OR EQUAL. ALL FURNACE FLUES SHALL EXTEND ABOVE ROOF.

7. ALL ELECTRICAL WIRING SHALL BE BY THE ELECTRICAL CONTRACTOR.

8. ALL REGISTERS, GRILLES AND DIFFUSERS SHALL BE MANUFACTURED BY KRUEGER, OR EQUAL, AS FOLLOWS:

A. REGISTERS: MODEL 880H0BD

B. RETURN AIR GRILLES: MODEL S80H

C. DIFFUSERS: MODEL 1400

SIZES AND CFM AS DETAILED ON THE DRAWINGS.

9. THE CONTRACTOR SHALL CHECK DESIGN REQUIREMENTS FOR HEATING, COOLING, AIR SUPPLY AND EXHAUST SYSTEMS AND SHALL ACCEPT RESPONSIBILITY FOR CAPACITIES OF THESE SYSTEMS IN ACCORDANCE WITH STANDARD PRACTICE AS STATED IN THE LATEST EDITION OF THE A.S.H.R.A.E. GUIDE.

10. CHANGE FILTERS ON HVAC EQUIPMENT AT COMPLETION OF PROJECT.

11. GAS PIPING BY PLUMBING CONTRACTOR. THIS CONTRACTOR TO VERIFY GAS PIPING SIZES.

12. SYSTEM SHALL BE BALANCED TO ±10% OF DESIGN.

13. REFRIGERATION PIPING SIZES PER MANUFACTURER'S RECOMMENDATION.

14. TEMPERATURE CONTROL AND POWER WIRING BY ELECTRICAL CONTRACTOR.

15. EXPOSED DUCTWORK TO BE SPIRAL DUCTS WITH GALVANIZED FINISH (NOT TO BE PAINTED) AS MANUFACTURED BY LINDAB.

16. CEILINGS OF BASEMENT AND FIRST FLOOR TO BE THE EXPOSED STRUCTURAL

17. NOISE LEVEL OF ALL HVAC EQUIPMENT SHALL NOT EXCEED 55 DECIBELS AT LOT LINE

VENTILATION NOTES:

1. CLEARANCES FOR FORCED AIR FURNACES MUST CONFORM TO MANUFACTURERS REQUIREMENTS .

2. ALL DUCTWORK MUST BE GALVANIZED STEEL OF STAINLESS STEEL.

3. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE SHOWN ON DRAWING(S).

4. IF THE PROJECT INCLUDES A PLENUM CEILING OR FLOOR: THE CONTRACTOR SHALL GUARANTEE THAT THE PLENUM CHAMBER USED FOR RECIRCULATION OF AIR WILL BE OF TIGHT CONSTRUCTION AND THAT ALL SOURCES OF AIR CONTAMINATION FROM TRAPS, SOIL STACKS, DOWNSPOUTS, VENTS AND ALL OTHER SOURCES OF CONTAMINATION WILL BE ENCLOSE SUCH THAT NO CONTAMINATED AIR WILL BE RECIRCULATED.

REFRIGERATION NOTES:

1. REFRIGERANT PRESSURE RELIEF PIPING TO OUTSIDE. EMERGENCY RELIEF VALVE IN UNIT PER CITY OF CHICAGO CODE. DISCHARGE PIPE OUTLET SHALL BE MORE THAN 12' ABOVE THE GROUND, MORE THAN 10' FROM ANY BUILDING OPENING AND NOT CLOSER THAN 20' TO ANY FIRE ESCAPE. OUTLET SHALL BE TURNED DOWNWARD. 6 LBS. AND OVER.

