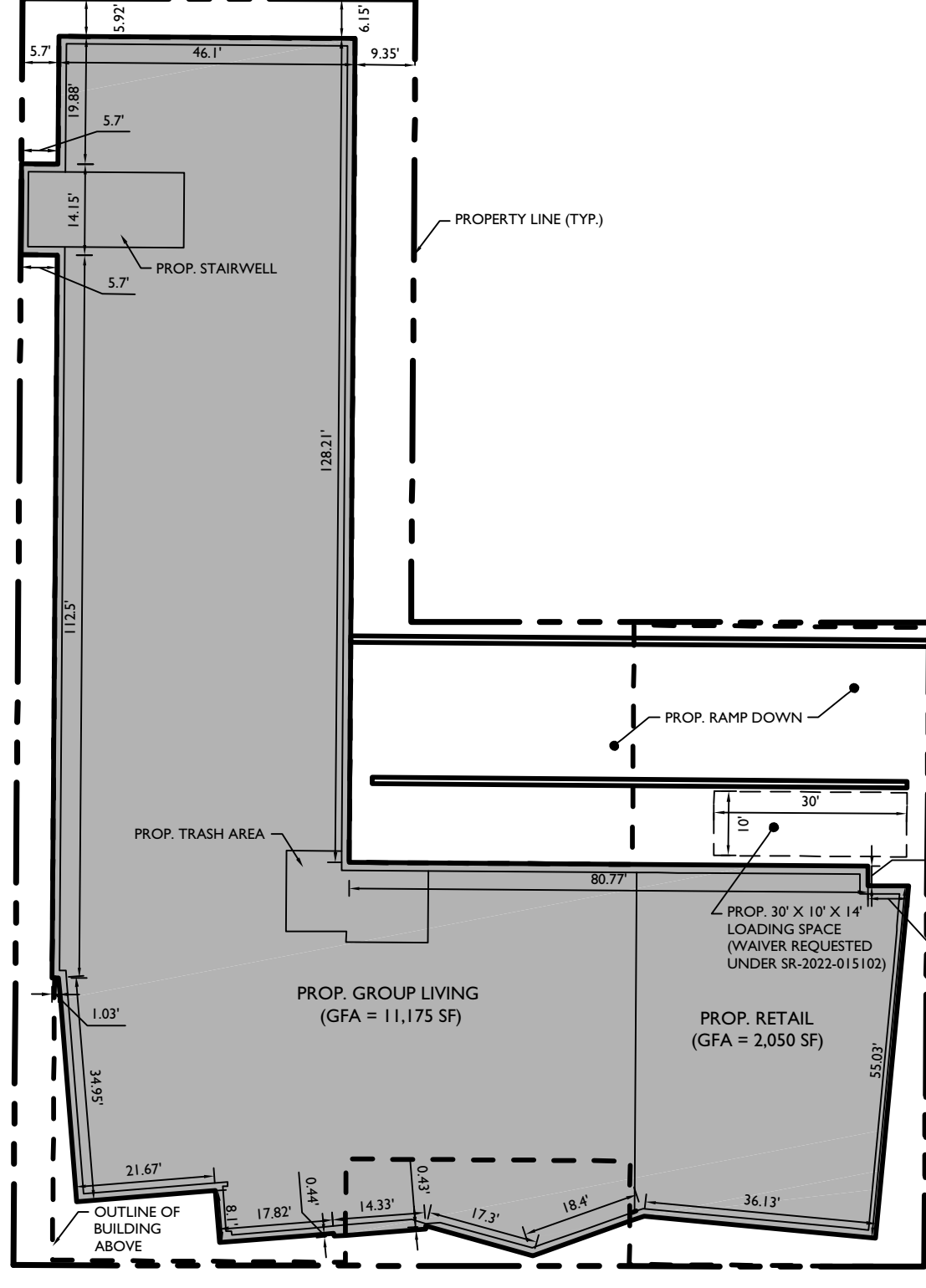
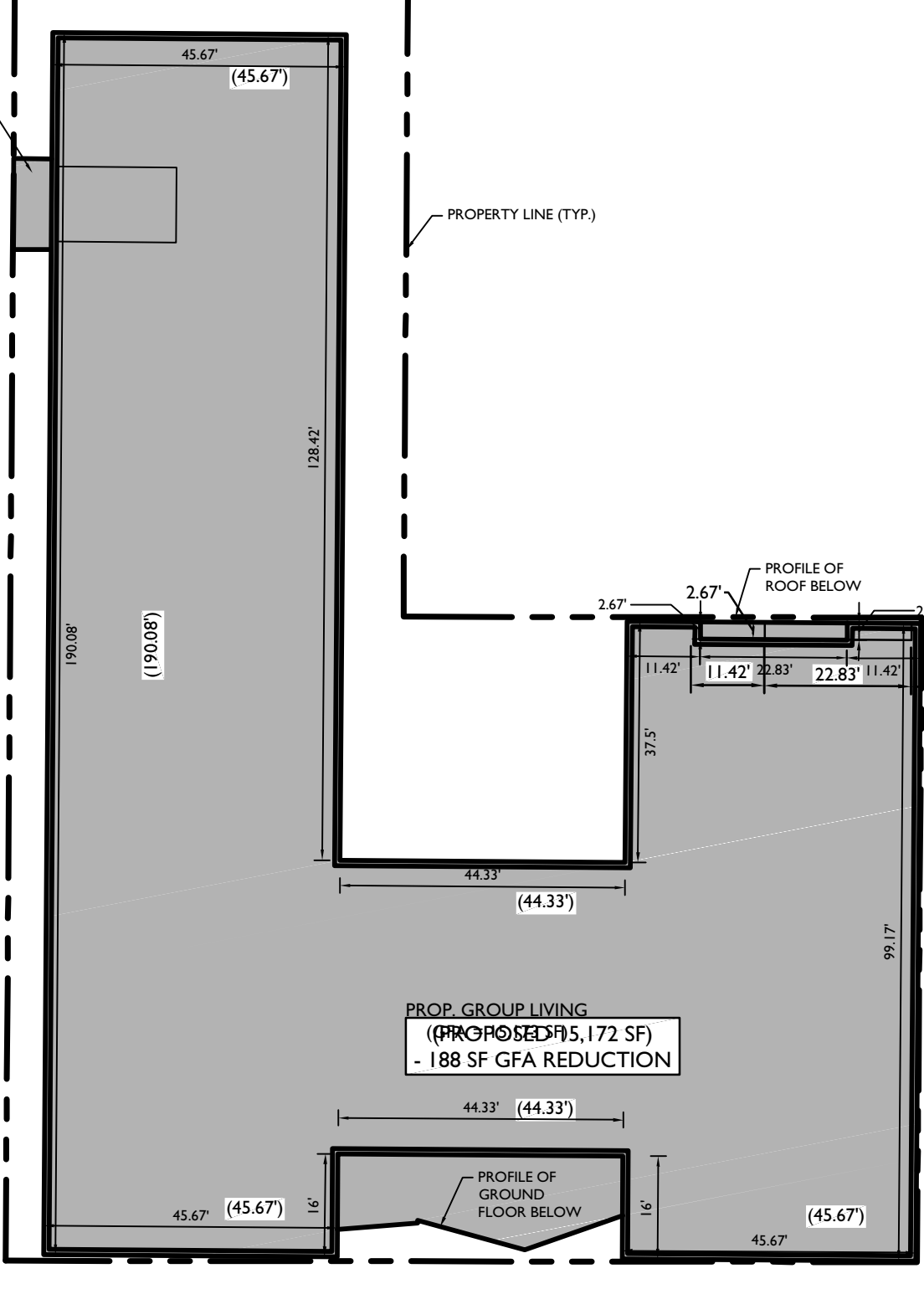


