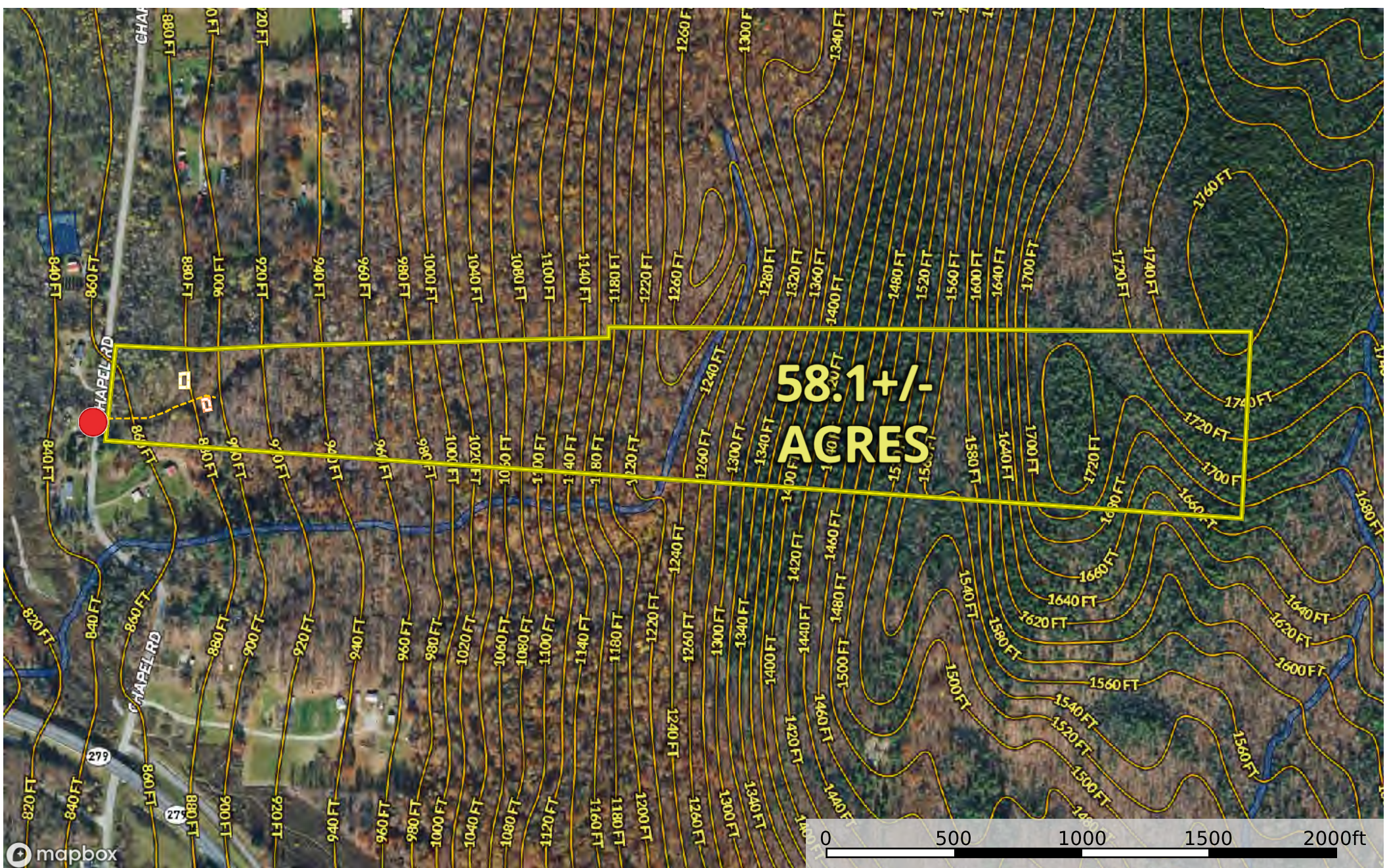


# Bennington 58 acres - 1073 Chapel Road

Vermont, 58.1 AC +/-



- Utility Pole # 25
- Road / Trail
- House Area
- Septic Area
- Property Boundary
- Wetlands
- Riparian

The information contained herein was obtained from sources deemed to be reliable. Land id® Services makes no warranties or guarantees as to the completeness or accuracy thereof.



**WASTEWATER SYSTEM AND POTABLE WATER SUPPLY PERMIT****LAWS/REGULATIONS INVOLVED**10 V.S.A. Chapter 64, Potable Water Supply and Wastewater System Permit  
Wastewater System and Potable Water Supply Rules, Effective April 12, 2019**Permittee(s): James Gordon****Permit Number: WW-8-2200****740 Sailfish Drive  
Atlantic Beach, FL 32233**

This permit affects the following property/properties in Bennington, Vermont:

Lot	Parcel	SPAN	Acres	Book(s)/Page(s)#
2	06013801	051-015-70248	58.10	Book:548 Page(s):54

This application, consisting of the construction of a new single-family residence served by municipal water connection, and on-site mounded wastewater disposal system using Arc 36 Chambers, located at 1073 Chapel Road in Bennington, Vermont, is hereby approved under the requirements of the regulations named above subject to the following conditions. Any person aggrieved by this permit may appeal to the Environmental Court within 30 days of the date of issuance of this permit in accordance with 10 V.S.A. Chapter 220 and the Vermont Rules of Environmental Court Proceedings.

**1. GENERAL**

- 1.1 The permittee is responsible to record this permit in the Bennington Land Records within 30 days of issuance of this permit and prior to the conveyance of any lot subject to the jurisdiction of this permit.
- 1.2 The permittee is responsible to record the design and installation certifications and other documents that are required to be filed under these Rules or under a permit condition in the Bennington Land Records.
- 1.3 Each assign or successor in interest shall be shown a copy of the Wastewater System and Potable Water Supply Permit and the stamped plan(s) prior to the conveyance of a lot.
- 1.4 The wastewater system includes the use of an Innovative/Alternative component. Each prospective owner of a lot that utilizes an Innovative/Alternative component shall be shown a copy of the **Chambers Innovative/Alternative System Approval #2010-01-R7 for the Infiltrator® ARC Series Chambers** for model Arc 36 prior to conveyance of the lot.
- 1.5 By acceptance of this permit, the permittee agrees to allow representatives of the State of Vermont access to the property covered by the permit, at reasonable times, for the purpose of ascertaining compliance with the Vermont environmental and health statutes and regulations, and permit conditions.
- 1.6 This permit does not relieve the landowner from obtaining all other approvals and permits from other State Agencies or Departments, or local officials prior to construction.

**2. CONSTRUCTION**

- 2.1 Construction shall be completed as shown on the plans and/or documents prepared by John E. Dupras P.E., with the stamped plans listed as follows:

Title	Sheet #	Plan Date	Revision
<b>Prepared for James A. Gordon, Lot 2, 1073 Chapel Road, Town of Bennington, Vermont</b>	C-1	06/27/2022	
<b>Prepared for James A. Gordon, Lot 2, 1073 Chapel Road, Town of Bennington, Vermont</b>	C-2	06/27/2022	

- 2.2 Construction of wastewater systems or potable water supplies, or buildings or structures (as defined by the Wastewater System and Potable Water Supply Rules), or campgrounds, not depicted on the stamped plans, or identified in this permit, is not allowed without prior approval by the Drinking Water and Groundwater Protection Division.



2.3 No buildings, roads, earthwork, re-grading, excavation, or other construction that might interfere with the operation of the wastewater system or potable water supply are allowed on or near the site-specific wastewater system, wastewater replacement area, or potable water supply depicted on the stamped plans. Adherence to all isolation distances that are set forth in the Wastewater System and Potable Water Supply Rules is required.

### 3. INSPECTIONS

3.1 No permit issued by the Secretary shall be valid for a substantially completed potable water supply and wastewater system until the Secretary receives a signed and dated certification from a qualified Vermont Licensed Designer (or where allowed, the installer) on a Secretary-approved form that states:

*"I hereby certify that, in the exercise of my reasonable professional judgment, the installation-related information submitted is true and correct and the potable water supply and wastewater system were installed in accordance with the permitted design and all permit conditions, were inspected, were properly tested, and have successfully met those performance tests"*

or which satisfies the requirements of §1-311 of the referenced rules.

### 4 DESIGN FLOW

4.1 Lot use and design flows (gpd) shall correspond to the following:

Lot	Building	Building Use / Design Flow Basis	Wastewater	Water
2	Proposed	3-bedroom single family residence 6-person maximum occupancy	420	420

### 5. WASTEWATER SYSTEM

5.1 Lot 2 is authorized to install a mounded wastewater disposal system utilizing Arc 36 Chambers. Prior to the construction or site work, a designer shall flag the proposed leachfield, and the owner shall maintain the flags until commencement of construction of the system.

5.2 Should the wastewater system fail and not qualify as a minor repair or for an exemption, the landowner shall engage a qualified Licensed Designer to evaluate the cause of the failure and submit an application to the Drinking Water and Groundwater Protection Division, and obtain approval thereof, prior to correcting the failure.

5.3 Should the wastewater system experience future performance issues, including but not limited to failure, the landowner shall engage a qualified Licensed Designer who will contact one the technology's listed Service Providers regarding the performance issue and permit the Service Provider to inspect the site to ensure reporting requirements of the Innovative/Alternative Approval may be met.

5.4 This permit does not relieve the permittee of the obligations of Title 10, Chapter 48, Subchapter 4, for the protection of groundwater.

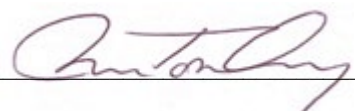
### 6. POTABLE WATER SUPPLY

6.1 Lot 2 is authorized for connection to the water supply system owned by the Town of Bennington as depicted on the plans stamped by the Drinking Water and Groundwater Protection Division.

6.2 This permit is based, in part, on a determination by the municipality that sufficient capacity exists in the public water system to accommodate the design flow approved by this permit. This permit does not imply that the municipality will grant allocation to the building.

6.3 The landowner shall install and maintain backflow prevention devices that conform to Vermont Department of Public Safety standards and NFPA 13 for any connection of a sprinkler fire suppression system to a public drinking water system.

Julia S. Moore, Secretary  
Agency of Natural Resources

By 

Chris Tomberg, Environmental Analyst VI  
Rutland Regional Office  
Drinking Water and Groundwater Protection Division

Dated July 27, 2022

Enclosure: I/A Approval Letter

cc: John E. Dupras P.E.  
Bennington Planning Commission

ORIGINAL SUBMISSION FOR PERMIT	J.E.D.	BY
1	6/27/22	DATE
REV. NO.	DATE	DESCRIPTION



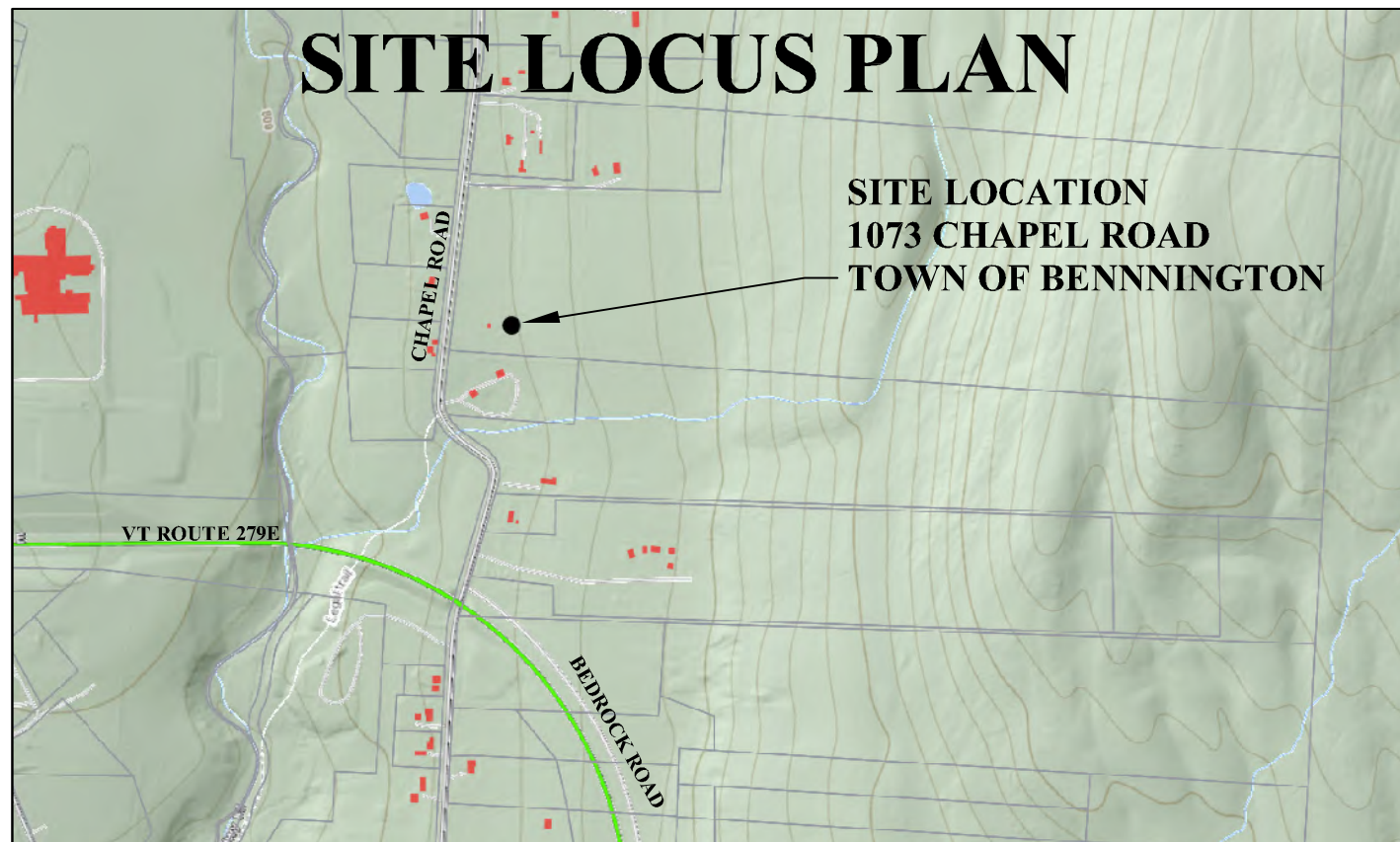
DESIGNED BY: J.E.D.	SCALE: AS SHOWN
DRAWN BY: G.J.V.	
CHECKED BY: J.E.D.	