2. ALL REFRIGERANT PIPING AND DEVICES SHALL BE LOCATED OUT OF AIR STREAM.

3. ALL REFRIGERANT PIPING SHALL BE TYPE K HARD COPPER.

4. PRESSURE RELIEF DEVICE SHALL BE LOCATED ON THE DISCHARGE SIDE OF THE COMPRESSOR.

5. INSTALL PRESSURE RELIEF VALVE ON HIGH PRESSURE SIDE OF THE SYSTEM, UPSTREAM OF ANY INTERVENING VALVES.

6. REMOVE EXPANSION VALVES, DEVICES AND CONNECTIONS FROM THE AIR STREAM.

7. REFRIGERANT PIPING MUST BE TYPE "K" OR TYPE "ACR".

8. ALL CONNECTIONS AND DEVICES MUST BE BRAZED.

HEAT DATA

SPACE NAME		SPACE USE	BASIS OF HEAT LOSS	ACT'L BTHU HEAT LOSS	REQ'D CFM @ 175°	ACT'L CFM @ 175°
BSMT.	BASEMENT		CITY OF CHI	4200	87	100 800
	BATHROOM			6125	147	200
	LAUNDRY			6125	147	200
				4900	134	100
1ST	FOYER			1575	42	70
	LIVING ROOM			6125	87	100
	DINING ROOM			5600	87	100
	BATH			7000	87	100
	KITCHEN			37450	731	870
	GREATROOM					
2ND	BATH					
	UTILITY RM.					
	BEDROOM					
	BEDROOM					
	BEDROOM			6125	87	100
	BEDROOM			5600	87	100
3RD	BEDROOM			7000	87	100
	BATH			37450	731	870

SPLIT SYSTEM HVAC DIAGRAM

DISCONNECT SWITCH(FUSED) POWER SUPPLY

CONDENSING UNIT

1/2" LIQUID LINE

7/8" SUCTION LINE

FLUE

FURNACE

HUMIDIFIER

CONDENSATE DRAIN

GAS SUPPLY PIPE

THERMOSTAT

TO FLOOR DRAIN

NOTES:

REFRIGERATION PIPING TO BE TYPE "K" COPPER AND SHALL BE BRAZED. REMOVE EXPANSION VALVES, DEVICES AND CONNECTIONS FROM AIR STREAM. SAFETY VALVE TO BE LOCATED ON THE HIGH PRESSURE SIDE OF REFRIGERATION SYSTEM WITHOUT ANY INTERVENING VALVES OR

FLUE & COMBUSTION INTAKE DETAIL

SCALE: NTS

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822 North Lockwood Avenue Chicago, Illinois 60651

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1	11.25.13	ISSUED FOR PERMIT

Architects

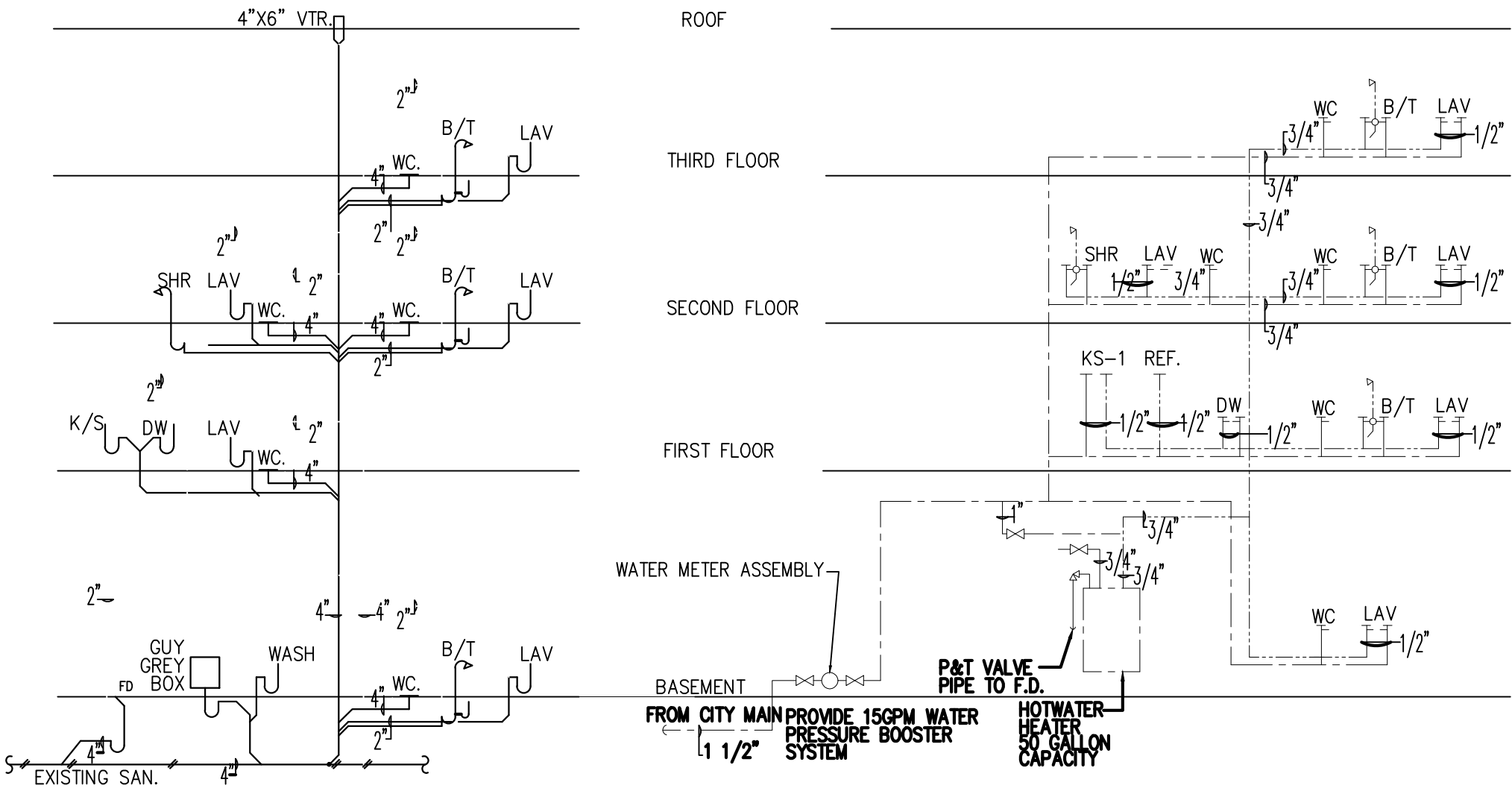
KASIdesigns, P. C.