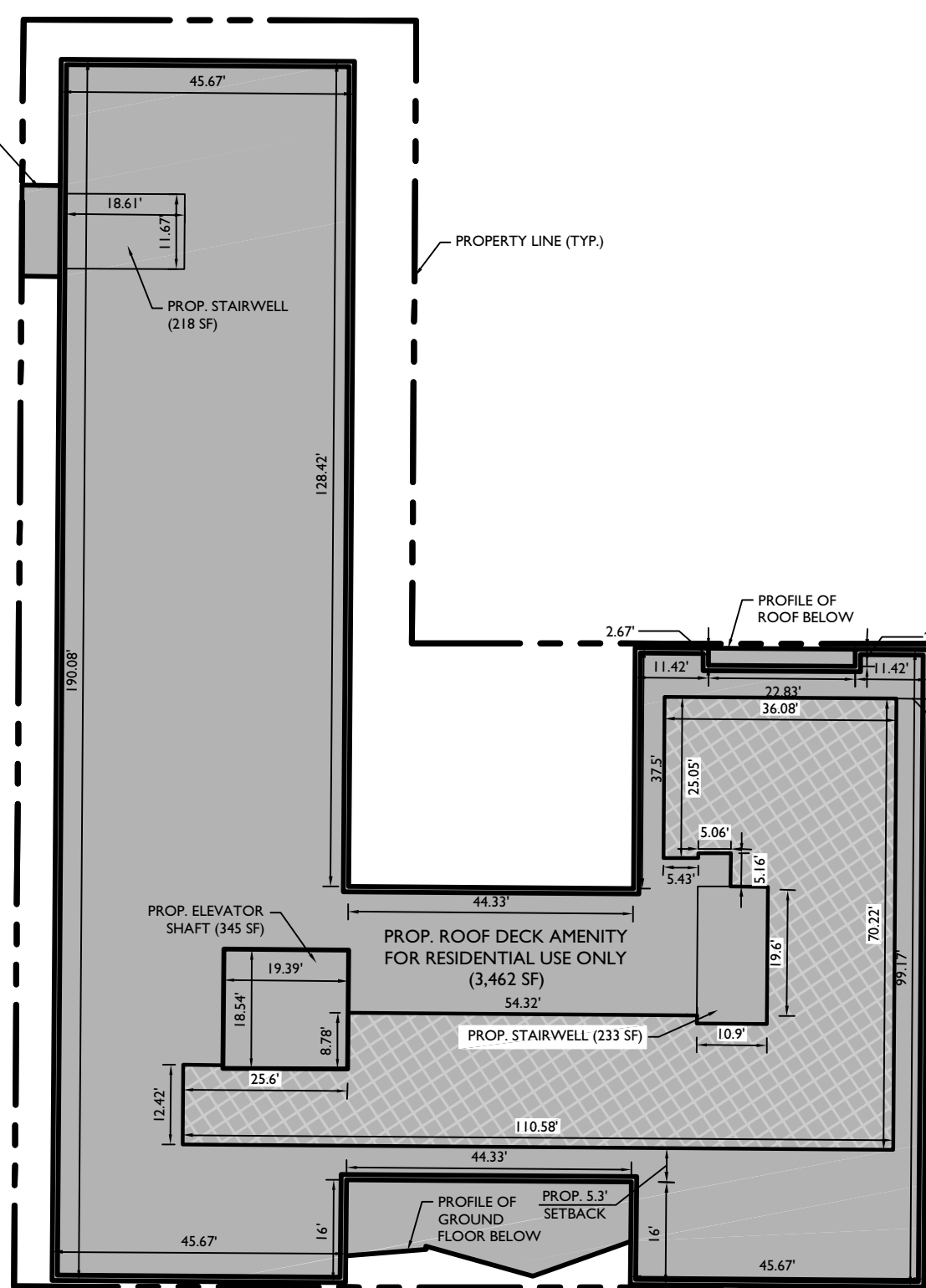
CELLAR FLOOR  
(UNDERGROUND PARKING GARAGE)