TITLE: THE STATE OF VERMONT WASTEWATER DISPOSAL SYSTEM AND POTABLE WATER SUPPLY DESIGN  
PROJECT: PREPARED FOR JAMES A. GORDON LOT 2, 1073 CHAPEL ROAD TOWN OF BENNINGTON, VERMONT

DATE: 6/27/2022	SHEET: 1 OF 2
PROJECT NUMBER: 22097	
SHEET NUMBER: C-1	

# SITE LOCUS PLAN

SITE LOCATION  
1073 CHAPEL ROAD  
TOWN OF BENNINGTON

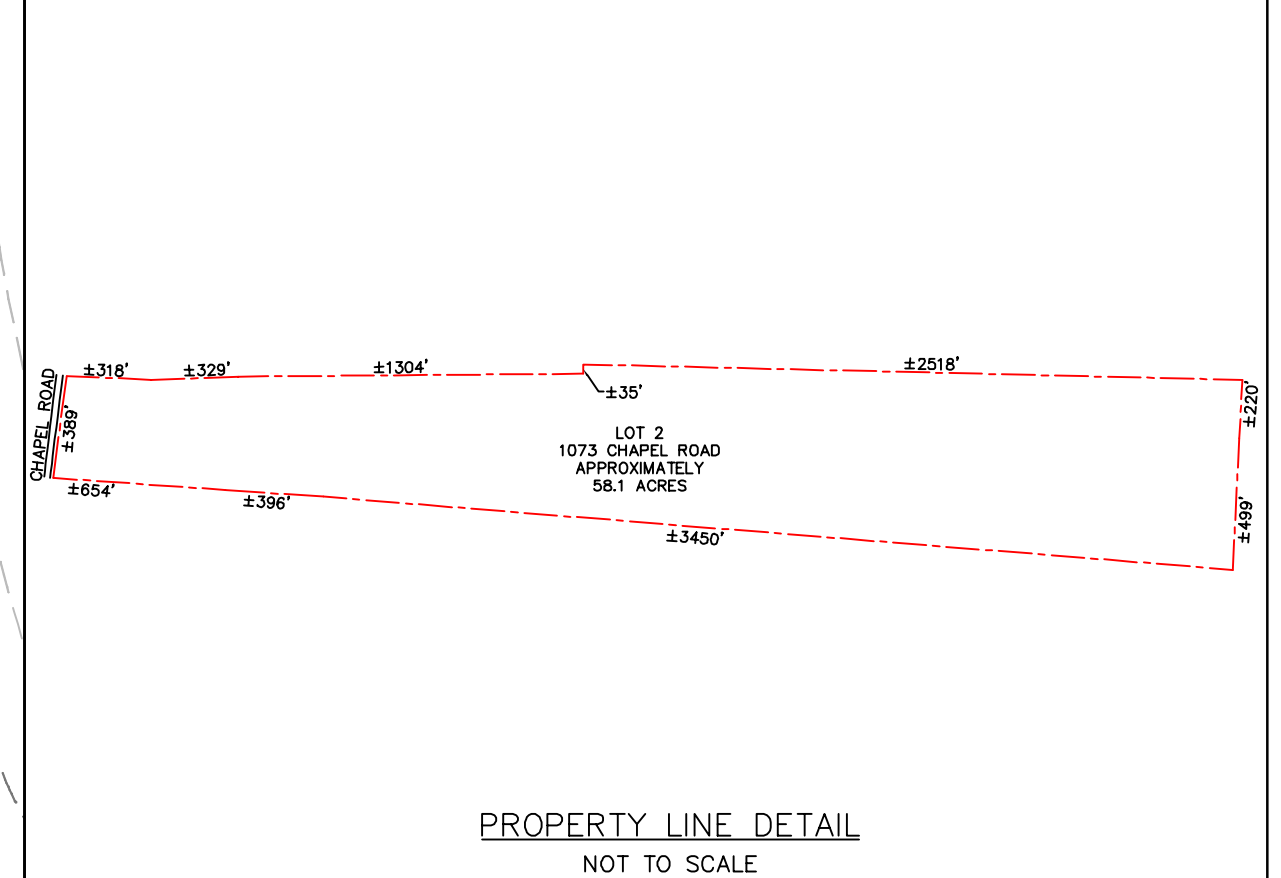
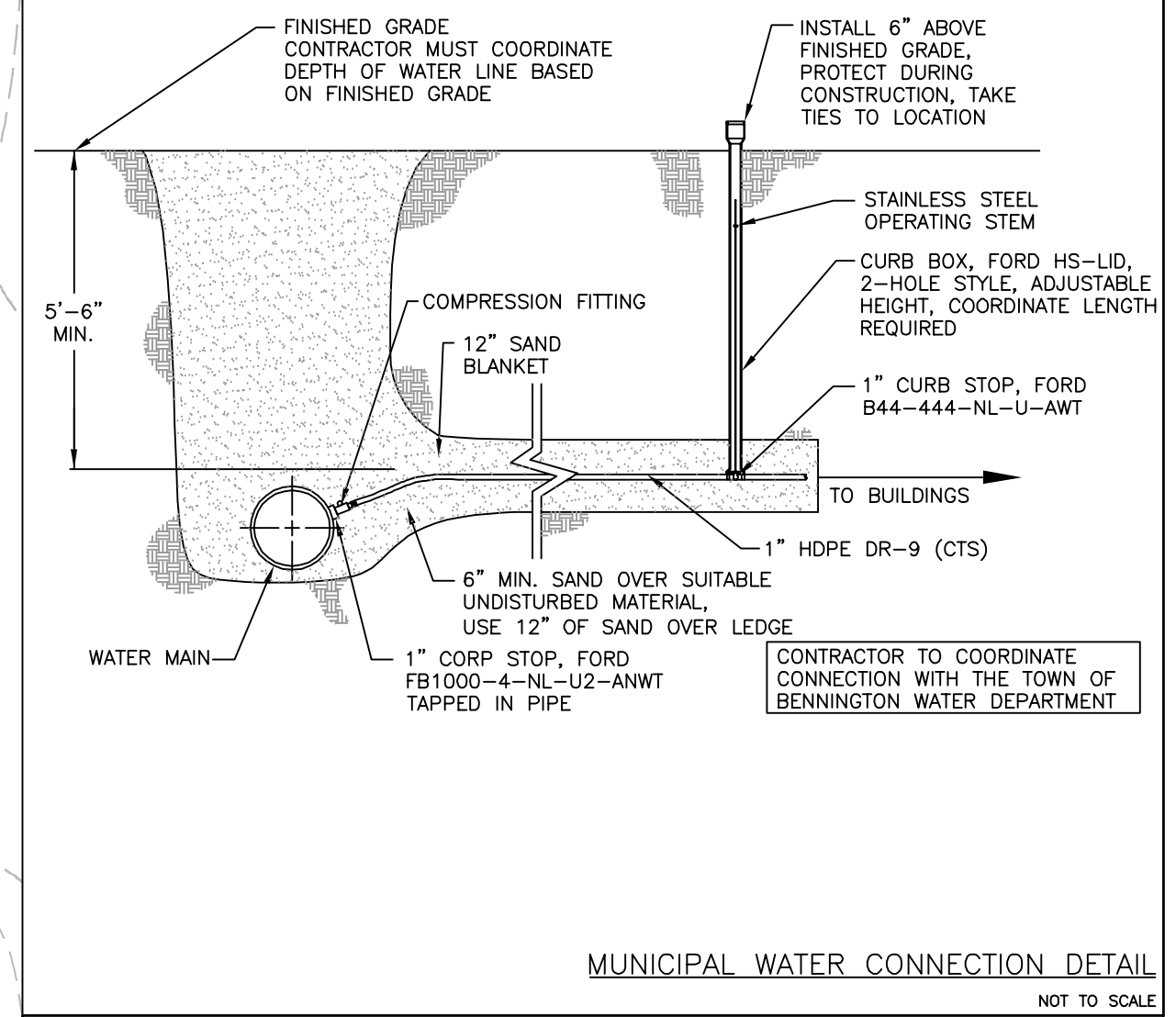
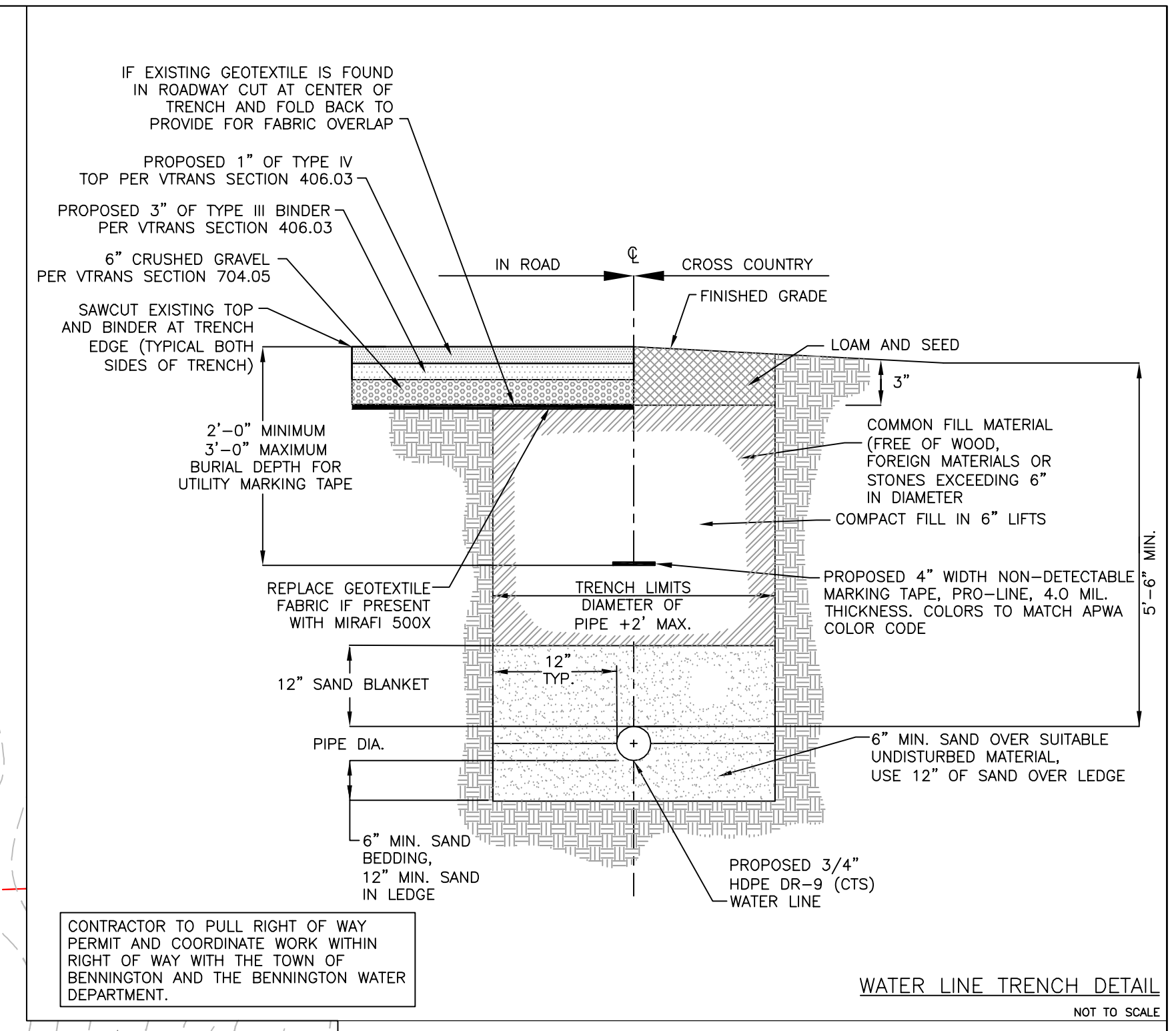


	DISPOSAL FIELD	SEPTIC TANK	SEWER LINE
LAKE AND POND (STANDING WATER)	50'	25'	25'
RIVERS AND STREAMS	50'	25'	10'
DRAINAGE SWALES, DITCHES	25'	25'	10'
MAIN OR MUNICIPAL WATER LINES	50'	50'	0'
SERVICE WATER LINES	25'	25'	0'
ROADWAYS, DRIVES, PARKING LOTS	10'	5'	0'
TOP OF SLOPE, OR SLOPE > 30%	25'	10'	10'
PROPERTY LINES	10'	10'	10'
TREES	10'	10'	10'
OTHER DISPOSAL FIELD FOUNDATION, OR CURTAIN DRAINS	10'	10'	10'
SUCTION WATER LINE	100'	50'	50'