ARCHITECTURE - CONSTRUCTION - DEVELOPMENT

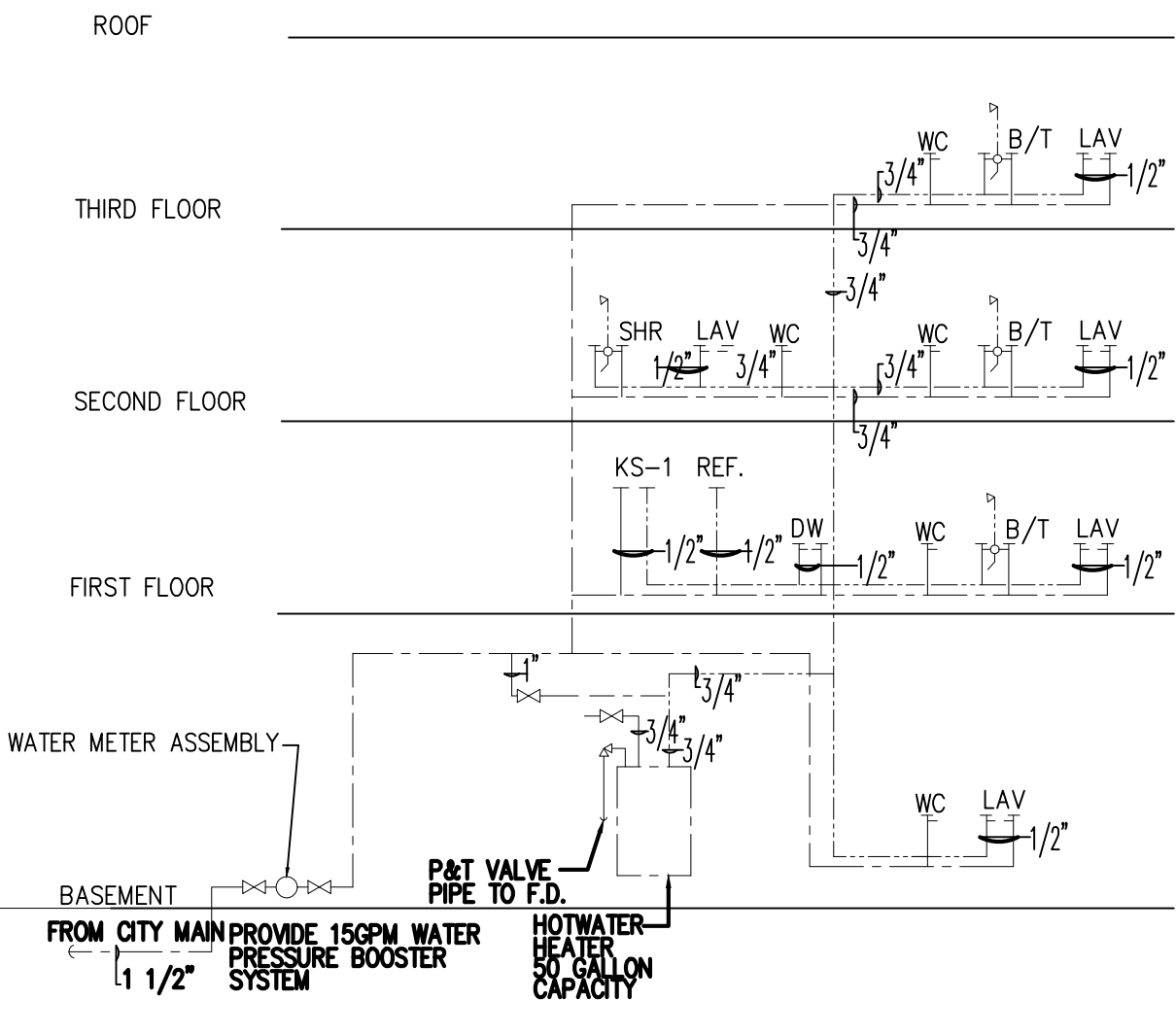
1157 South Harvey Avenue Oak Park, Illinois 60304 Telephone: 312.914.2644 Fax: 866.738.9602 kasidesigns@netscape.net

