

PLAN REVISIONS

NO.	DATE	DESCRIPTION
1	05/11/17	TOWN OF CARY

OVERALL SITE LAYOUT PLAN

AMBERLY C-STORE (17-DP-0972)
355 STONECROFT LANE
CARY, NORTH CAROLINA

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EdensLand
www.edensland.com
2314 S. Miami Blvd.
Suite 151
Durham, NC 27703

SCALE
1"=50'

DATE
MARCH 9, 2017

DESIGN	DRAFT	CHECK
JRB	MSB	BMT

PROJECT NUMBER
1171-001

PLAN NUMBER
SL1

PROJECT DATA

SITE INFORMATION	
JURISDICTION	CARY
ZONING	PDD MAJOR
OVERLAY ZONING	JORDAN LAKE WATERSHED OVERLAY
EXISTING USE	VACANT
PROPOSED NUMBER OF LOTS	1 (LOT A ONLY)
PIN	0726812189
SITE AREA	2.84 AC.
DIMENSIONAL CRITERIA	
O'KELLY CHAPEL ROAD STREETSCAPE	30'
STONECROFT LANE STREETSCAPE	30'
PERIMETER BUFFER	30' SHARED TYPE "B" PERIMETER (WEST); 20' TYPE C (SOUTH)
STREET YARD SETBACK	0'
SIDE YARD SETBACK	0'
MAXIMUM BUILDING HEIGHT	5 STORIES MAX.
PROPOSED BUILDING SQ. FT.	5,800 S.F. = 4,800 S.F. RETAIL + 1,000 S.F. CARWASH
PROPOSED USE	RETAIL/GAS SALES/CAR WASH

LOT & PARKING INFORMATION	
PARKING REQUIREMENTS (FILLING STATION W/ CAR WASH)	
1 SPACE / 250 S.F. OF RETAIL	29 SPACES
1 SPACE / 150 S.F. OF CONVENIENCE STORE	
0.5 SPACE PER PUMP (12 PUMPS)	6 SPACES
2 SPACES PER CARWASH BAY	2 SPACES
TOTAL PARKING REQUIRED	37 SPACES (INCLUDES 2 HC SPACES)
PARKING SPACES PROVIDED	37 SPACES (INCLUDES 2 HC SPACES)
BICYCLE PARKING SPACES REQUIRED	1 BIKE RACK
BICYCLE PARKING SPACES PROVIDED	2 BIKE RACKS

GENERAL NOTES

- EXISTING CONDITIONS INFORMATION BASED ON FIELD SURVEY BY NEWCOMB LAND SURVEYORS, LLC, AND WSP.
- ALL DIMENSIONS MEASURED TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL TOWN OF CARY STANDARDS AND SPECIFICATIONS.
- WITHIN THE SIGHT TRIANGLES AND SIGHT EASEMENTS SHOWN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, PARKED VEHICLE, OR OTHER OBJECT.
- SITE IS NOT WITHIN FLOODPLAIN PER FEMA MAP#3720072600K, DATED FEBRUARY 2, 2007.
- SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED WITH THIS SITE PLAN. A MASTER SIGN PLAN SHALL BE APPROVED BY THE PLANNING DEPARTMENT PRIOR TO FINAL PLAN.
- SUBDIVISION PLAN APPROVED BY THE TOWN OF CARY, DATED 10/11/2016; PROJECT NUMBER #16-SP-043 & HTE #16-1430.
- ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE TOWN OF CARY INSPECTIONS AND PERMITS DEPARTMENT. THIS INCLUDES THE CAR WASH, THE DUMPSTER ENCLOSURE, THE GAS CANOPY AND THE RETAINING WALL.