GROUND FLOOR



2ND TO 7TH FLOORS

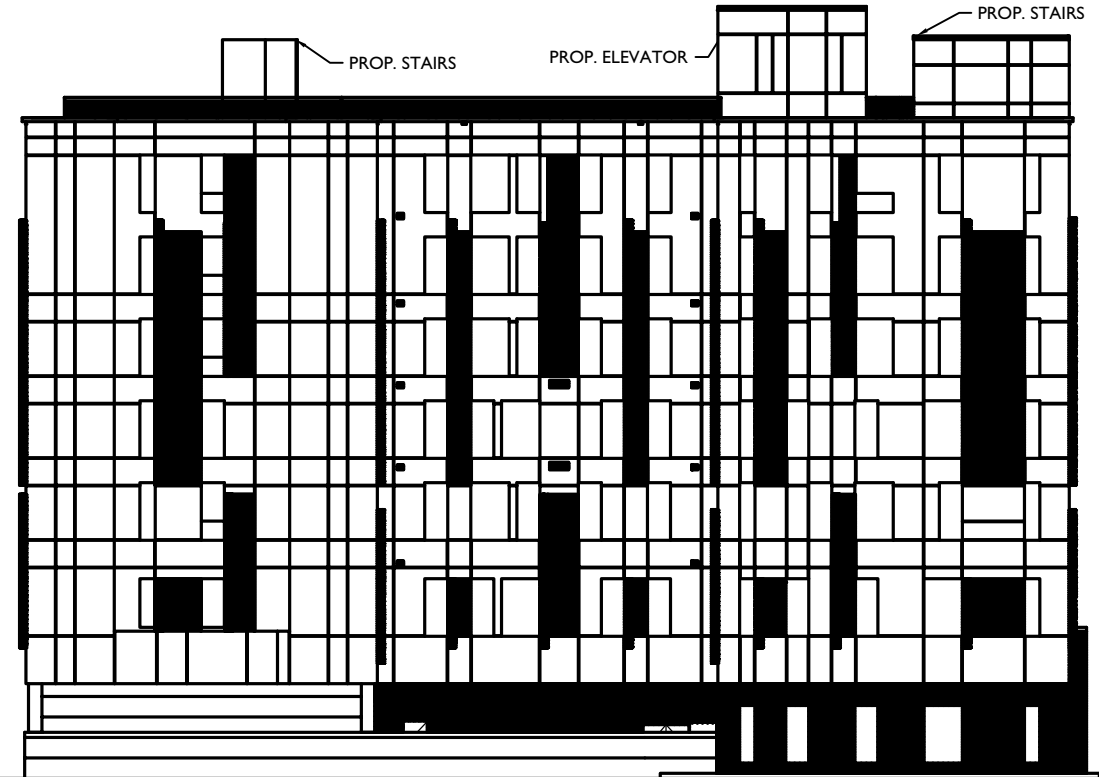


ROOF PLAN

FLOOR PLAN LEVELS  
NOT TO SCALE



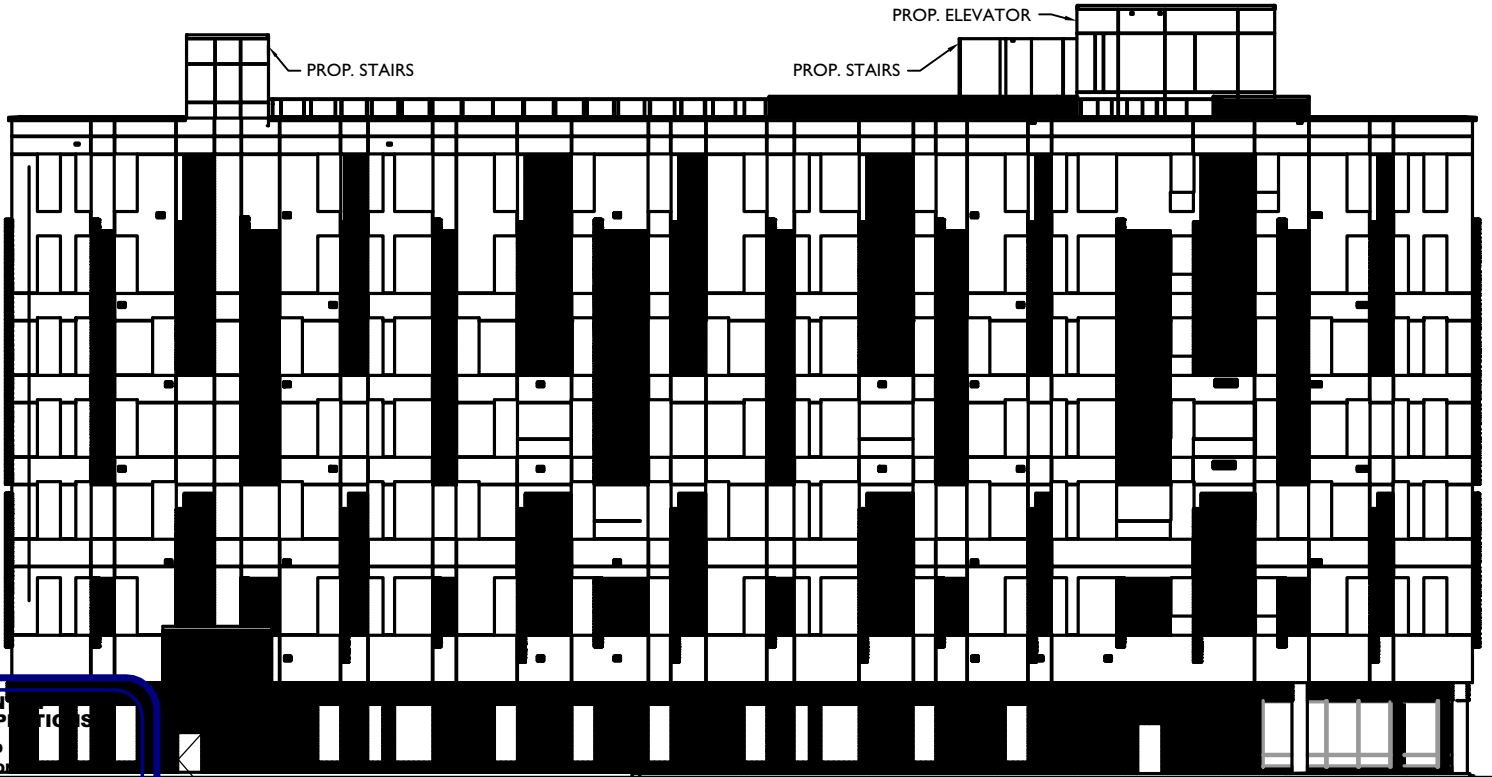
EAST ELEVATION



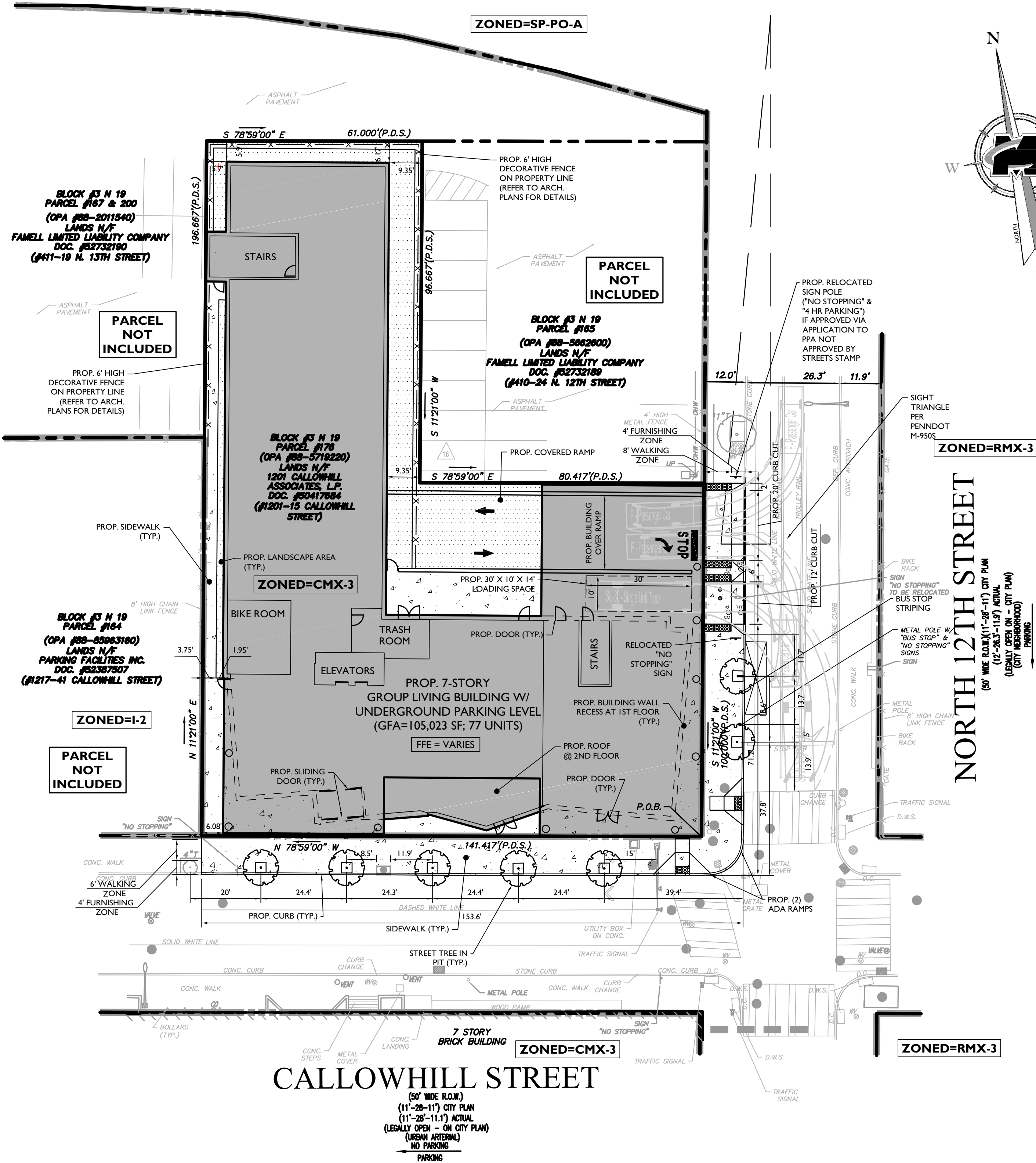
NORTH ELEVATION



SOUTH ELEVATION

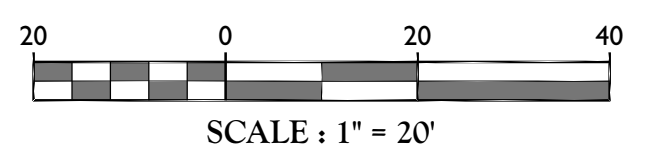


WEST ELEVATION  
BUILDING ELEVATIONS  
NOT TO SCALE



CALLOWHILL STREET

(50' WIDE R.O.W.)  
(11'-28"-11') CITY PLAN  
(11'-28"-11') ROW  
(LEGALLY OPEN - ON CITY PLAN)  
(RIGHT-OF-WAY)  
(NO PARKING)



SCALE: 1" = 20'

ABBREVIATIONS

P.D.S. = PHILADELPHIA DISTRICT STANDARD	L.P. = LIGHT POLE
U.S.S. = UNITED STATE STANDARD	T.B.R. = TO BE REMOVED
FF = FINISH FLOOR	M.H. = MANHOLE
U.V. = UNKNOWN VALVE	B.O.L. = BOLLARD
D.P. = DEPRESSURE	G.R. = GRATE
C.L. = CENTER LINE	T.R. = TO REMAIN