GENERAL MECHANICAL NOTES

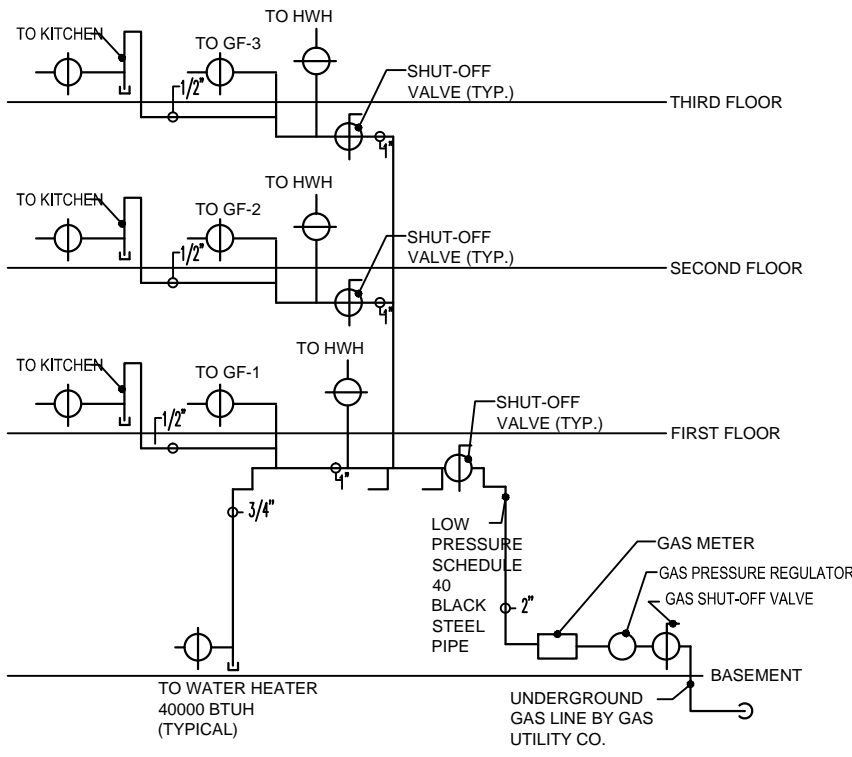
APPLICATION #	100514966	SHEET NO.
CHECKED BY	KEC	M1.2
DRAWN BY	TKM	
PROJECT NO.	822.01	
DATE	11.19.13	



SANITARY WASTE DIAGRAM



SUPPLY WATER DIAGRAM



GAS PIPING DIAGRAM

GENERAL PLUMBING NOTES

ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF LOCAL AUTHORITIES.