CONDITIONS OF APPROVAL FOR REZONING CASE #14-REX-35 AMBERLY PPD AMENDMENT

- BUILDING AREA ON THE VC-3 TRACT SHALL BE LIMITED TO 50,000 SQUARE FEET.
- VC-3 TRACT:
 - PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY FOR ANY DEVELOPMENT ON THE VC-3 PARCEL, THE PROPERTY OWNER OR DEVELOPER SHALL CONSTRUCT THE FOLLOWING IMPROVEMENTS IDENTIFIED IN 15-TAR-592 IN ACCORDANCE WITH THE SUBJECT TO NCDOT AND TOWN OF CARY APPROVAL AND STANDARDS AND SPECIFICATIONS:

AT THE INTERSECTION OF O'KELLY CHAPEL ROAD & STONECROFT LANE

 - RESTRIPE THE EASTBOUND RIGHT-TURN LANE TO SHARED THROUGH/RIGHT TURN LANE AS PART OF THE DEVELOPMENT REQUIREMENT TO IMPROVE ROADWAY ALONG THE VC-3 FRONTAGE TO THE ULTIMATE CROSS-SECTION PER THE COMPREHENSIVE TRANSPORTATION PLAN. IF THE ULTIMATE SECTION OF O'KELLY CHAPEL ROAD HAS BEEN COMPLETED TO GREEN LEVEL CHURCH ROAD IN ADVANCE THEREOF.

AT THE INTERSECTION OF O'KELLY CHAPEL ROAD & RETAIL ACCESS 1 (BUILD ONLY)

 - CONSTRUCT THE EASTBOUND THROUGH LANE AT THIS INTERSECTION AS PART OF DEVELOPMENT REQUIREMENT TO IMPROVE ROADWAY ALONG THE VC-3 PARCEL FRONTAGE TO THE ULTIMATE CROSS-SECTION PER THE COMPREHENSIVE TRANSPORTATION PLAN.

EXISTING TREE ABBREVIATION CHART

PN	PINE
SG	SWEET GUM
RM	RED MAPLE
OK	OAK

NOTE: CONTRACTOR TO VERIFY EXISTING INFORMATION PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES

PROPOSED LEGEND

	SETBACK LINE
	TRAFFIC SIGN
	CURB AND GUTTER
	RETAINING WALL
	SIDEWALK
	GUARD RAIL
	PICKET FENCE
	CHAIN LINK FENCE



22

AMBERLY C-STORE - (17-DP-0972)

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Free

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SALE

NOTE

<u>SIGN</u>	<u>DRAFT</u>	<u>CHECK</u>
RB	MSB	BMT

NUM

-001

VOLUME

2

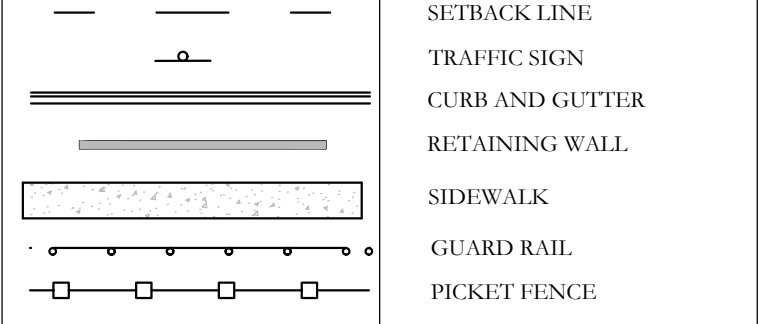
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- ### HATCHING LEGEND



- ### PROPOSED LEGEND

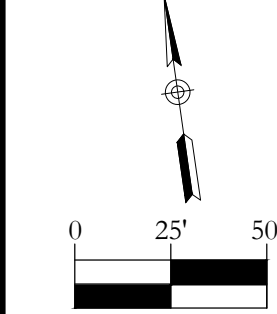


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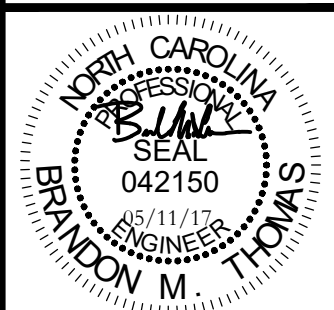