D.C. = DEPRESSURE CURB	T.W. = TOP OF WALL
B.C. = BOTTOM OF CURB	B.W. = BOTTOM OF WALL
T.C. = TOP OF CURB	C.P. = CITY PLAN
U.P. = UTILITY POLE	

ZONING NOTES:

- THIS PLAN REFERENCES:
  - A PLAN PREPARED BY: BLUE MARSH ASSOCIATES, INC.  
551 EASTON ROAD, SUITE A  
WARRINGTON, PA 18976
- PROJECT LOCATION: 1201 CALLOWHILL STREET  
PHILADELPHIA, PA 19123
- OWNER: 1201 CALLOWHILL ASSOCIATES, L.P.  
2215 WALNUT STREET  
PHILADELPHIA, PA 19103
- APPLICANT: 1201 CALLOWHILL ASSOCIATES, L.P.  
2215 WALNUT STREET  
PHILADELPHIA, PA 19103
- ZONING DISTRICT: CMX-3, COMMUNITY COMMERCIAL MIXED USE
- OVERLAY ZONING DISTRICT: CENTER CITY OVERLAY DISTRICT - VINE STREET AREA  
CENTER CITY OVERLAY DISTRICT - CENTER CITY RESIDENTIAL DISTRICT CONTROL AREA  
CENTER CITY OVERLAY DISTRICT - CENTER CITY COMMERCIAL DISTRICT CONTROL AREA