ALL AUTHORITIES HAVING JURISDICTION SHALL BE NOTIFIED AT LEAST THREE WORKING DAYS PRIOR TO COMMENCEMENT OF WORK.

ALL PIPING SHALL BE ROUTED CONCEALED UNLESS OTHERWISE INDICATED.

EXPPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH CHROME PLATED ESCUTCHEON AT PIPE ENTRY TO FINISHED AREA.

SLEEVE OR CORE-DRILL FLOOR SLABS, WALLS, ETC. AS REQUIRED FOR PIPING AND FIRE-STOP OPENING AROUND PIPE. VERIFY LOCATION OF STRUCTURAL BEAMS, JOISTS, ETC. BEFORE DRILLING.

ALL OPENINGS IN DRAINAGE AND/OR VENT SYSTEMS AS A RESULT OF INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH A TEST PLUG THAT IS SECURELY LOCKED IN PLACE UNTIL FINAL FINISHED CONNECTIONS ARE INSTALLED.

ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED.

WHEREVER FOUNDATION WALLS, OUTSIDE WALLS, ROOF, ETC. ARE PENETRATED FOR INSTALLATION OF SYSTEMS, THEY SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND SEALED WEATHER TIGHT. WORK SHALL BE PERFORMED BY CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.

ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHED SPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT. AT ALL CONNECTIONS BETWEEN FERROUS PIPING AND NONFERROUS PIPING, PROVIDE AN ISOLATING DIELECTRIC UNION.

PROVIDE ALL FITTINGS, ACCESSORIES, OFFSETS, AND MATERIALS NECESSARY TO FACILITATE THE PLUMBING SYSTEM'S FUNCTIONING AS INDICATED BY THE DESIGN AND THE EQUIPMENT INDICATED.

ALL DRAINAGE PIPING SHALL BE UNIFORMLY PITCHED, 1/4" PER FOOT UNLESS OTHERWISE REQUIRED BY EXISTING CONDITIONS.

PROVIDE A COMPLETE SYSTEM OF SCHEDULE 40 GALVANIZED STEEL VENT RISERS ABOVE FLOOR. ALL VENTS SHALL BE CARRIED THROUGH THE ROOF WITH FLASHING. ALTERNATE MATERIALS MAY BE ALLOWED IF APPROVED BY LOCAL CODE AUTHORITIES.

CONDENSATE AND INDIRECT DRAIN PIPING SHALL BE TYPE M COPPER TUBING UP TO 1/2" VENT AND DOWN TO THE BASE OF ALL VERTICAL WASTE AND DRAIN PIPES. CLEANDUTS SHALL BE OF THE SAME SIZE AS THE PIPES THEY SERVE.

HOT AND COLD WATER PIPING SHALL BE TYPE L COPPER TUBING WITH WROUGHT COPPER FITTINGS AND SWEAT CONNECTIONS. PROVIDE MINIMUM 1/2" HIGH FULL AIR CHAMBER AT EACH FIXTURE STOP.

INSULATE ALL HOT AND COLD WATER PIPING BOTH VERTICALLY AND HORIZONTALLY, IN CEILING AND CONCEALED IN WALLS COMPLETELY. PROVIDE 1" PRE FORMED FIBERGLASS ASJ-VB, FLAME SPREAD 25, SMOKE DEVELOPED 50, ASTM C-547.

PIPING ROUTED IN EXTERIOR WALLS SHALL BE ROUTED ON WINTER WARM SIDE OF BUILDING WALL INSULATION.

ACCESS PANELS SHALL BE PROVIDED WHERE CONCEALED CONTROL DEVICES, VALVES, ETC. ARE CONCEALED WITHIN WALLS. WHERE ACCESS FOR ADJUSTMENT AND MAINTENANCE IS POSSIBLE THROUGH LAY-IN SUSPENDED CEILINGS, ACCESS PANELS ARE NOT REQUIRED.

TEST WATER SYSTEM AS PER LOCAL REQUIREMENTS. WHEN TESTING INDICATES MATERIALS OR WORKMANSHIP IS DEFICIENT, REPLACE OR REPAIR AS REQUIRED, AND REPEAT TEST UNTIL STANDARDS ARE ACHIEVED.