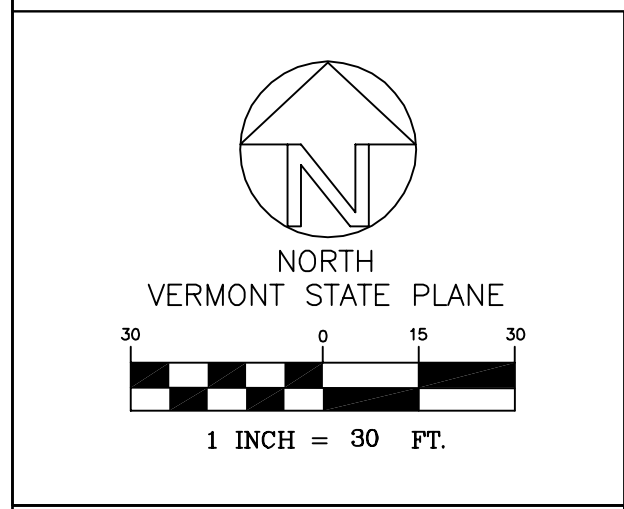
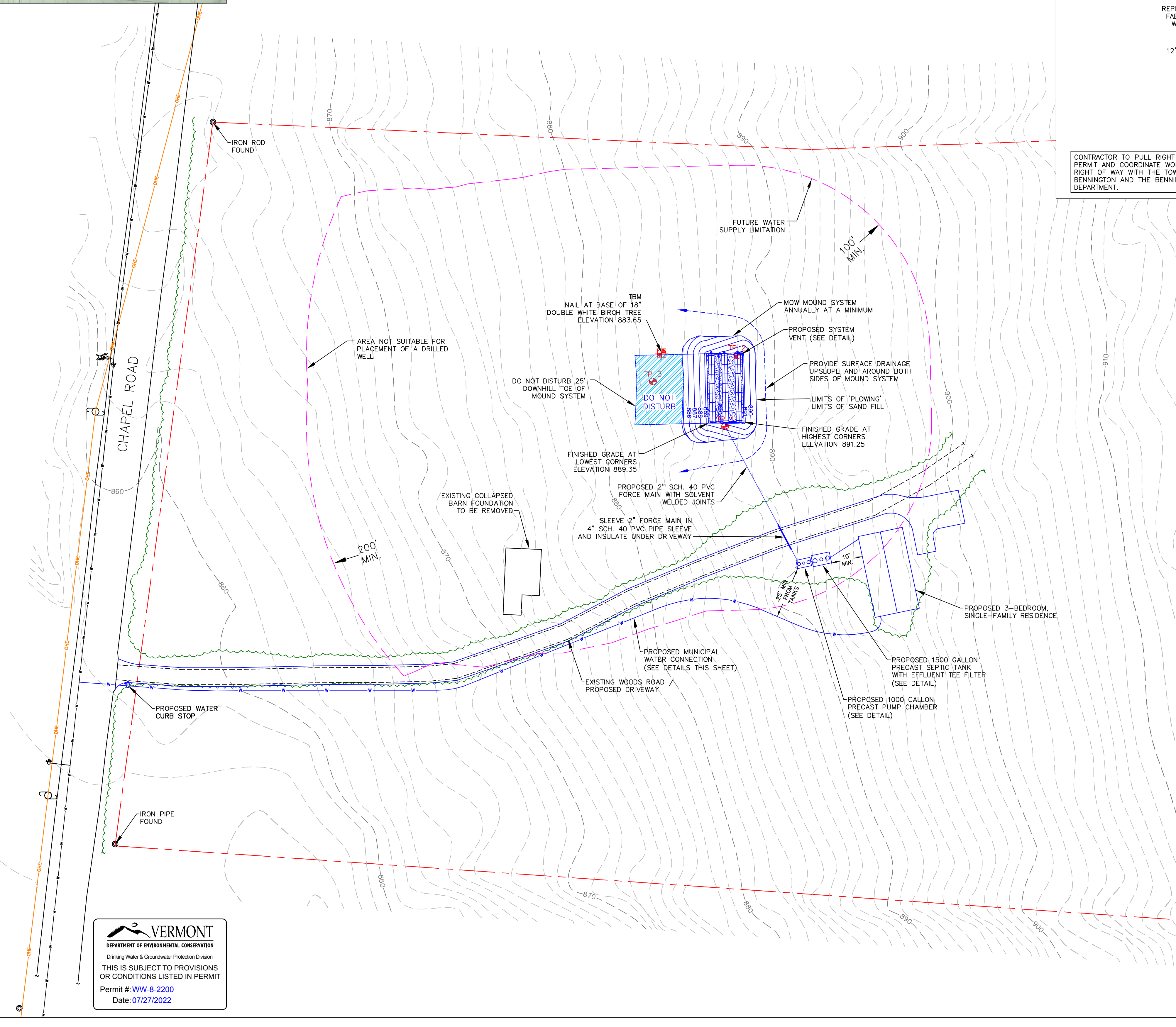
0= REFER TO ENVIRONMENTAL PROTECTION RULES, CHAPTER 1.

	DRILLED WELL	SHALLOW WELL
ROAD	25'	25'
DRIVEWAY	15'	15'
DOWNGRADIENT SEPTIC	100'	150'
UPGRADIENT SEPTIC	200'	500'
SEPTIC TANK	50'	75'
PROPERTY LINE	10'	10'
BUILDING	10'	10'

PROPOSED RESIDENCE, MUNICIPAL WATER CONNECTION, AND MOUND SYSTEM ARE LOCATED ON LOT 2, 1073 CHAPEL ROAD, AND LISTED IN BOOK 548, PAGE 54 IN TOWN OF BENNINGTON LAND RECORDS.  
EXISTING LOT SIZE IS ±58.1 ACRES. DESIGN FOLLOWS THE PRESCRIPTIVE APPROACH. LOT REQUIRES VT DEC WASTEWATER PERMIT.



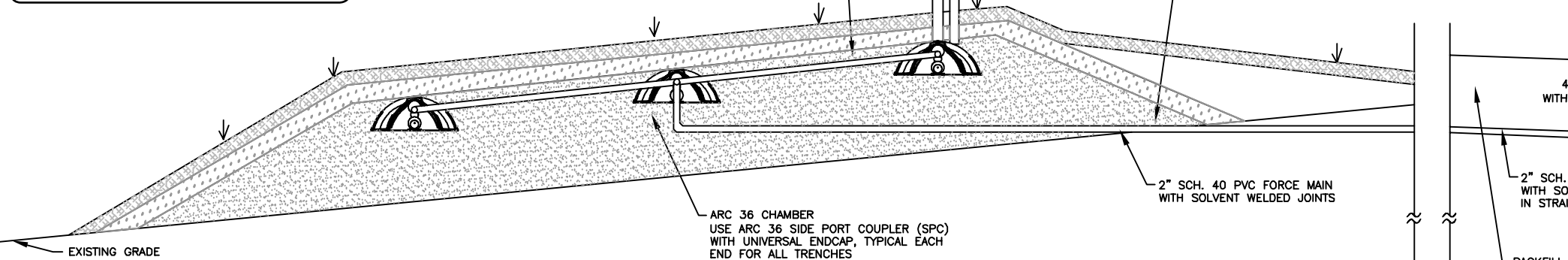
NOTES:  
1) THE PROPERTY LINE, EASEMENT, AND OTHER REAL PROPERTY DESCRIPTIONS PROVIDED IN THIS PERMIT APPLICATION ARE FOR THE USE OF THE ANR ONLY. THEY DO NOT DEFINE LEGAL RIGHTS OR MEET LEGAL REQUIREMENTS FOR A LAND SURVEY AS DESCRIBED IN 26 V.S.A. § 2502(4), AND SHALL NOT BE USED IN LIEU OF A SURVEY AS THE BASIS OF ANY LAND TRANSFER OR ESTABLISHMENT OF ANY PROPERTY RIGHT.  
2) PROPERTY LINES WERE DERIVED FROM INFORMATION PROVIDED BY OWNER, FIELD EVIDENCE, VT GIS PARCEL DATA, AND MAP ENTITLED "SUBDIVISION FOR: KYLE TRIPP, CHAPEL ROAD, BENNINGTON, VT 05201," DATED 11/1/2016 BY BLAZE DESIGN, INC.  
3) PLEASE SEE ATTACHMENTS FOR COMPLETE PERC TEST AND SOILS INFORMATION.



**KEY**

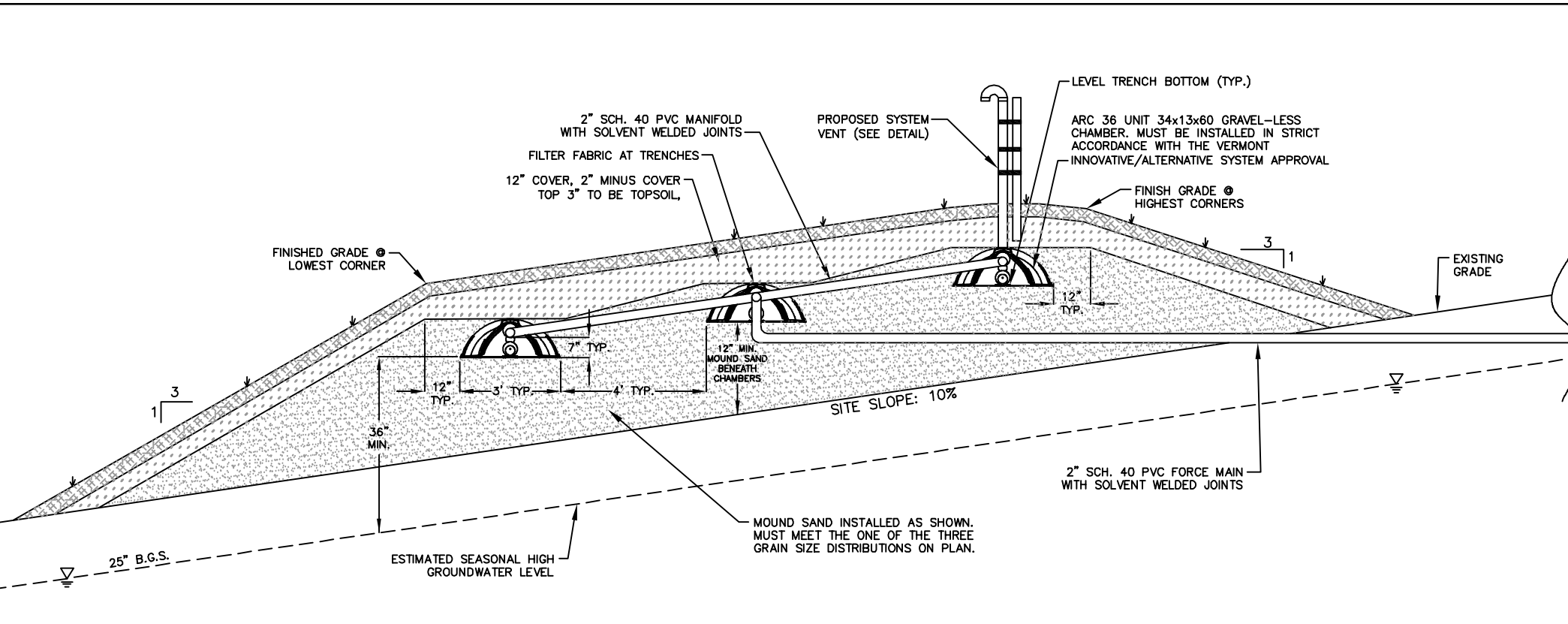
- PROPOSED FEATURES
- EXISTING CONTOURS
- ZONING SETBACK
- APPROX. PROPERTY LINE
- WATER LINE
- OVERHEAD POWER LINE
- SURFACE WATER SWALE
- STONE WALL
- APPROX. EDGE OF WOODS
- UTILITY POLE
- IRON PIN FOUND
- TEST PIT (STAKED IN FIELD)
- PERC TEST
- AREA OF ABUTTING LOT OVERSHADOWED BY ISOLATION DISTANCES

**VERMONT**  
DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
Drinking Water & Groundwater Protection Division  
THIS IS SUBJECT TO PROVISIONS OR CONDITIONS LISTED IN PERMIT  
Permit #: **WW-8-2200**  
Date: **07/27/2022**



**ORIFICE SIZE AND SPACING REQUIREMENTS:**

TRENCH #	ORIFICE SIZE	ORIFICE SPACING (ON CENTER)	TOTAL ORIFICES PER LATERAL
TRENCH #1 (UPPER)	3/16"	24"	17
TRENCH #2 (MIDDLE)	3/16"	26 1/4"	16
TRENCH #3 (LOWER)	3/16"	28"	15