- PROPOSED USE: MIXED USE BUILDING  
1. GROUP LIVING (77 UNITS, 102,973 SF)  
2. COMMERCIAL AREA (2,050 SF)  
3. ACCESSORY ROOF DECK (3,462 SF)  
4. ACCESSORY PARKING (34 SPACES, 17,055 SF)

DESCRIPTION	REQUIRED	PROPOSED
MIN. DISTRICT AREA (SF)	N/A	N/A
MIN. STREET FRONTAGE AS TAKEN FROM THE FRONT LOT (FT)	N/A	N/A
LOT AREA	20,138 SF (US) (20,038 SF PD)	NO CHANGE
MIN. LOT WIDTH (FT)	N/A	NO CHANGE
MIN. LOT AREA (SF)	N/A	NO CHANGE
MAX. OCCUPIED AREA (%)	80% (16,110 SF)	79.2% (15,956 SF)
MIN. FRONT YARD SETBACK (FT)	N/A	0 FT
MIN. SIDE YARD SETBACK (FT)	8 FT IF USED	6.17 FT
MIN. REAR YARD (FT)	N/A	85.17 FT
MAX. HEIGHT (FT)	N/A	85.17 FT
MAX. FLOOR AREA RATIO (%)	500% (100,690 GFA)	522% (105,023 GFA) [1]

[1] LEED GOLD BONUS APPLIED TO INCREASE MAX. FLOOR AREA RATIO BY 50%.