PLAN REVISIONS

TURNING MOVEMENTS PLAN &
SIGHT DISTANCE PROFILE
AMBERLY C-STORE - (17-DP-0972)
355 STONECROFT LANE
CARY, NORTH CAROLINA

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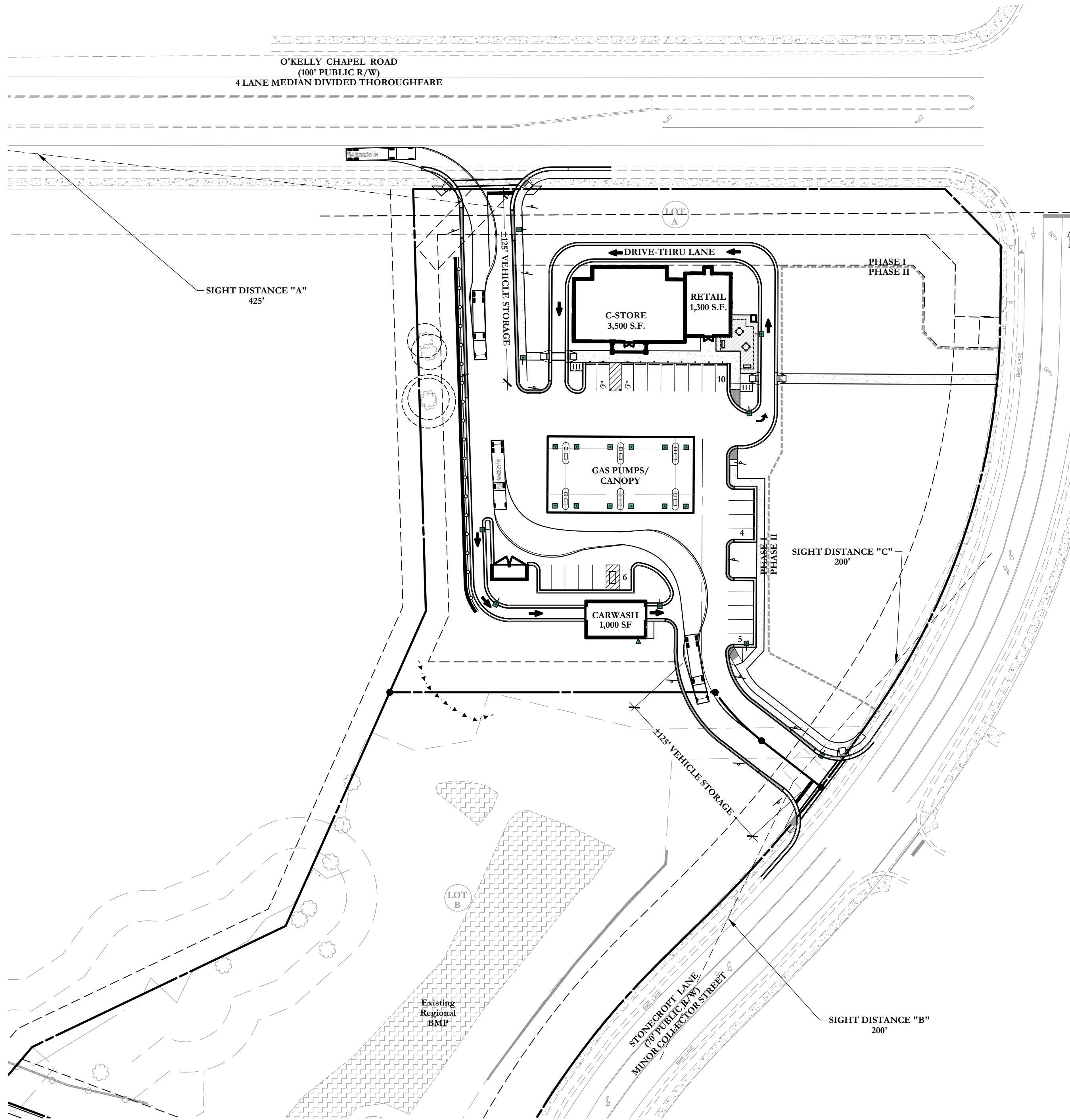
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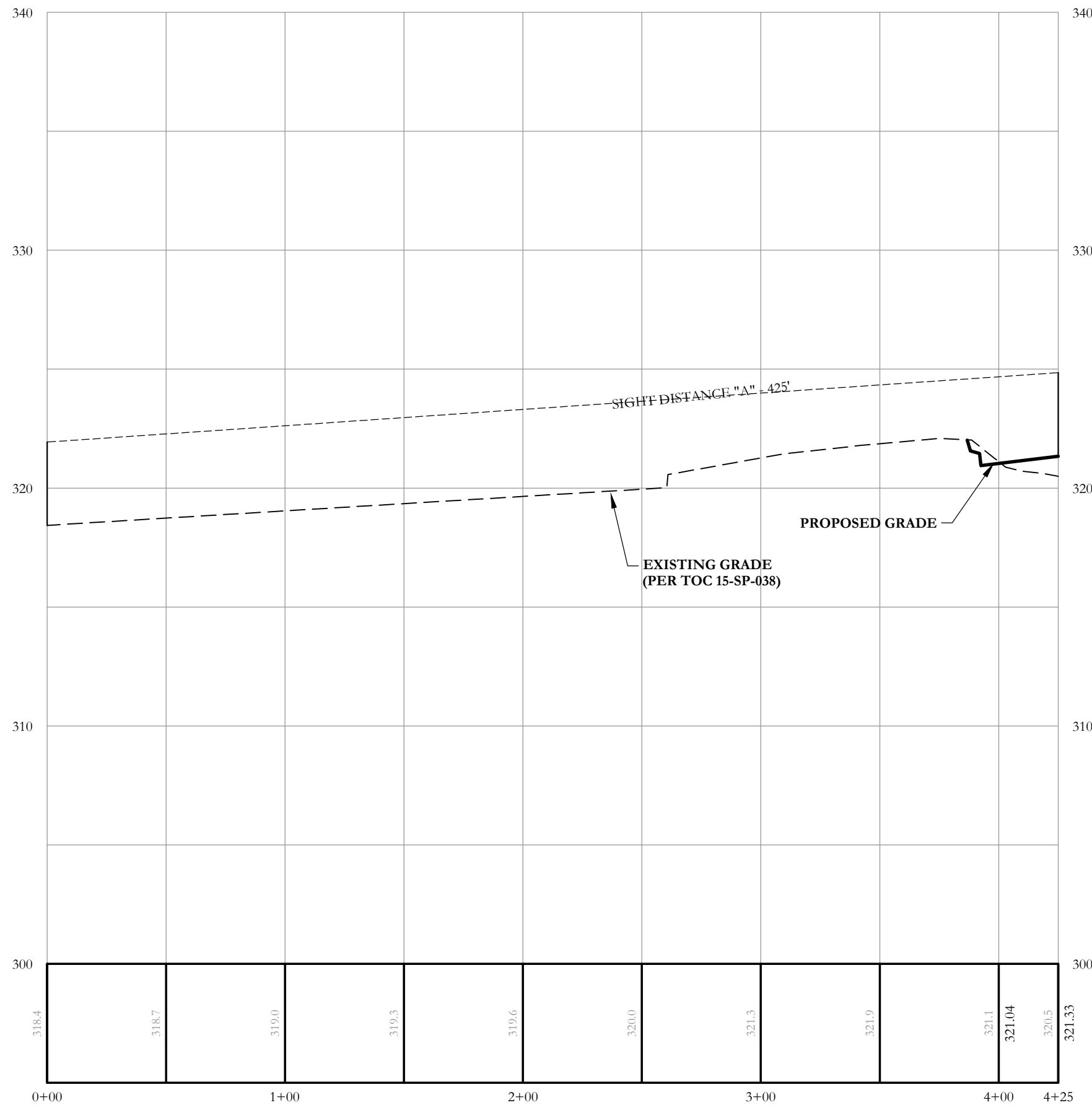