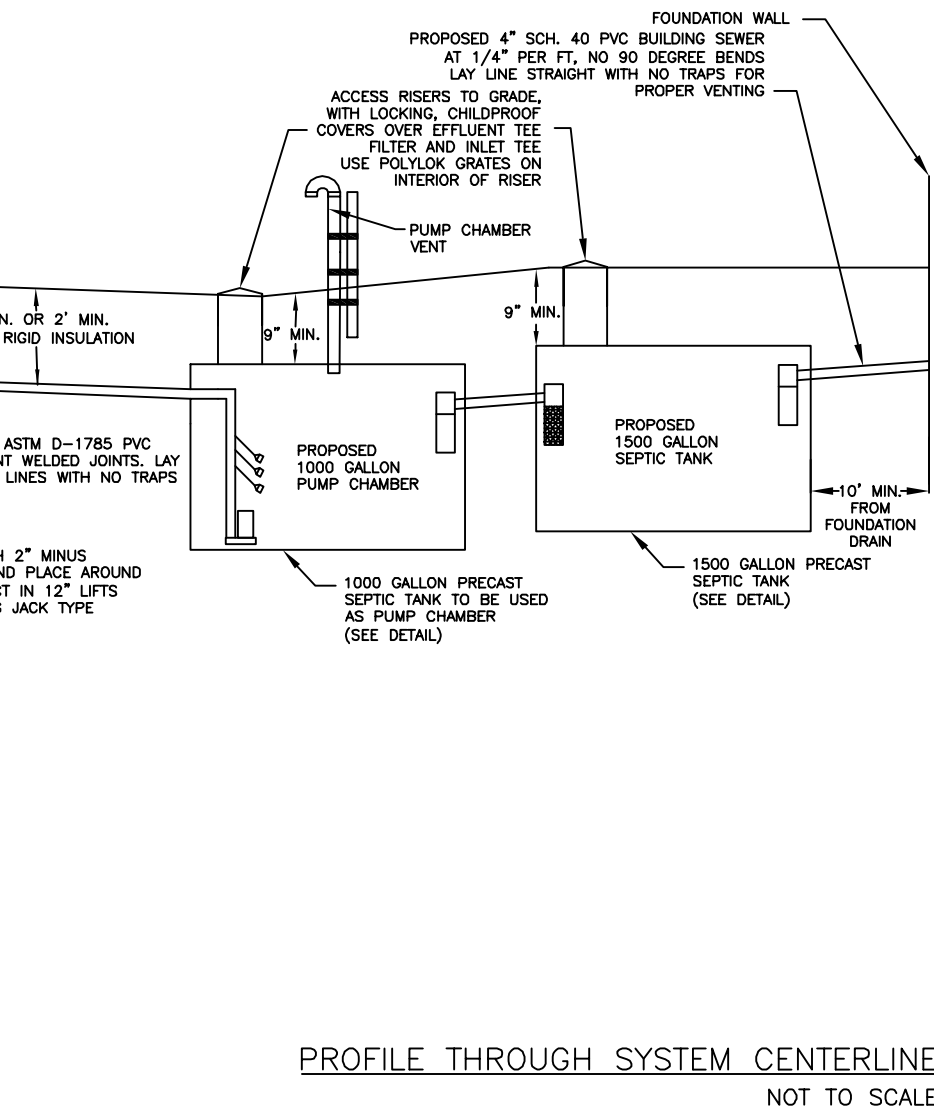
- CONSTRUCTION NOTES:**
- CONTRACTOR MUST REVIEW THE PLAN AND PERFORM FIELD LAYOUT OF THE LOCATIONS AND ELEVATIONS OF EXISTING AND PROPOSED COMPONENTS AND INFORM THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. ALL CONNECTIONS TO EXISTING COMPONENTS MUST BE EXPOSED AND COORDINATED PRIOR TO CONSTRUCTION.
  - THE INFILTRATOR ARC 36 SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND DESIGN AND ARC BY INFILTRATOR DESIGN & INSTALLATION MANUAL-VERMONT.
  - CONTRACTOR MUST RECEIVE AND READ WASTEWATER PERMIT FROM THE STATE PRIOR TO BEGINNING CONSTRUCTION.
  - CUT ALL SITE VEGETATION FLUSH TO GROUND, FLOW AREA SHOWN TO 8" DEPTH, WITHIN LIMITS OF FILL. PLOW PARALLEL WITH CONTOURS, CASTING SOIL UPSLOPE.
  - TILLING OF GROUND WITH BUCKET TEETH IS ACCEPTABLE, IF DONE IN THE SAME MANNER.
  - PLOWING OR CONSTRUCTION OF THE MOUND AREA MAY NOT TAKE PLACE IN HIGH MOISTURE CONTENT CONDITIONS.
  - NO EQUIPMENT SHALL TRACK ON PLOWED SURFACE UNTIL 12" OF SAND FILL HAS BEEN PLACED OVER PLOWED SURFACE.
  - ALL TREES WITHIN 10' OF TOE OF FILL MUST BE CUTOFF AT THE BASE EXCEPT WHERE NOTED, EXERCISE CARE TO MINIMIZE DISTURBANCE OF THE SOIL LAYERS.
  - MOUND SAND FILL MUST MEET ONE OF THE THREE VT MOUND SAND SPECS SHOWN ON PLAN.
  - FROM HOUSE TO SEPTIC TANK USE 4" SCH. 40 PVC BUILDING SEWER, FROM SEPTIC TANK TO PUMP CHAMBER USE 4" SCH. 40 PVC, FROM PUMP CHAMBER TO MOUND SYSTEM USE 2" SCH. 40 PVC. PRESSURE DISTRIBUTION MANIFOLD SHALL BE 2" SCH. 40 PVC. FOLLOW INVERT ELEVATIONS, MINIMUM AND MAXIMUM SLOPES ON PLANS, FOLLOW DETAILS FOR ALL INSTALLATIONS. PVC JOINTS TO BE SOLVENT WELDED.
  - ARC BY INFILTRATOR TRENCH SYSTEM IS DESIGNED TO BE VENTED FROM THE FINAL VENT THROUGH THE ROOF VENT OF THE HOUSE. ALL "TRAPS" OR OBSTRUCTIONS THAT WOULD HINDER VENTING OF THE LEACHING SYSTEM MUST BE AVOIDED. TRENCHES ARE TO BE VENTED THROUGH THE INLET OF MULTI-PORT END CAP AS SHOWN IN DETAIL USING 4" SCH. 40 PVC.
  - COVER OVER RAISED SYSTEM LINE TO BE 2" MINUS MATERIAL, FREE OF ALL LARGE STONES.
  - AT LEAST 72 HOURS BEFORE PLACING SAND FILL OVER PLOWED AREA, NOTIFY ENGINEER FOR INSPECTION. AT LEAST 72 HOURS BEFORE FINAL INSPECTION OF ENTIRE SYSTEM, CONTACT ENGINEER AND SEPTIC OFFICER FOR INSPECTION. CONTRACTOR TO SUPPLY ALL WATER IF REQUIRED.
  - LOAM, SEED & MULCH ALL DISTURBED AREAS, PROVIDE EROSION CONTROL AS REQUIRED. FOLLOW EROSION CONTROL PLAN IF ONE EXISTS FOR PROJECT.
  - CERTIFICATION FORM, PROVIDED BY ENGINEER, STATING THAT SYSTEM WAS INSTALLED ACCORDING TO PLANS (AND OTHER DIRECTIVE FROM ENGINEER) WILL BE COMPLETED BY THE ENGINEER. CONSTRUCTION NOT IN ACCORDANCE WITH PLANS OR ENGINEER'S DIRECTIVES WILL NOT BE APPROVED, AND COULD RESULT IN REMOVAL AND REINSTALLATION TO MEET PROJECT PLANS AND DIRECTIVES.
  - CONTACT ENGINEER WITH ANY CONFLICTS AS SOON AS THEY ARE EVIDENT, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY CHANGES MUST BE APPROVED BY ENGINEER IN WRITING.
  - LOCATION OF DISPOSAL SYSTEM WILL BE STAKED AND LABELED IN THE FIELD. CONTRACTOR TO CONFIRM THAT THE LOCATIONS OF STAKES ARE ACCURATE AND IMMEDIATELY REPORT ANY CONFLICTS TO ENGINEER PRIOR TO COMMENCING CONSTRUCTION. NO UNNECESSARY DISTURBANCE OR STORAGE OF MATERIALS IS ALLOWED IN THE DISPOSAL FIELD AREA. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE STAKES, AND TEMPORARY BENCHMARK IN THEIR ORIGINAL POSITIONS AS STAKED OUT BY THE ENGINEER.
  - THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A COPY OF THE SIEVE ANALYSIS REPRESENTING THE MOUND SAND PROPOSED FOR USE IN THE SYSTEM CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK FOR ENGINEER'S APPROVAL.
  - OWNER AND CONTRACTOR ARE REMINDED THAT PROJECT IS NOT COMPLETE UNTIL AN INSTALLATION CERTIFICATION LETTER IS OBTAINED. TRINITY CANNOT ISSUE THE INSTALLATION CERTIFICATION LETTER UNTIL THE WASTEWATER SYSTEM AND PROPOSED WELL ARE CONSTRUCTED IN ACCORDANCE WITH THE PLAN APPROVED BY THE VT DEC.

DESIGN MEETS THE MINIMUM REQUIREMENTS OF VT DEC CHAPTER 1 RULES, APRIL 12, 2019.

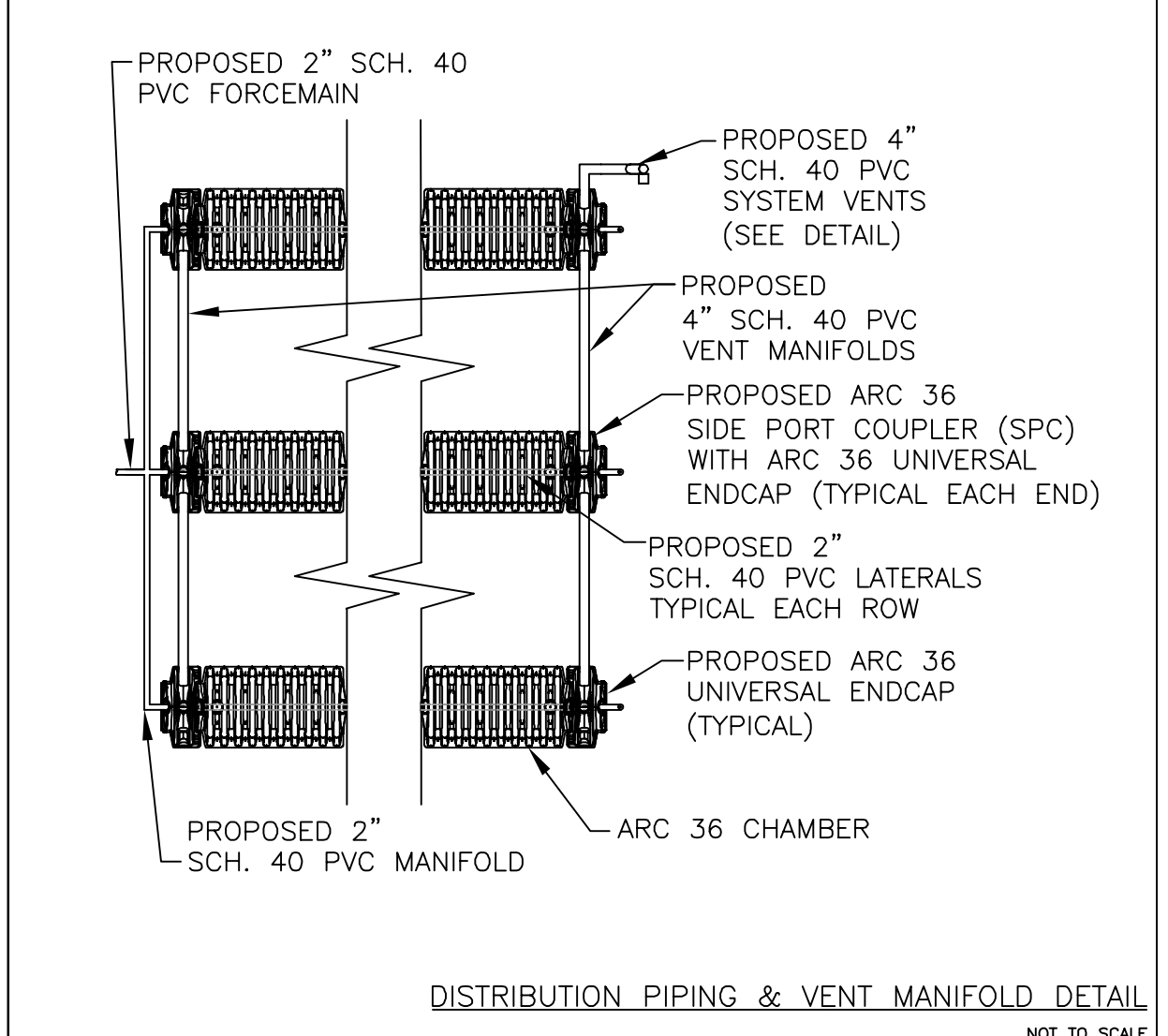
APPLICATION RATE BASAL AREA	0.74	GAL/SF/DAY (BASAL APPLICATION RATE)
DESIGN FLOW RATE BASED ON	3 BEDROOM AT (2 PERSONS/BEDROOM) @ 140	= 420 GAL/DAY
	0 BEDROOM AT (1 PERSONS/BEDROOM) @ 70	= 0 GAL/DAY
3 TOTAL BEDROOMS		TOTAL DESIGN FLOW 420 GAL/DAY
MIN BASAL AREA REQUIRED = ( 420 GAL/DAY ) / ( 0.74 GAL/SF/DAY )		= 568 SF
APPROXIMATE BASAL AREA PROVIDED		= 1187 SF F.S. ON AREA 2.09
NUMBER OF ARC 36 CHAMBERS REQUIRED FROM ARC BY INFILTRATOR VERMONT STATE ATTACHMENT (SEPT. 2020)		= 19 ARC 36 CHAMBERS
TOTAL NUMBER OF QUICK4 STANDARD CHAMBERS PROVIDED		= 21 ARC 36 CHAMBERS
	FACTOR OF SAFETY ON CHAMBERS	= 1.11
SEPTIC TANK SIZE TO BE	1500 GALLONS REQUIRED, USE EFFLUENT TEE FILTER	
DOSE SIZE TO BE MAXIMUM OF	105 GALLONS, TO ALLOW FOR 4 DOSES/DAY	

**OTHER DESIGN NOTES:**

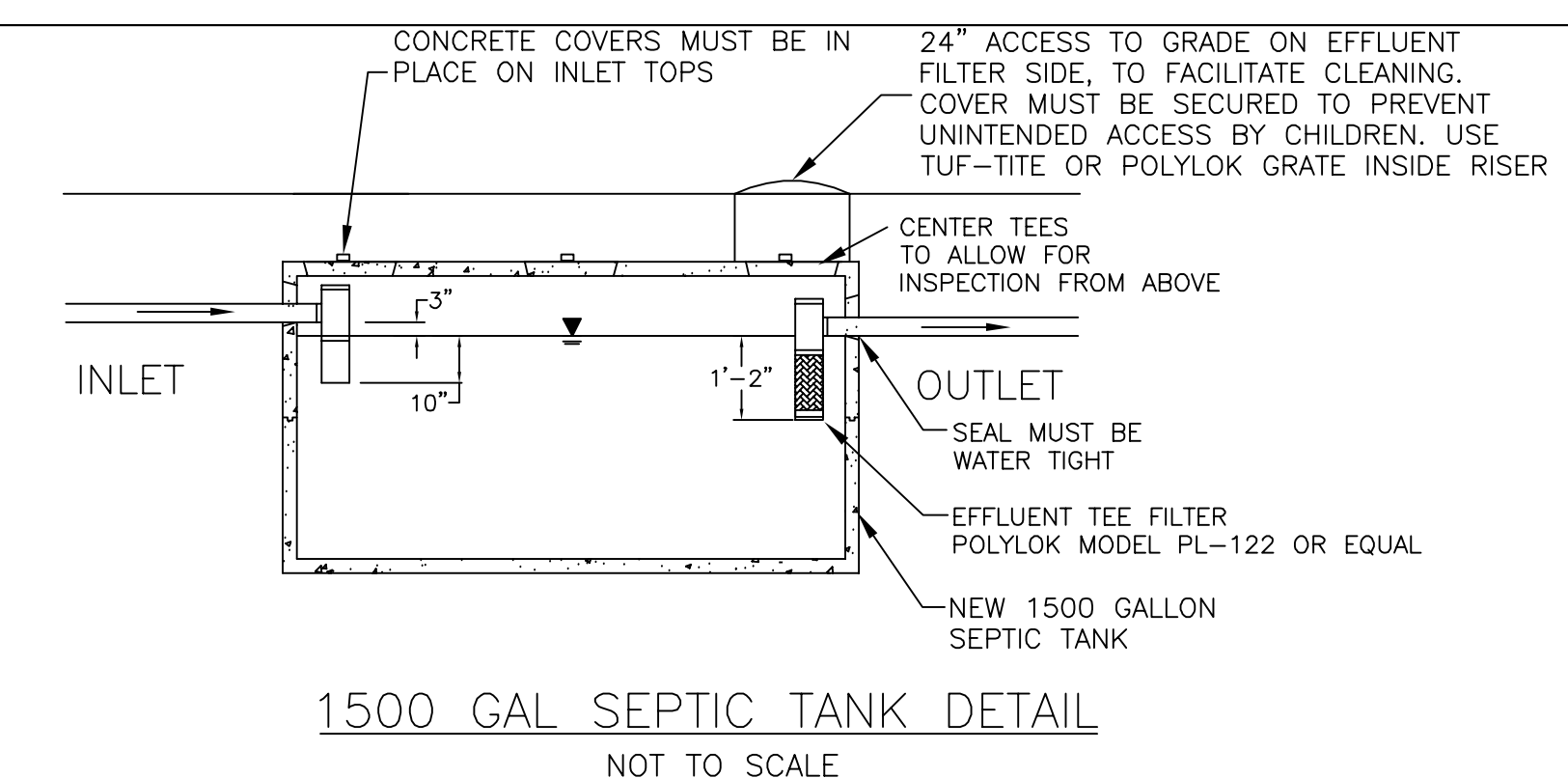
- NO GARBAGE DISPOSAL SHALL BE USED, NO WATER SOFTNER SHALL BE INSTALLED.
- GROUNDWATER FOUND AT 27 THEREFORE NO CURTAIN DRAIN REQUIRED.
- SYSTEM MUST BE INSTALLED AND OPERATED IN ACCORDANCE WITH ARC BY INFILTRATOR DESIGN AND INSTALLATION MANUAL, & THE VT STATE ATTACHMENT.
- DESIGN IS BASED ON A MINIMUM OF 12 INCHES OF SAND UNDER INFILTRATOR CHAMBERS.
- SYSTEM IS DESIGNED TO TREAT WASTEWATER EFFLUENT FROM A RESIDENTIAL HOME, THE ADDITION OF A BUIVIVE SUBSTANCES, ADDITIVES AND CONSTANT DISCHARGE OF WATER ARE DETRIMENTAL TO THE SYSTEM.