PARKING & LOADING

PARKING CURB CUT	24 FT MAX.	20 FT
PARKING SPACES		
GROUP LIVING (1 SPACE PER 10 BEDS)	29 SPACES (283 BEDS)	34 SPACES
COMMERCIAL USE	0 SPACES	0 SPACES
TOTAL	29 SPACES	34 SPACES [2]
RESERVOIR SPACES (7 FT x 15 FT)	2 SPACES (1-50 SPACES)	2 SPACES
LOADING ZONE	1 SPACE (100,000-150,000 SF) (40' X 10' X 14')	1 SPACE (30' X 10' X 14') WAIVER

BICYCLE PARKING SPACES

1 SPACE / 10,000 SF	11 SPACES	30 SPACES [3]
[3] 30 CLASS 1A BICYCLE SPACES LOCATED WITHIN THE MIXED-USE BUILDING.		

LANDSCAPE

MIN. STREET TREES	4 TREES (141.77 LF/35 LF/TREE)	5 TREES [5]
12TH STREET	3 TREES (100.25 LF/35 LF/TREE)	2 TREES [5]

- STREET TREES ARE SHOWN FOR CONCEPT PURPOSES ONLY, AND WILL COMPLY WITH THE PHILADELPHIA ZONING CODE CHAPTER 14-705 (2), AND THE PHILADELPHIA STREETS DEPARTMENT COMPLETE STREETS REQUIREMENTS, WHICH MAY RESULT IN A TREE REDUCTION.
- MASER CONSULTING, PA'S BUSINESS PRIVILEGE NUMBER IS 305518.
- THIS PLAN IS FOR ZONING PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. CONTRACTOR SHALL REFER TO CONSTRUCTION DOCUMENTS FOR FINAL DESIGN.
- ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF PHILADELPHIA, PHILADELPHIA WATER DEPARTMENT (PWD), ZONING REQUIREMENTS, AND PHILADELPHIA STREETS DEPARTMENT AS PER THE PHILADELPHIA CODE.
- ELEVATIONS ARE BASED ON CITY OF PHILADELPHIA DATUM. LOT DIMENSIONS & EASEMENT DIMENSIONS ARE BASED ON PHILADELPHIA DISTRICT STANDARDS UNLESS OTHERWISE NOTED.
- PLAN PREPARED AS PER INSTRUCTIONS OF THE APPLICANT/OWNER.
- ATTENTION IS CALLED TO THE ZONING REQUIREMENTS IN THE PHILADELPHIA CODE AS AMENDED.
- PWD BESA NO. P20-CALL-5786-01.
- THE SITE IS LOCATED WITHIN ZONE X (UNSHADED) - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR THE CITY OF PHILADELPHIA, PHILADELPHIA COUNTY, PA, PANEL 183 OF 238 COMMUNITY PANEL NUMBER 40707010G, AND LAST REVISED JANUARY 17, 2007.
- ACCESSIBLE SPACES INCLUDING VAN ACCESSIBLE SHALL COMPLY WITH CITY OF PHILADELPHIA ZONING CODE REQUIREMENTS, SECTION 14-802(5).
- ALL PLANTINGS SHALL BE IN ACCORDANCE WITH THE PHILADELPHIA CITY PLANNING COMMISSION (P.C.P.C.) AND PWD GUIDELINES.
- TRASH PICK-UP WILL BE VIA PRIVATE COLLECTION.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS AND DETAILS.
- ALL FENCING MUST BE 50% OPAQUE OR LESS.
- BUILDING AND SITE DEMOLITION MUST COMPLY WITH THE CITY OF PHILADELPHIA DEMO PERMIT APPLICATION AND GUIDELINES. THE APPLICANT MUST APPLY AND OBTAIN A DEMOLITION PERMIT.

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
RIGHT OF WAY/ ADJACENT PROPERTY LINE	DEPRESSED CURB	PROPERTY LINE	FENCE
ZONING BOUNDARY	DIRECTION OF TRAFFIC FLOW	MANHOLE	HYDRANT
STREET LIGHT	TREE	WATER VALVE	GAS VALVE
CLEANOUT	UNKNOWN VALVE	VENT	
TRAFFIC SIGNAL POLE	UTILITY POLE	UTILITY POLE W/ STREET LIGHT	INLET
BUILDING AREA	CONCRETE PAVEMENT	DECK AREA	INTERIOR BUILDING WALL
LANDSCAPE AREA	PARKING COUNT	ELECTRIC VEHICLE SPACE	PREFERENTIAL PARKING SPACE
COMPACT PARKING SPACE			

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1	11/01/22	MAH	REV: PER COMMENTS

REV	DATE	DRAWN BY	DESCRIPTION
1	11/01/22	MAH	REV: PER COMMENTS

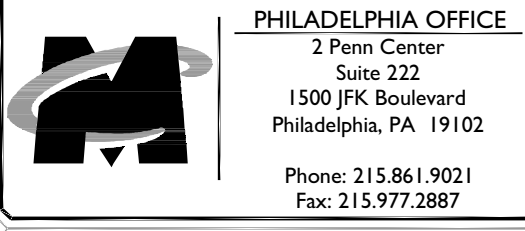


**RHETT N. CHILBERTI**  
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER - LICENSE NUMBER: 8773158

ZONING PLANS  
FOR  
1201 CALLOWHILL ASSOCIATES, L.P.