THE DOMESTIC WATER SYSTEM AND DRAINAGE SYSTEMS SHALL BE FLUSHED AND PRESSURE TESTED. THE DOMESTIC WATER SYSTEM SHALL BE PURIFIED.

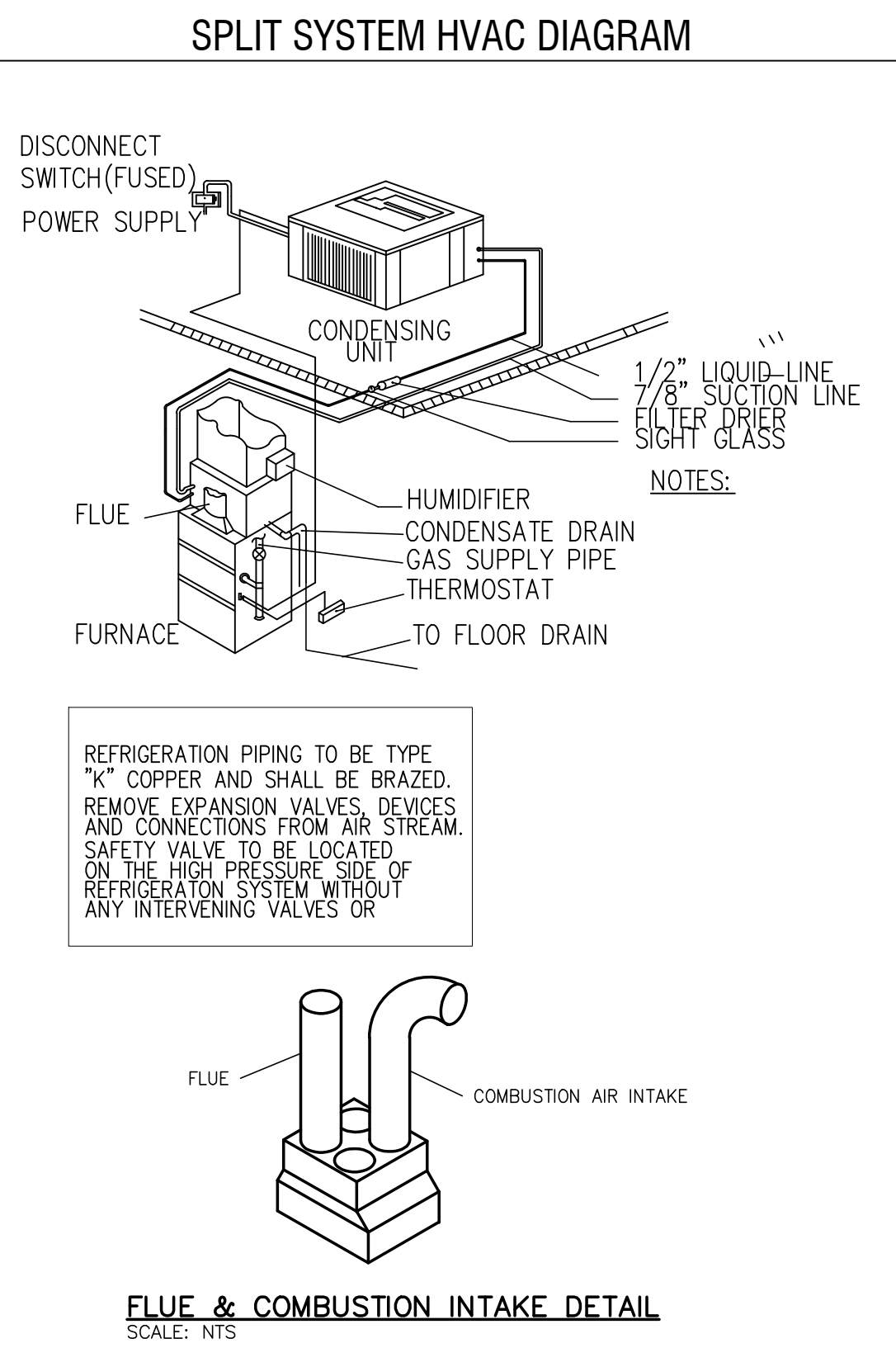
SANITARY DRAINAGE PIPING ABOVE FLOOR SHALL BE CAST-IRON PIPE, FITTINGS, AND CONNECTIONS AND PIPING BELOW GRADE SHALL BE SERVICE-WEIGHT HUB AND SPIGOT TYPE CAST-IRON WITH NEOPRENE GASKET JOINTS. ALTERNATE MATERIALS MAY BE ALLOWED IF APPROVED BY LOCAL CODE AUTHORITIES.