PROFILE THROUGH SYSTEM CENTERLINE  
NOT TO SCALE

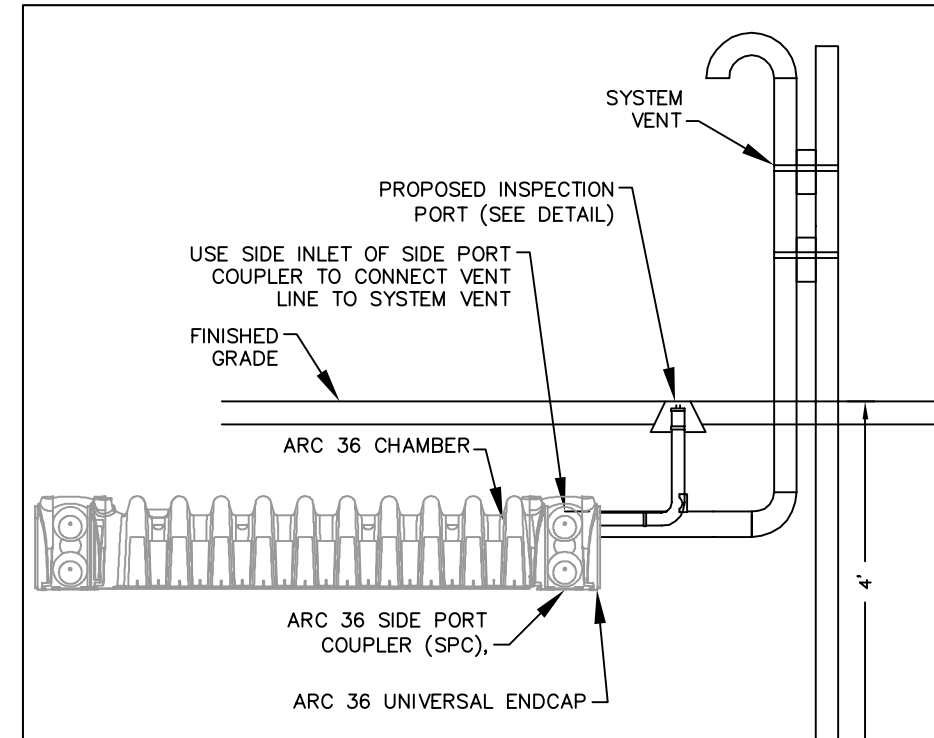


DISTRIBUTION PIPING & VENT MANIFOLD DETAIL  
NOT TO SCALE



1500 GAL SEPTIC TANK DETAIL  
NOT TO SCALE

- NOTES:**
- SEPTIC TANK TO BE PRECAST CONCRETE BY WASHBURN VAULT, OR EQUAL. NO WEEP HOLES ALLOWED IN TANK.
  - TANK TO BE SET LEVEL WITH INLET AND OUTLET PENETRATION AS SHOWN.
  - INLET TO USE 4 x 4 x 4 PVC TEE EXTENDING 10" BELOW OUTLET AS SHOWN.
  - OUTLET TO USE 4 x 4 x 4 PVC TEE EXTENDING 14" BELOW OUTLET AS SHOWN.
  - PROVIDE CENTER ACCESS WITHIN 6" OF SURFACE, WITH STEEL PLATE FOR MAGNETIC LOCATOR.
  - ALL PENETRATIONS TO BE SEALED TO ENSURE TANK IS WATERTIGHT.
  - BACKFILL IN 12" LIFTS, WITH COMPACTION USING 4" MINUS MATERIAL.
  - PLACE 6" OF STONE UNDER SEPTIC TANK TO PROVIDE A SOLID BASE.
  - RISERS TO BE HDPE/PLASTIC.



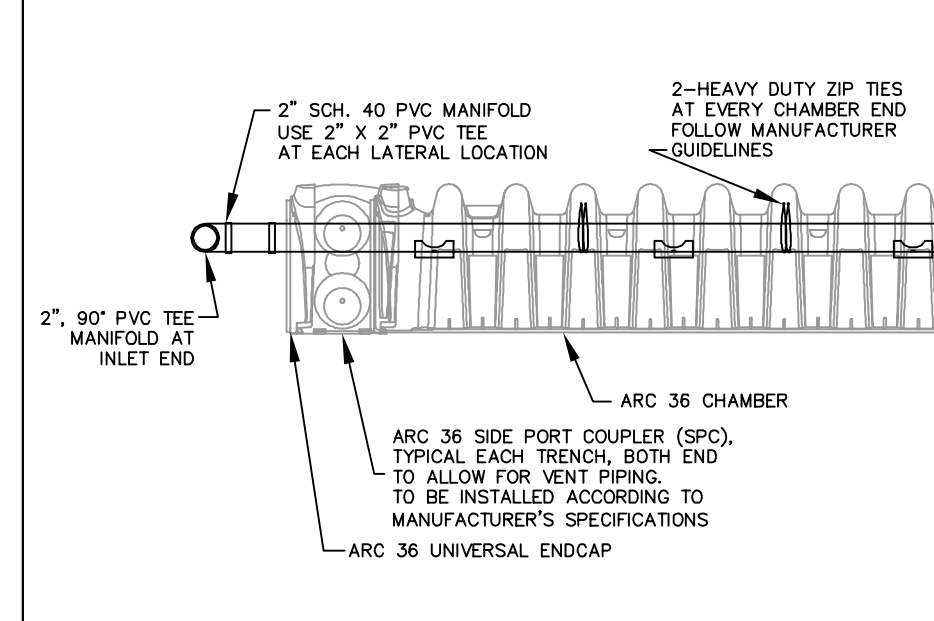
- NOTES:**
- USE 2 - 4" STREET ELBOWS AT TOP.
  - PROVIDE 1/4" MESH GAIRD AT END OF VENT.
  - USE A 45 ELBOW AT EACH END PLATE, TO CONNECT TO VENT HEADER.
  - USE 4x4x8" P.T. POST WITH STAINLESS STEEL STRAPS TO ATTACH POST TO VENT.
  - IF POSSIBLE USE SDR 35 SOLID WITH STREET ELBOWS, OR 4" SCH. 40 PVC.
  - ALL PIPING MUST BE THE SAME COLOR.

SYSTEM VENT DETAIL  
NOT TO SCALE

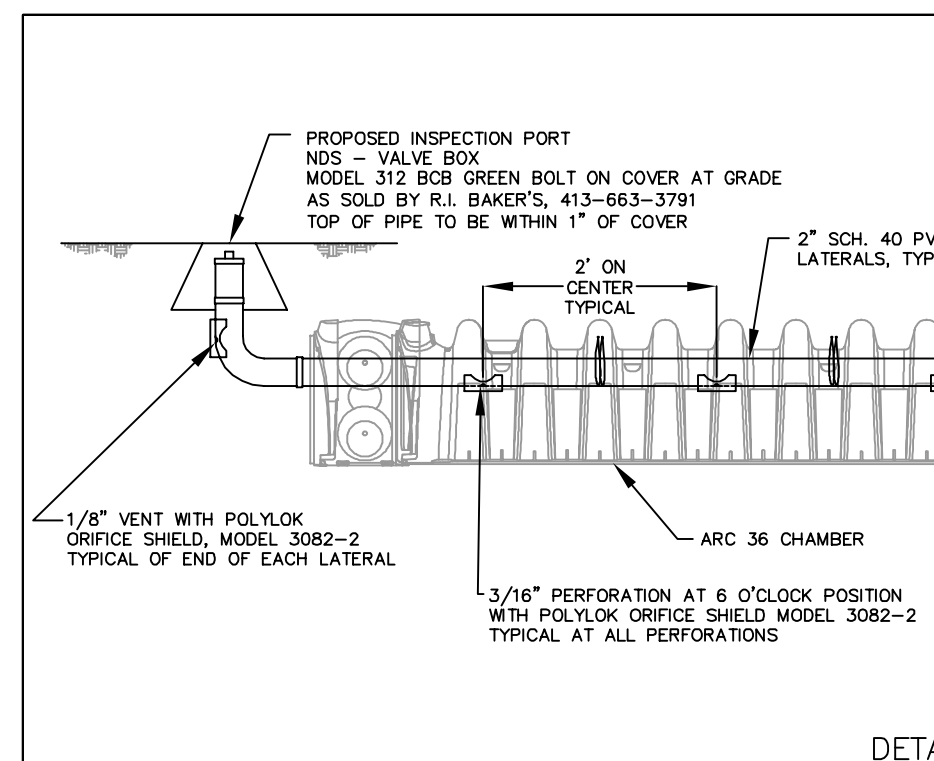
**MOUND SAND FILL MUST MEET ONE OF THESE SPECIFICATIONS**

TYPE 1	TYPE 2 (ASTM C-33)	TYPE 3
NO. 3/8 85-100%	NO. 4 95-100%	NO. 3/8 85-100%
NO. 40 25-75%	NO. 8 80-100%	NO. 40 30-50%
NO. 60 0-30%	NO. 16 50-85%	NO. 200 0-5%
NO. 100 0-5%	NO. 30 25-60%	
	NO. 50 10-30%	
	NO. 100 2-10%	

A SIEVE ANALYSIS OF PROPOSED SAND SOURCE MUST BE SUBMITTED PRIOR TO CONSTRUCTION, FOR APPROVAL.  
NO LIMESTONE BASED SAND ALLOWED.