PROPOSED MIXED-USE BUILDING

LOCATION:  
1201 CALLOWHILL ST  
PHILADELPHIA, PA 19123



SCALE:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	09/07/2022	AS	MAH
PROJECT NUMBER:	DRAWING NAME:	C-LAYT	
18009670A			

SHEET TITLE:  
**ZONING PLAN**

SHEET NUMBER:  
1 of 3

NOTE: DO NOT SCALE DRAWINGS FOR CONSTRUCTION.









LANDSCAPE NOTES: \_\_\_\_\_

#### 1. GENERAL NOTES:

- A. THIS PLAN IS TO BE USED ONLY FOR THE PURPOSES OF LANDSCAPING.
- B. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES, STRUCTURES, ETC. NOTIFY MASTER CONSULTING IMMEDIATELY IN WRITING IN REFERENCE TO DISCREPANCIES OR LOCATION CONCERNS.
- C. IN THE EVENT THAT PLANT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANTING SCHEDULE, THE PLAN SHALL SUPERSEDE.
- D. ALL PLANTING MATERIALS AND METHODS SHALL MEET OR EXCEED THE REQUIREMENTS FOR THE CITY OF PALM BEACH ORDINANCES AND ANSI Z60.1 CURRENT VERSION, THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY AMERICAHORT. IN THE EVENT OF CONFLICT BETWEEN RECOMMENDATION AND MUNICIPAL STANDARDS, THE MUNICIPAL REQUIREMENTS SHALL SUPERSEDE.
- E. ALL LANDSCAPING SHALL BE PLANTED SO AS NOT TO INTERFERE WITH UTILITY LINES, SHOT TRIANGLES, UNDERGROUND UTILITIES OR PUBLIC RIGHTS-OF-WAY. OTHER EXISTING UTILITIES SHALL BE IDENTIFIED AND PROTECTED WITHIN THE REQUIRED SURVEY DISTANCES OR RIGHT TRANGLES ARE SELECTED SO AS NOT TO EXCEED A MAXIMUM HEIGHT GREATER THAN 4' ABOVE THE ELEVATION OF THE ADJACENT ROADWAY. EXISTING SHADES SHALL BE MAINTAINED AND PROTECTED. ALL NEW PLANTINGS SHALL BE PLANTED AT LEAST 8 FEET FROM EXISTING TRIANGLE EASEMENTS SHALL NOT BE BRANCHED ANY LOWER THAN 7'0" ABOVE GRADE AND MUST BE APPROPRIATELY PRUNED. NO WOODY PLANTS OR TREES SHALL BE PLANTED THAT HAVE THEIR CROTCHES LOWER THAN 7'0" TO THE TOP OF THE CURB.

#### 2. PLANT MATERIAL:

- A. NO PLANT SUBSTITUTION SHALL BE ALLOWED WITH REGARD TO SIZE, SPECIES, NAMED VARIETY, OR CULTIVAR, WITHOUT PRIOR PERMISSION IN WRITING FROM MASTER CONSULTING AND THE APPROVING AUTHORITY.
- B. ALL PLANTS SHALL BE DISEASE FREE, PACKED, TRANSPORTED AND HANDLED WITH THE UTMOST CARE TO ENSURE ADEQUATE PROTECTION FROM INJURY AND DESICCATION.
- C. ALL PLANTS SHALL BE FREE FROM DAMAGE AND INFESTATION, AND SHALL BEAR ALL LEGALLY REQUIRED AGRICULTURAL CERTIFICATIONS.
- D. ALL PLANTS SHALL BE PRUNED TO FURNISH PROPER PRIOR TO OR UPON INSTALLATION, WHILE RETAINING NATURAL GROWTH BARK OR CONNECTING BRANCHES SHALL BE PRUNED CLEANLY, FLUSH WITH THE MAIN TRUNK OR BRANCH.
- E. ALL PLANTS SHALL BE NURSERY-GROWN AND TAGGED WITH DURABLE LABELS INDICATING THE GENUS, SPECIES AND SPECIFIED VARIETY OR CULTIVAR.
- F. ALL SCREEN PLANTING MATERIAL SHALL BE A MINIMUM OF 24-30 INCHES TALL AT THE TIME OF PLANTING.