ALL FLOOR DRAINS SHALL BE CONNECTED TO THE SANITARY SEWER SYSTEM.

FURNISH AND INSTALL WATTS 8A VACUUM BREAKER ON ANY THREADED INTERIOR FAUCETS, IF FAUCETS DO NOT COME WITH VACUUM BREAKER.

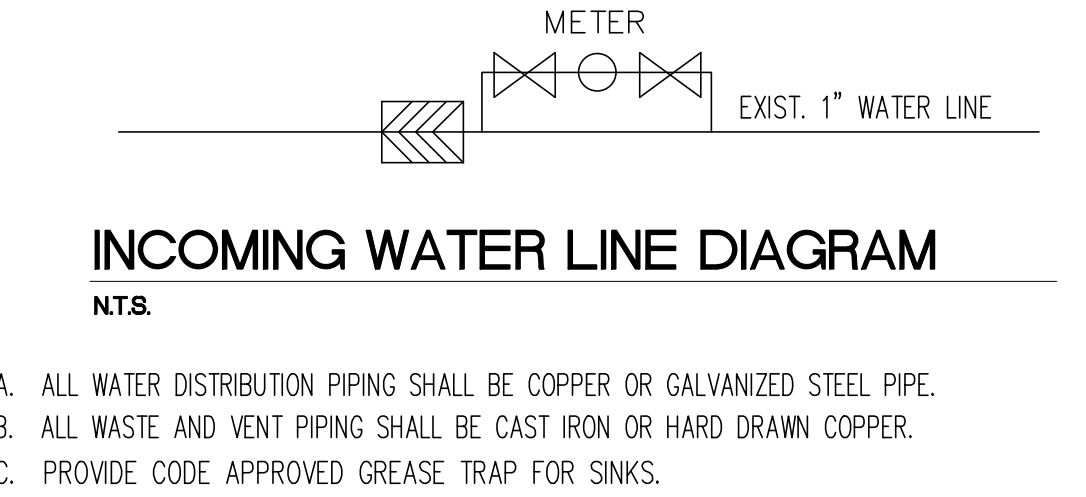
ALL WATER SHUT OFF VALVES SHALL BE "BALL LOCK" TYPE

POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS ARE NOT TO BE USED.



HOT WATER HEATER DIAGRAM

PLUMBING FIXTURE TYPES		
#	SYMBOL	DESCRIPTION
4		TUB/SHOWER AMERICAN STANDARD MODEL NO. 2295.020 RHD HYLINE CAST IRON
4		WATER CLOSETS AMERICAN STANDARD MODEL NO. 2120.5 VITREOUS CHINA
4		LAVATORYS AMERICAN STANDARD MODEL NO. 177.034 VITREOUS CHINA
1		KITCHEN SINK AMERICAN STANDARD MODEL NO. STAINLESS STEEL
1		UTILITY SINK AMERICAN STANDARD MODEL NO. STAINLESS STEEL
		HOSE BIBB AMERICAN VALVE MODEL NO. BRASS
TOTAL PLUMBING FIXTURES		



INCOMING WATER LINE DIAGRAM

- NTS.
- A. ALL WATER DISTRIBUTION PIPING SHALL BE COPPER OR GALVANIZED STEEL PIPE.
B. ALL WASTE AND VENT PIPING SHALL BE CAST IRON OR HARD DRAWN COPPER.
C. PROVIDE CODE APPROVED GREASE TRAP FOR SINKS.

THE ABOVE DRAWINGS AND SPECIFICATIONS AND IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT; AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN THE CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

Interior Renovation (New Walls & Finishes, Upgrade Mechanical, Electrical and Plumbing) & New Open Rear Porch For:

Serge Olivier

822 North Lockwood Avenue
Chicago, Illinois 60651

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PLUMBING RISER, WASTE DIAGRAMS & NOTES		
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