DETAIL OF MANIFOLD  
NOT TO SCALE



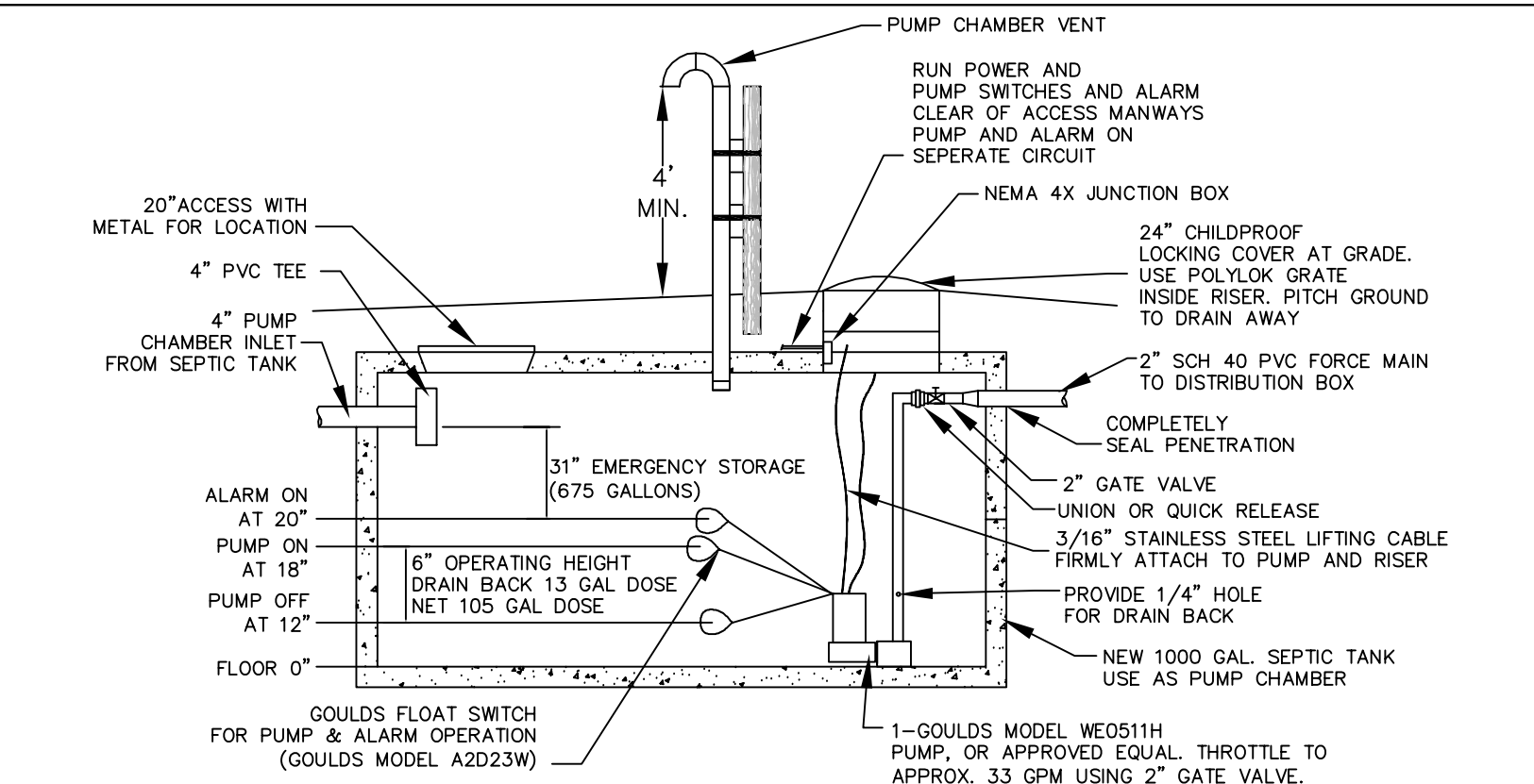
DETAIL OF LATERAL END  
NOT TO SCALE

- DESIGN LIMITATIONS AND OPERATIONAL NOTES:**
- SYSTEM IS NOT DESIGNED TO SUPPORT A GARBAGE DISPOSAL AND NONE SHALL BE INSTALLED.
  - SYSTEM IS NOT DESIGNED TO HANDLE BACKWASH FROM A WATER TREATMENT DEVICE AND SHALL NOT BE CONNECTED INTO WASTEWATER DISPOSAL SYSTEM.
  - PERIMETER DRAINAGE OR SUMP PUMPS FROM EXISTING RESIDENCE SHALL NOT BE CONNECTED INTO WASTEWATER DISPOSAL SYSTEM AND MUST NOT INFILTRATE OR DISCHARGE WITHIN 50' OF MOUND SYSTEM.
  - THIS DESIGN IS INTENDED TO TREAT NORMAL RESIDENTIAL WASTEWATER. IT IS NOT DESIGNED TO TREAT WASTEWATER CONTAINING SALTS, SOLVENTS OR HAZARDOUS CHEMICALS. THE USE OF CHEMOTHERAPEUTIC OR HEAVY PRESCRIPTION DRUGS CAN HAVE SERIOUS DETRIMENTAL IMPACTS ON THE LIFE OF THE SYSTEM.
  - EXCESSIVE FLOWS FROM LEAKING FIXTURES, RISERS, TANKS, OR OVER OCCUPANCY INVALIDATE THIS DESIGN.
  - NO PRIVATE WATER SUPPLY WELL OR SUCTION LINE SHALL BE LOCATED WITHIN 50 FEET OF THE SEPTIC TANK OR WITHIN 100 FEET OF THE WASTEWATER DISPOSAL SYSTEM.
  - FINISHED GRADE ABOVE THE LEACHING AREA SHALL HAVE A MINIMUM SLOPE OF 2% AND ALL SITE GRADING IS TO BE DONE IN A MANNER THAT PREVENTS THE COLLECTION OF SURFACE WATER.
  - EFFLUENT FILTER TO BE INSTALLED IN SEPTIC TANK OUTLET TEE, WHICH MUST REMAIN IN PLACE AND BE MAINTAINED AS REQUIRED TO MAINTAIN FLOW AND VENTING.
  - EFFLUENT FILTER TO BE MAINTAINED AS PER MANUFACTURER SPECIFICATIONS. THE FILTER WILL CLOG IF NOT PERIODICALLY CLEANED.

**INVERT AND SURFACE ELEVATIONS:**

FOUNDATION WALL	893.00	USE 1/4"/FT MIN.
SEPTIC TANK INLET	892.75	
SEPTIC TANK OUTLET	892.50	
PUMP CHAMBER INLET	892.25	
PUMP CHAMBER OUTLET	892.00	
INVERT OF MANIFOLD 2" INLET TO UNIVERSAL ENDCAP AT UPPER TRENCH	889.58	
INVERT OF MANIFOLD 2" INLET TO UNIVERSAL ENDCAP AT SECOND TRENCH	888.88	
INVERT OF MANIFOLD 2" INLET TO UNIVERSAL ENDCAP AT LOWER TRENCH	888.18	
ELEV. OF HIGHEST TRENCH BOTTOM	889.00	
ELEV. OF SECOND TRENCH BOTTOM	888.30	
ELEV. OF LOWEST TRENCH BOTTOM	887.60	
FINISHED GRADE @ HIGHEST CORNERS	891.25	
FINISHED GRADE @ LOWEST CORNERS	889.35	

**NOTE:**  
1) CONTRACTOR TO VERIFY ELEVATIONS PRIOR TO CONSTRUCTION.



SINGLE PUMP CHAMBER DETAILS  
NOT TO SCALE

- NOTES:**
- PUMP CHAMBER TO BE A 1000 GALLON PRECAST SEPTIC TANK, BY WASHBURN VAULT OR EQUAL. NO WEEP HOLE ALLOWED IN TANK.
  - AN ALARM PANEL TO BE SUPPLIED, TO PROVIDE AUDIO AND VISUAL ALARM AT HIGH LEVEL. ALARM PANEL TO BE SJE RHOMBUS MODEL 1121110H6A178AB8C WITH INTEGRATED PUMP ELAPSED TIME AND CYCLE COUNTER. COORDINATE PLACEMENT WITH OWNER. PLACE IN A VISIBLE LOCATION, PANEL MUST PROVIDE A SILENCER TO SILENCE THE AUDIO ALARM, VISUAL ALARM TO REMAIN UNTIL HIGH LEVEL CONDITION IS CLEARED.
  - PROVIDE ACCESS TO SURFACE THROUGH MANWAY SHOWN, WITH POSITIVE SURFACE DRAINAGE AWAY.
  - ALL PENETRATIONS TO BE SEALED TO ENSURE TANK IS WATERTIGHT.
  - BACKFILL IN 12" LIFTS, WITH COMPACTION USING 4" MINUS MATERIAL.
  - PUMP AND FITTINGS MUST BE DIRECTLY BELOW OPENING TO ALLOW EASY ACCESS AND REMOVAL.
  - PROVIDE JUNCTION BOX FOR ALL ELECTRICAL CONNECTIONS MADE WITHIN CHAMBER.
  - FOLLOW ALL APPLICABLE PLUMBING AND ELECTRICAL CODES FOR INSTALLATION.
  - ALARM SHALL BE INSTALLED IN BASEMENT MECHANICAL ROOM.
  - ENTRY BY ANY PERSONNEL SHOULD FOLLOW CONFINED SPACE ENTRY PROCEDURES.
- PUMP CHAMBER VENT NOTES:**
- USE 2 4" STREET ELBOWS AT TOP.
  - PROVIDE 1/4" MESH GAIRD AT END.
  - USE A 45 ELBOW AT THE END OF EACH LATERAL, TO CONNECT TO VENT HEADER.
  - USE 4x4x8" P.T. POST WITH STAINLESS STEEL STRAPS TO ATTACH POST TO VENT.
  - IF POSSIBLE USE SDR 35 SOLID WITH STREET ELBOWS, OR 4" SCH. 40 PVC.
  - ALL PIPING MUST BE THE SAME COLOR.

- FINAL INSPECTION REQUIREMENTS AND PROCEDURE:**
- THE COST FOR ONE SITE VISIT TO COMPLETE THE FINAL INSPECTION HAS BEEN BILLED TO THE CLIENT. THE COST FOR PARTIAL OR INCOMPLETE FINAL INSPECTIONS MAY BE CHARGED DIRECTLY TO THE CONTRACTOR.
  - CONTRACTOR MUST BE PRESENT AT THE TIME OF INSPECTION AND MUST CONTACT THE LOCAL BOARD OF HEALTH OR SEPTIC OFFICER TO COORDINATE THEIR INSPECTION REQUIREMENTS.
  - THE ENTIRE SYSTEM MUST BE SUBSTANTIALLY CONSTRUCTED AND COMPLETELY TESTED BY THE CONTRACTOR PRIOR TO REQUESTING THE FINAL INSPECTION BY THE ENGINEER.
  - SUBSTANTIALLY CONSTRUCTED MEANS THE FOLLOWING:  
FOR ALL TYPES OF SYSTEMS:  
A. ALL COMPONENTS IN THE LEACH FIELD MUST BE INSTALLED, CONNECTED AND PROPERLY BEDDED.  
B. THE BUILDING SEWER MUST BE INSTALLED AND BEDDED AND AT LEAST PARTIALLY VISIBLE TO ALLOW INSPECTION OF THE CLASS OF PIPE AND BEDDING MATERIALS.  
C. THE SEPTIC TANK MUST BE INSTALLED AND BACKFILLED TO THE HEIGHT OF THE BOTTOM OF THE INLET AND OUTLET PIPES TO ALLOW INSPECTION OF THE PENETRATION SEALS. THE INLET TEE, OUTLET TEE, EFFLUENT TEE FILTER MUST BE INSTALLED. ALL RISERS MUST BE COMPLETELY INSTALLED AND AT FINISHED GRADE. ALL PENETRATIONS MUST BE SEALED.  
D. IF THE DESIGN CALLS FOR A PUMP CHAMBER, IT MUST BE INSTALLED AND BACKFILLED TO THE LEVEL OF THE BOTTOM OF THE PIPE PENETRATIONS. ALL PUMPS, PIPES, SEALS, CABLES, FLOATS, JUNCTION BOXES, ALARMS, RISERS AND COVERS MUST BE FULLY INSTALLED, AND COMPLETELY OPERATIONAL. PROVISIONS TO TEST THE PUMP SYSTEM WITH WATER WILL BE REQUIRED. CONTRACTOR MUST HAVE WATER LEVEL AT THE "PUMP OFF" LEVEL PRIOR TO INSPECTION, AND MUST HAVE SUFFICIENT WATER AVAILABLE TO TEST PUMP AS MANY TIMES AS WILL BE NECESSARY.  
E. THE CONTRACTOR MUST PROVIDE THE DISTANCES TO ALL COMPONENTS INCLUDING, BUILDING SEWERS, BENDS, TANKS, PUMP CHAMBERS, DISTRIBUTION BOXES AND FIELD CORNERS. THESE DISTANCES SHOULD BE COMPLETED PRIOR TO THE FINAL INSPECTION.  
FOR RAISED PRESBY SYSTEMS:  
A. THE MOUND SAND AND SYSTEM SAND MUST BE INSTALLED IN THE MOUND, INCLUDING THE 6" DEPTH OF SYSTEM SAND OVER THE TOPS OF THE PRESBY PIPES. LEAVE ONLY THE TOP OF END CAPS AND CONNECTING PIPES VISIBLE FOR INSPECTION.  
B. ALL FILL MUST BE PLACED IN THE FILL SLOPES, INCLUDING ALL SAND, COMMON FILL AND TOPSOIL. CONTRACTOR MUST LEAVE THE TOP OF THE SYSTEM SAND UNCOVERED FOR INSPECTION. UPGRADIENT SURFACE DRAINAGE MUST BE INSTALLED.  
C. ALL VENT LINES MUST BE INSTALLED.  
D. THE CONTRACTOR MUST HAVE SIEVE ANALYSIS REPORTS FOR THE MOUND SAND AND THE SYSTEM SAND ON HAND AT THE TIME OF THE INSPECTION. THE SIEVE ANALYSIS REPORT MUST IDENTIFY THE SUPPLIER, AND THE DATE OF ANALYSIS.  
5) ALL OTHER SITE SPECIFIC REQUIREMENTS IDENTIFIED ON THE DRAWING MUST BE COMPLETED, INCLUDING (IF APPLICABLE) ABANDONMENT OF EXISTING FAILED SYSTEMS, ABANDONMENT OF EXISTING WELLS, INSTALLATION OF CURTAIN DRAINS.  
6) IF DEFICIENCIES ARE FOUND, THESE WILL BE NOTED AND THE INSPECTION WILL BE CONSIDERED A PARTIAL INSPECTION. A SUBSEQUENT INSPECTION(S) WILL BE REQUIRED TO CONFIRM THE DEFICIENCIES HAVE BEEN CORRECTED. ALL COSTS FOR SUBSEQUENT INSPECTIONS WILL BE CHARGED DIRECTLY TO THE CLIENT.

DESIGNED BY:	J.E.D.	DATE:	6/27/22
DRAWN BY:	G.J.V.	DATE:	
CHECKED BY:	J.E.D.	DATE:	
SCALE:	AS SHOWN	DATE:	
ORIGINAL SUBMISSION FOR PERMIT:	J.E.D.	DATE:	
DESCRIPTION:		DATE:	
BY:		DATE:	
REV. NO.:	1	DATE:	



DESIGNED BY: J.E.D.  
DRAWN BY: G.J.V.  
CHECKED BY: J.E.D.  
SCALE: AS SHOWN

THE STATE OF VERMONT  
WASTEWATER DISPOSAL SYSTEM AND  
POTABLE WATER SUPPLY DESIGN  
PROJECT:  
PREPARED FOR JAMES A. GORDON  
LOT 2, 1073 CHAPEL ROAD  
TOWN OF BENNINGTON, VERMONT

TITLE:  
DATE: 6/27/2022  
PROJECT NUMBER:  
22097  
SHEET NUMBER: C-2  
SHEET: 2 OF 2

Tripp, Kyle C.

to Gordon, James Addison & Barnes, Amber  
Nicole

Taken from the office 2-18-2021 By: JAM [Signature]  
Document recorded in Book 548 Page 54  
February 12, 2021 at 3 o'clock 30 minutes 54 P M  
By Camundia Barber, Town Clerk

### WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS that I, KYLE C. TRIPP, of Cartersville, Georgia, GRANTOR, in the consideration of ONE DOLLAR AND OTHER GOOD AND VALUABLE CONSIDERATION paid to my full satisfaction by JAMES ADDISON GORDON AND AMBER NICOLE BARNES, husband and wife, both of Atlantic Beach, Florida, GRANTEES, by these presents do freely GIVE, GRANT, SELL, CONVEY, and CONFIRM unto the said GRANTEES, JAMES ADDISON GORDON AND AMBER NICOLE BARNES, husband and wife, as tenants by the entirety, their heirs and assigns forever, certain lands and premises located in Bennington, in the County of Bennington and State of Vermont, described as follows:

**SEE SCHEDULE A ATTACHED HERETO AND MADE A PART HEREOF.**

TO HAVE AND TO HOLD said granted premises, with all the privileges and appurtenances thereof, to the said GRANTEES, JAMES ADDISON GORDON AND AMBER NICOLE BARNES, husband and wife, as tenants by the entirety, their heirs and assigns, their own use and behoof forever; And I, the said GRANTOR, KYLE C. TRIPP, for myself and my heirs, executors, and administrators, do covenant with the said GRANTEES, JAMES ADDISON GORDON AND AMBER NICOLE BARNES, husband and wife, as tenants by the entirety, their heirs and assigns, that until the ensembling of these presents, I am the sole owner of the premises and have good right and title to convey the same in manner aforesaid, that it is FREE FROM EVERY ENCUMBRANCE, except as stated above; and I do hereby engage to WARRANT AND DEFEND the same against all lawful claims whatever, except as stated above.