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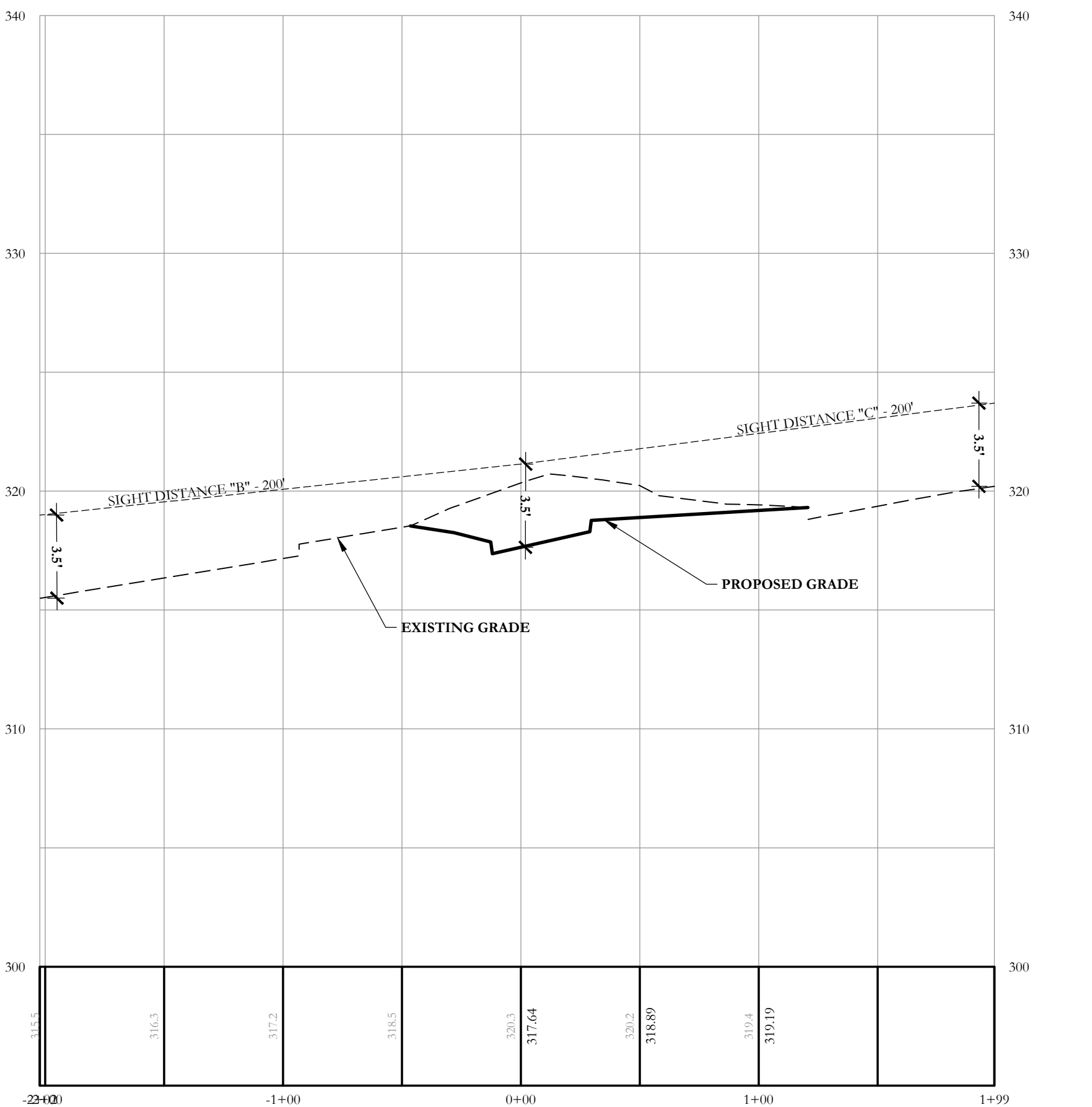
SCALE
1"=50'
DATE
MAY 11, 2017
DESIGN TCS DRAFT TCS CHECK BMT
PROJECT NUMBER
1171-001
PLAN NUMBER
SL3



TURNING MOVEMENT
WB-40



SIGHT DISTANCE "A" PROFILE
HORIZ. 1" = 50' VERT. 1" = 5'



SIGHT DISTANCE "A" & "B"
HORIZ. 1" = 50' VERT. 1" = 5'

GENERAL NOTES

1. SIGHT DISTANCES CALCULATED FROM "AASHTO A Policy on Geometric Design of Highways and Streets", Table 5-1 Stopping Sight Distance on Level Roadway. O'KELLY CHAPEL ROAD DESIGN SPEED OF 50MPH. STONECROFT LANE A DESIGN SPEED OF 30MPH.

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PROPOSED LEGEND

	SETBACK LINE
	TRAFFIC SIGN
	CURB AND GUTTER
	RETAINING WALL
	SIDEWALK
	GUARD RAIL
	PICKET FENCE
	CHAIN LINK FENCE