**SCHEDULE A**  
**LOT #2, PARCEL ID #06-01-28**  
**CHAPEL ROAD, BENNINGTON, VERMONT**

Being the same land conveyed to KYLE C. TRIPP by Quitclaim Deed of KYLE C. TRIPP and MELISSA A. REARDON dated January 11, 2018 and recorded January 31, 2018 in Book 527 at Page 66 of the Bennington, Vermont Land Records and described therein as follows:

Being a portion of the lands and premises conveyed to Kyle C. Tripp and Melissa A. Reardon by Quitclaim Deed of Lucinda J. Krautheim dated May 8, 2002 and recorded May 9, 2002 in Book 382 at Page 132 of the Bennington, Vermont Land Records and described therein as follows:

Being a portion of the same lands and premises conveyed to Lucinda J. Tripp, now known as Lucinda J. Krautheim, by warranty Deed of Mae Stratton, dated March 25, 1992 and recorded March 31, 1992, in Book 0-296, at Page 157 of the Bennington, Vermont Land Records and being therein described as follows:

Being a parcel of land shown as LOT #2 on the survey plat entitled: "SUBDIVISION For: Kyle Tripp and Melissa Reardon, Chapel Road, Bennington, VT 05201" by BLAZE Design Inc. dated 17 March 2017 with Project #B-1182-15 to which reference may be made for a further description.

Beginning at a Capped Iron Rod (VT LS #717) set on the assumed easterly Right - of - Way of Chapel Road, at the northwesterly corner of this described parcel, said point being the Point Of Beginning (POB).

From the POB, run along the southerly boundary of Lot #1, the following five (5) courses:

- |               |                                                                                                       |
|---------------|-------------------------------------------------------------------------------------------------------|
| 6. S87° 42'E  | 318.64 feet to a point near a stonewall;                                                              |
| 7. N87° 38'E  | 329.3 feet to a point to a Capped Iron Rod (VT LS #717) set;                                          |
| 8. N89° 10'E  | 1304.31 feet to a point;                                                                              |
| 9. N00° 41'E  | 35 feet to a point;                                                                                   |
| 10. S88° 58'E | 2518.46 feet to a Blazed Tree. Said Blazed Tree is the northeasterly corner of this described parcel. |

Then turn and run, along the land of the US National Forest, the following two (2) courses;

- |              |                                                                                                                               |
|--------------|-------------------------------------------------------------------------------------------------------------------------------|
| 1. S02° 35'W | 220 feet to another Blazed Tree;                                                                                              |
| 2. S02° 35'W | 499.28 feet to a Capped Iron Rod (VT LS #717) set. Said Capped Iron Rod is the southeasterly corner of this described parcel. |

Then turn and run, along the northerly boundary of Parcel ID #06-01-40, lands now or formerly of Hannan, N85° 44'W for a distance of 3450.77 feet to a point. Then continue N86° 20'W for a distance of 396.49 feet to a point.

Then turn and run, along the southerly boundary of Parcel ID #06-01-37, land now for formerly of Bartholdi, the following two (2) courses;

- |              |                                                                                                                                |
|--------------|--------------------------------------------------------------------------------------------------------------------------------|
| 3. S08° 35'W | 397.21 feet to a Capped Iron Rod (VT LS #717) set;                                                                             |
| 4. N88° 19'W | 1579.65 feet to a Capped Iron Rod (VT LS #717) set. Said Capped Iron Rod is the northwesterly corner of this described parcel. |

Then turn and run, along the assumed easterly Right - of - Way of Chapel Road, S07° 23'W for a distance of 450 feet to the point or place of beginning.

Said parcel as described is 2, 521, 019± Square Feet or 57.9± Acres.

IN WITNESS WHEREOF, we hereunto set our hands and seals this 11<sup>th</sup> day of

February, 2021

IN PRESENCE OF

*Cynthia J. Locklin*

WITNESS

*Kyle C. Tripp by  
Raymond G. Bolton  
his attorney in fact*

KYLE C. TRIPP

BY RAYMOND G. BOLTON, ESQ.

HIS ATTORNEY-IN-FACT

STATE OF VERMONT

BENNINGTON COUNTY, SS.

At Bennington, Vermont, this 11<sup>th</sup> day of February, 2021, KYLE C. TRIPP, BY RAYMOND G. BOLTON, ESQ, THEIR ATTORNEY-IN-FACT, personally appeared, and he acknowledged this instrument, by him sealed and subscribed, to be his free act and deed and the free act and deed of KYLE C. TRIPP

Raymond G. Bolton  
Attorney At Law  
PO Box 373  
134 Union Street  
Bennington VT  
05201

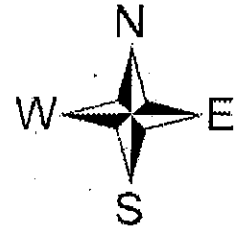


Before me,

*Cynthia J. Locklin*

NOTARY PUBLIC

MY COMMISSION EXPIRES: 01/31/2023



**CHART OF ACREAGE ADJUSTMENTS**

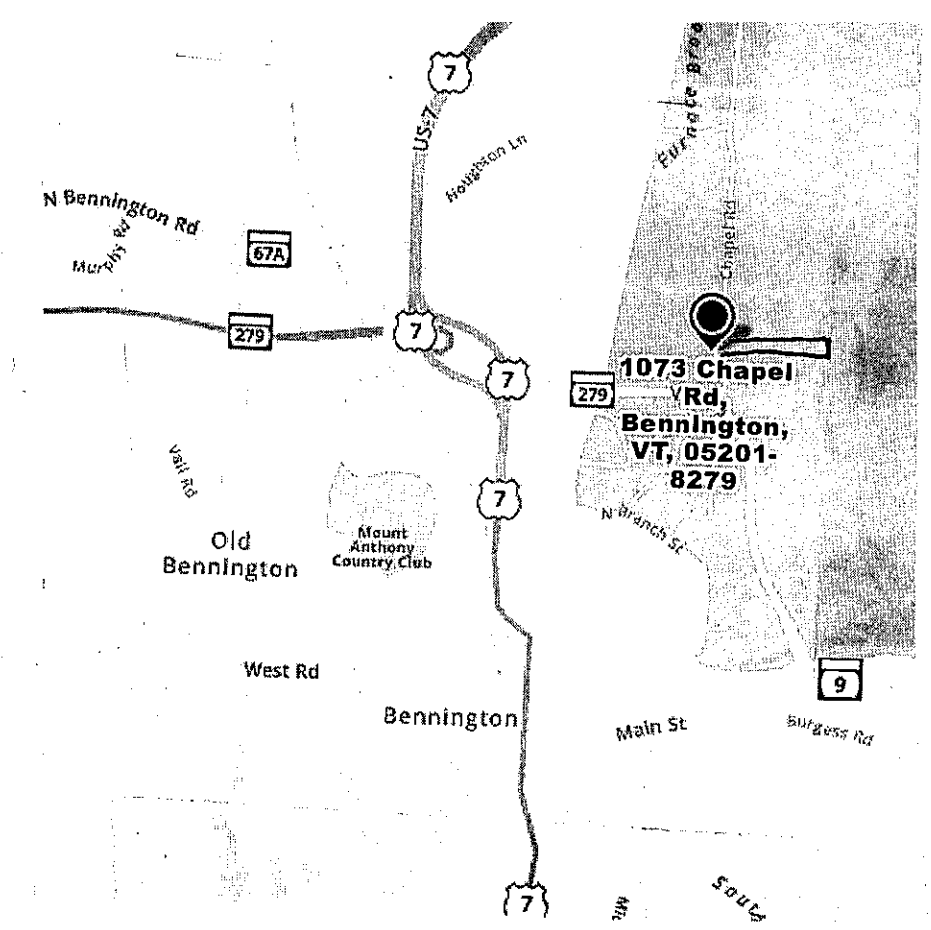
1. Town listed acres in parcel	58.1
2. Acres to be excluded	6.0
3. Acres to be entered	52.1
4. Acres to be entered acc to map	52.1
5. Factor to prorate acres	1.0

**Productive forestland**

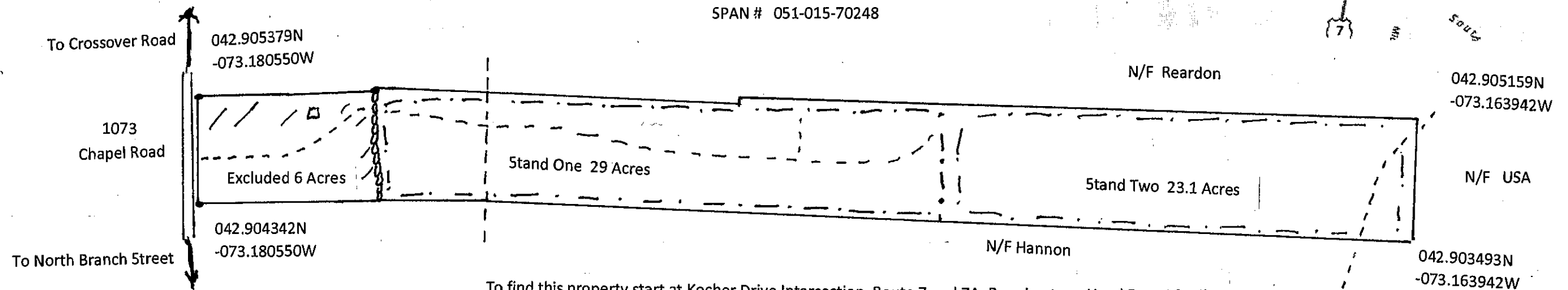
AREA	TYPE	MAP ACRES
Stand 1	NH	29.0
Stand 2	BBM	23.1
Enrolled land		52.1
Excluded land		6.0
<b>Total Grand List Acres</b>		<b>58.1</b>

Vermont Use Value Program  
 property of  
 James Gordon & Amber N. Barnes  
 740 Sailfish Drive  
 Atlantic Beach, Florida 32233  
 (property located at 1073 Chapel Road, Bennington)

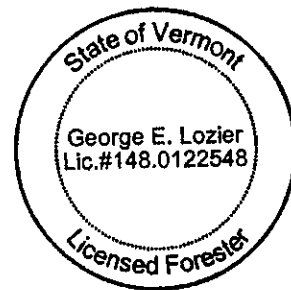
Orthophoto Base: Sheet 096044 White Chapel  
 Series 5000, Year 2000  
 Scale 1:5000; 1" = 416'  
 Drawn 7/2021 by George E. Lozier  
 Lincoln Forestry Co.  
 250 Lincoln Street, Pownal, Vermont 05261  
 Vermont Licensed Forester #548



SPAN # 051-015-70248



To find this property start at Kocher Drive Intersection, Route 7 and 7A, Bennington. Head East .30 mile to stoplight. Go straight onto North Branch Street then 0.47 mile to Chapel Road, turn left. Follow Chapel Road 1.07 mile to 1073 Chapel Road on right.



## USE VALUE APPRAISAL CHART OF ACREAGE ADJUSTMENTS

Landowner Name: Gordon, James and Barnes, Amber \_\_\_\_\_

Town: Bennington \_\_\_\_\_

Orthophoto # 096044 \_\_\_\_\_ SPAN: 051-015-70248 \_\_\_\_\_

- |    |                                                        |      |       |
|----|--------------------------------------------------------|------|-------|
| 1. | Total Grand List acres in parcel                       | 58.1 | _____ |
| 2. | Actual acres to be excluded as measured on orthophoto  | 6.0  | _____ |
| 3. | Acres to be enrolled (line 1 minus 2)                  | 52.1 | _____ |
| 4. | Acres to be enrolled according to map calculations     | 52.1 | _____ |
| 5. | Factor to prorate (adjust) acres (line 3 divided by 4) | 1.0  | _____ |

Area	Type (crop/pasture)	Map Acres (measured)	x	Factor	=	Prorated Acres	
						<1 Mi	>1 Mi
Active Ag	_____	_____		_____		_____	_____
Open/Idle Ag	_____	_____		_____		_____	_____
	Subtotal =	_____		_____	Subtotal =	_____	_____

Productive Forest Land

(forest type)

Stand	_____	_____		_____		_____	_____
Stand	<u>1</u>	<u>02</u>	29.0	<u>1.0</u>		29.0	
Stand	<u>2</u>	<u>07</u>	23.1	<u>1.0</u>		23.1	
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
	Subtotal =	_____		_____	Subtotal =	52.1	_____

Non-productive Land/Site IV (determined by the 20% rule)

(wetland/ledge/non-recreational pond <20 acres)

Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____
Stand	_____	_____	_____	_____		_____	_____

Subtotal = \_\_\_\_\_

Subtotal = 52.1

## USE VALUE APPRAISAL CHART OF ACREAGE ADJUSTMENTS

COUNTY FORESTER APPROVAL FOR THE FOLLOWING CATEGORIES IS REQUIRED TO DETERMINE ELIGIBILITY

Non-productive Land/Site IV (in excess of the 20% rule)  
(wetland/ledge/non-recreational pond <20 acres)

Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
	Subtotal =	_____	_____		Subtotal =	_____

Ecologically Significant Treatment Areas (ESTA)

Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
	Subtotal =	_____	_____		Subtotal =	_____

Significant Wildlife Habitat

Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
	Subtotal =	_____	_____		Subtotal =	_____

Special Places/Sensitive Sites

Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
	Subtotal =	_____	_____		Subtotal =	_____

Miscellaneous/≤ 1 acre

Stand	_____	_____	_____	_____	_____	_____
Stand	_____	_____	_____	_____	_____	_____
	Subtotal =	_____	_____		Subtotal =	_____

Grand total = 52.1 \_\_\_\_\_

Enrolled Land (adjusted)	(sum of prorated acres)	52.1 _____
Excluded Land (actual)	(line 2)	6.0
Total Grand List Acres	(line 1)	58.1

**Approved:**

**County Forester**

\_\_\_\_\_

**Signature**

**Date**

**USE VALUE APPRAISAL PARCEL DATA ENTRY FORM**

new  update<sup>1</sup>  amendment<sup>2</sup>  change of ownership

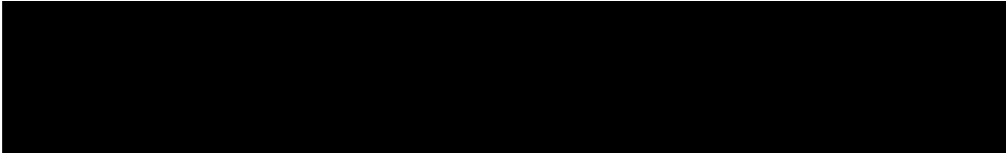
**\*\*\*FP&R COUNTY FORESTER USE ONLY\*\*\***

Parcel ID For Data Entry (by state) # \_\_\_\_\_, \_\_\_\_\_ — \_\_\_\_\_

Year of Plan \_\_\_\_\_

Year of Entry \_\_\_\_\_  
Year of Last Inspection \_\_\_\_\_

1) Landowner Name (last name, first name) Gordon, James and Barnes, Amber



3) Town That Parcel Is In bennington 4) Total Forestry Acres in Parcel 52.1 (Grand list acreage, minus active agricultural and open land and exclusions)

5) Plan Preparer (last name, first name) george 6) Previous Owner (last name, first name) lozier

7) SPAN 051-015-70248

8) Stand information (this information is for data entry only and does not override what is in actual plan):

Stand #	Acres	Even-aged Uneven-aged (existing)	Predominant Site Class (I, II, III or IV)	Stand Type	Quadratic M.S.D.	Total BA	AGS BA	Management Activities	Treatment Year
1	29	2	1	02	8	100	90	07	2024
2	23.1	1	2	07	8	120	90	09	

<sup>1</sup> Update of an existing plan that includes all new stand descriptive data required every 10 years at minimum.

<sup>2</sup> Change to an approved existing plan does not change the 10-year cycle of the existing plan. If this form is filed with an amendment, indicate the amended information in the appropriate stand, and write an explanation in section 12. Amendments must be signed by the landowner(s).

- 9) No activity – (identify stand # and reasons) 2 needs road work
- 10) Management Activities – other (identify stand #) \_\_\_\_\_
- 11) Stand Types – other (identify stand #) \_\_\_\_\_
- 12) Amended prescriptions – (identify stand #) \_\_\_\_\_

STAND TYPES	CODE #
aspen and/or white birch	01
white pine, red oak	02
white pine	03
hemlock	04
sugar maple	05
beech, birch, sugar maple	06
beech, red maple	07
spruce	08
spruce/fir	09
pioneer species	10
mixed wood (25%-65% softwood)	11
other (identify other in section 11)	12
ESTA	13
open	14
significant wildlife habitat	15
special places and sensitive sites	16
miscellaneous	17

MANAGEMENT ACTIVITY CODES (if one of the following choices reasonably describes the planned management activity, use it. If not, use #13 other and describe the management activity in Section 10. Note these descriptions are for choosing codes only; they are not the silvicultural standards).

1. Non-commercial forest stand improvement
- EVEN-AGED MANAGEMENT
2. Intermediate thinning
  3. Shelterwood cut
  4. Overstory removal cut
  5. Clearcut
  6. Progressive clearcutting
- UNEVEN-AGED MANAGEMENT
7. Single Tree Selection
  8. Group Selection
- MISCELLANEOUS CHOICES
9. Salvage cut
  10. Sugarbush management
  11. Species conversion
  12. No Activity
  13. Other
  14. Crop Tree Release
  15. Invasive Species Control



# STAND DESCRIPTION

## STAND DATA

Stand ID: **1** Stand Cover Type: **ro,rm**  
Acres: **29** Age Class Structure: **Uneven-aged**  
Site Class: **1** Quad. MSD: **8** Total BA: **100**  
Site Index: **RED MAPLE 55** AGS BA: **90** UGS BA: **10**

Overstory Species Composition	
Species	%/BA
RED OAK	50
RED MAPLE	25
BEECH	15
BIRCH	10

Minor Associates (if applicable):

Sampling Date: **7/2021** Number of Sample Points/Plots: **6** Plot Area/BAF: **10**

## STAND INFORMATION

Stand History: Thinned in 2008, 2013  
Regeneration: RED MAPLE, BEECH  
Forest Health: GOOD  
Invasive Species: BARBERRY, HONEYLOCUST

## LONG RANGE SILVICULTURAL OBJECTIVES

Uneven-aged Management Silvicultural System: SINGLE TREE SELECTION  
Diameter objectives for principal species: **DBH 20 MAX FOR ALL SPECIES**  
Cutting Cycle: **10 years**  
Description: Favor high quality red oak and red maple. Reduce basal area.

# SILVICULTURAL TREATMENT

## UNEVEN-AGED MANAGEMENT

Stand ID:	1	Silvicultural System(s):	single tree selection
Treatment Year:	2024		
Acres to be treated:	29	Silvicultural Guide/Ref.	NHW GUIDE/LEAK/1969

GROUP/PATCH SELECTION

Size(s) of Groups/Patches:

% of Stand Area Regenerated:

Residual BA outside of Groups/Patches:

Description of treatment outside of groups (if applicable), group/patch location, and treatment narrative:

Species favored for retention and/or regeneration:

---

SINGLE-TREE SELECTION

If using Q-factors: Current Q-factor: **1.9** Target Q-factor: **1.6**

If using Diameter Distributions (Tables or Charts), insert below or attach for both current and target conditions.

Residual Basal Area: **70**

Species favored for retention and/or regeneration:

red oak and red maple

Treatment Narrative:

selective cutting to remove firewood and logs. want to reduce BA and improve spacing favoring red maple and red oak

## STAND DESCRIPTION

### STAND DATA

Stand ID: **2** Stand Cover Type: **BBM**  
Acres: **23.1** Age Class Structure: **Even-aged**  
Site Class: **2** Quad. MSD: **8** Total BA: **120**  
Site Index: **RED MAPLE 45** AGS BA: **90** UGS BA: **30**

Minor Associates (if applicable):

Overstory Species Composition	
Species	%/BA
RED MAPLE	40
BEECH	20
BIRCH	10
RED OAK	10
HEMLOCK	10
MISC	10

Sampling Date: **7/2021** Number of Sample Points/Plots: **6** Plot Area/BAF: **10**

### STAND INFORMATION

Stand History: No activity

Regeneration: very little

Forest Health: beech bark disease

Invasive Species: none observed

### LONG RANGE SILVICULTURAL OBJECTIVES

Uneven-aged Management Silvicultural System: **SINGLE TREE SELECTION**

Diameter objectives for principal species: **DBH 18 MAX FOR ALL SPECIES**

Cutting Cycle: **10 years**

Description: firewood should be removed first favoring better maple and birch. Difficult logging chance.

# SILVICULTURAL TREATMENT

## UNEVEN-AGED MANAGEMENT

Stand ID:	2	Silvicultural System(s):	single tree selection
Treatment Year:	no activity		
Acres to be treated:		Silvicultural Guide/Ref.	

GROUP/PATCH SELECTION

Size(s) of Groups/Patches:

% of Stand Area Regenerated:

Residual BA outside of Groups/Patches:

Description of treatment outside of groups (if applicable), group/patch location, and treatment narrative:

Species favored for retention and/or regeneration:

---

SINGLE-TREE SELECTION

If using Q-factors: Current Q-factor: **2.0** Target Q-factor: **1.6**

If using Diameter Distributions (Tables or Charts), insert below or attach for both current and target conditions.

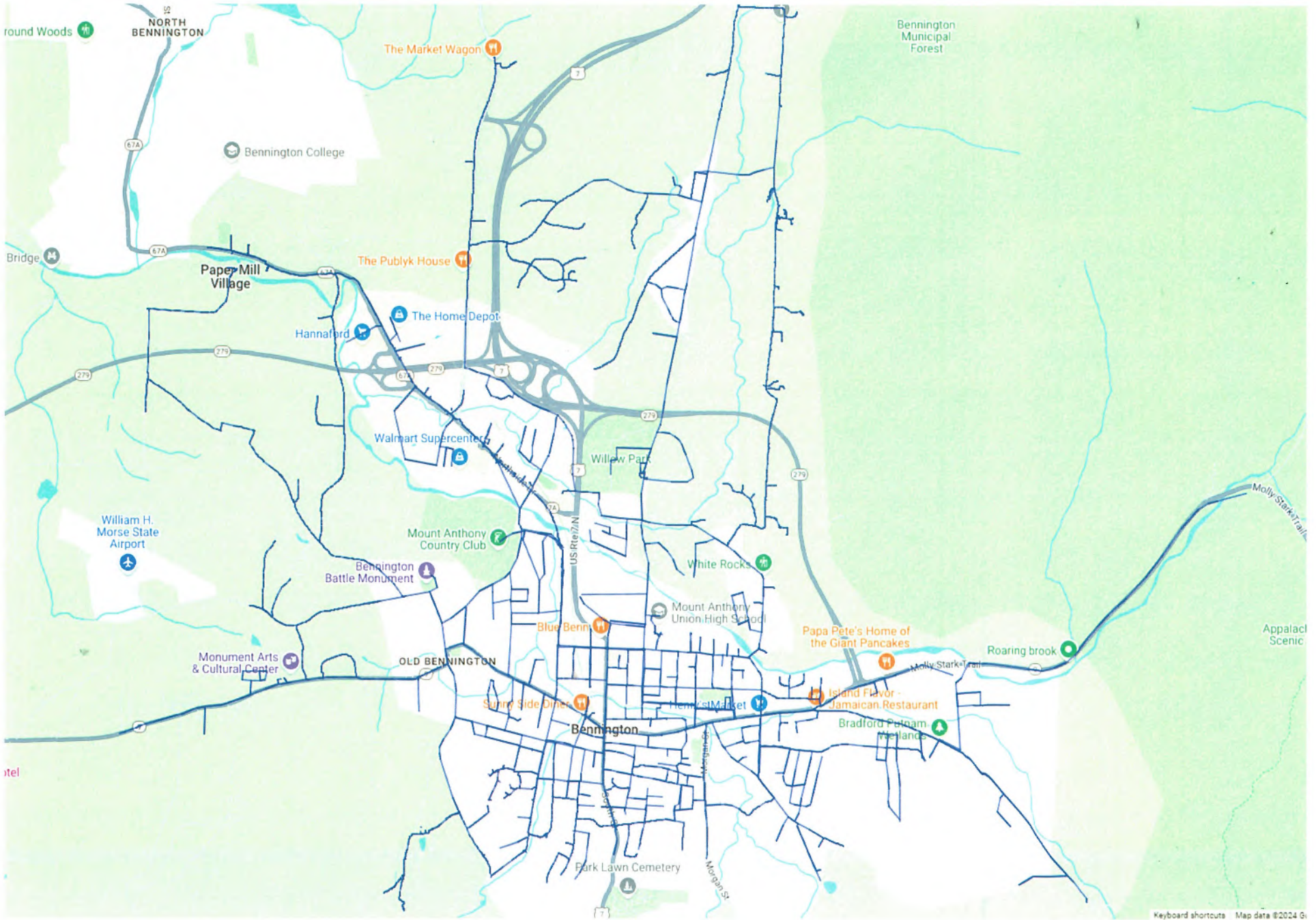
Residual Basal Area: **70**

Species favored for retention and/or regeneration:

red oak and red maple

Treatment Narrative:

no scheduled activity during the next 10 years. Access roads need to be improved for any work to be done.





# Vermont Mandatory Flood Disclosure



Date Prepared: 05/06/2026

Seller's Name(s): Amber N. Barnes James A. Gordon

Property Address: 1073 Chapel Road, Bennington, VT 05201  
Street City/Town

27 V.S.A. § 380 requires all Sellers of real property in Vermont to disclose the flood risk and status of their property to the Buyer. Sellers are required to provide a physical, electronic, or digital link to a copy of the official Flood Insurance Rate Map (FIRM) published by FEMA. It is the Seller's responsibility to locate this map, either online or through their Town office. The Federal Emergency Management Agency (FEMA) search engine can be found at <https://msc.fema.gov/portal/home>.

A copy of the FEMA map for the Property is attached; or,

A link to the FEMA map for the Property is as follows:

See Link in section 1a ; or,

A FEMA map is unavailable for the Property or the community in which the property is located.

1	Has the Property been subject to flooding or flood damage while the seller possessed the property, including flood damage from inundation or from flood-related erosion or landslide damage?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
1a	If yes, please describe: See link to map below. <a href="https://msc.fema.gov/arcgis/rest/directories/arcgisjobs/nfhl_print/mscprintb_gpserver/jc0c3f2658f7c40979c2ab7d0ff0fbdf0/sratch/FIRMETTE_8c29bbdf-07ae-4330-b3b8-d98ea7ebd751.pdf">https://msc.fema.gov/arcgis/rest/directories/arcgisjobs/nfhl_print/mscprintb_gpserver/jc0c3f2658f7c40979c2ab7d0ff0fbdf0/sratch/FIRMETTE_8c29bbdf-07ae-4330-b3b8-d98ea7ebd751.pdf</a>		
2	Does the seller maintain flood insurance on the Property?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

**THE STATEMENTS IN THIS REPORT ARE MADE BY THE SELLER. THEY ARE NOT STATEMENTS OR REPRESENTATIONS MADE BY ANY REAL ESTATE AGENT(S).**

Seller: Amber Barnes dotloop verified 05/01/26 12:22 PM EDT CLTI-HRT4-TYZ1-RZZY  
(Signature) (Date)

Seller: James A. Gordon dotloop verified 05/01/26 12:23 PM EDT 3YAT-YLPL-RHP9-A49W  
(Signature) (Date)

Seller: \_\_\_\_\_  
(Signature) (Date)

Seller: \_\_\_\_\_  
(Signature) (Date)

*Buyer acknowledges receipt of this Disclosure. It is the Buyer's responsibility to review any attached or linked maps for information regarding potential flood hazard areas affecting the Property. There may be map amendments or other information available at <https://msc.fema.gov/portal/home>.*

Buyer: \_\_\_\_\_  
(Signature) (Date)

Buyer: \_\_\_\_\_  
(Signature) (Date)

Buyer: \_\_\_\_\_  
(Signature) (Date)

Buyer: \_\_\_\_\_  
(Signature) (Date)