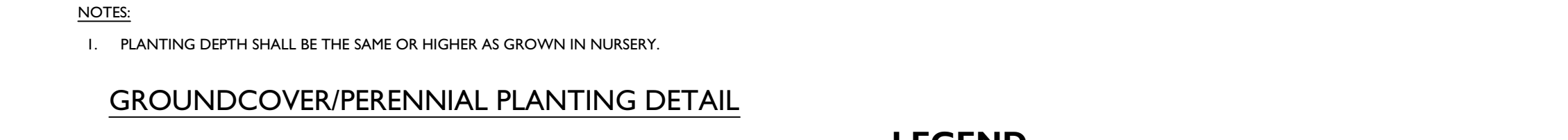
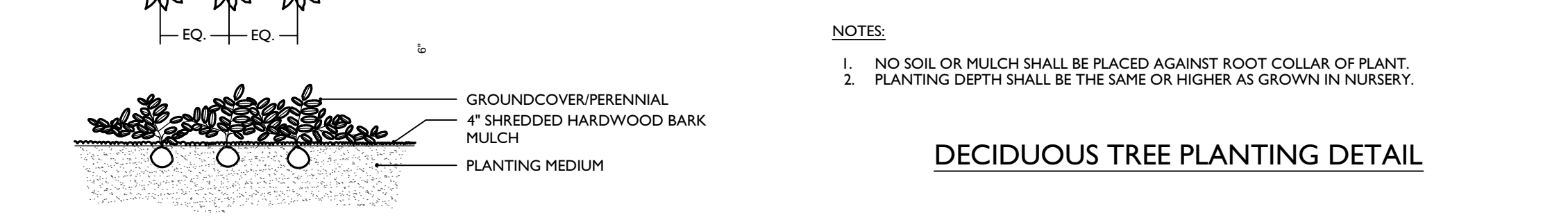
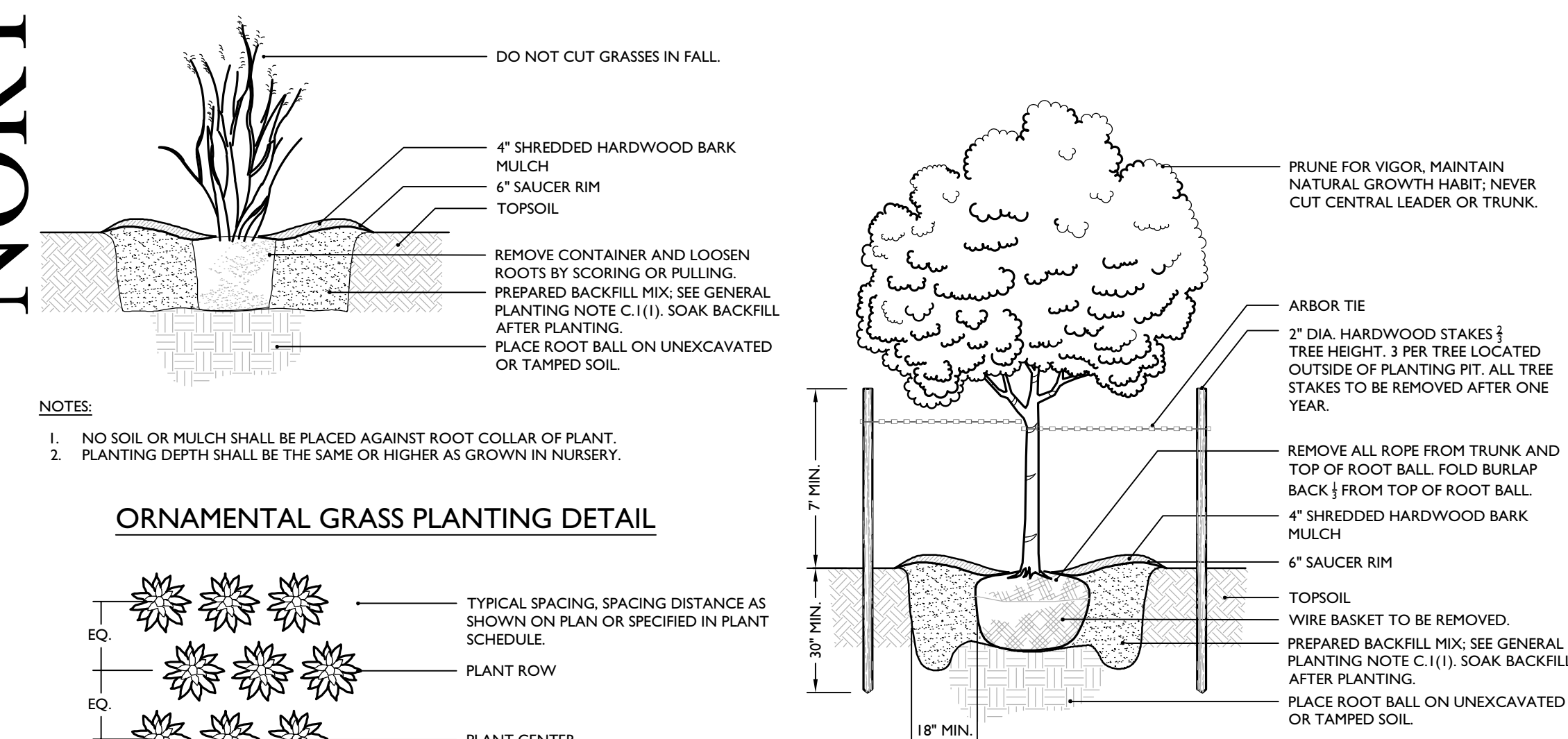
#### 3. PLANTING:

- A. SOIL MUST BE Frost-FREE, FIRM AND NOT MOIST AT THE TIME OF PLANTING.
  - a. SOIL MUST BE PREPARED FOR PLANTING AFTER SHALL BE COMPOSED OF 75% TOPSOIL, 20% FULLY COMPOSTED COFF OR HORSE MANURE AND 5% PEAT MOSS. TOPSOIL SHALL MEET DOT STANDARD SPECIFICATIONS AND MAY BE FROM ON-SITE OR IMPORTED SOURCES. SOIL SHALL CONTAIN NO ACIDIC OR ALKALINE LARGE STONES.
  - b. PLANTS SHALL BE SET TO ULTIMATE FINISHED GRADE SO THAT THEY WILL BE LEVEL IN RELATIONSHIP TO THE SURROUNDING GROUND OR THEY HAD. PRIOR TO BEING GROWN IF EVIDENCE OF SATURATED SOILS IS ENCOUNTERED DURING EXCAVATION OF THE PLANTING PIT, UPON DIRECTION BY MASTER CONSULTING, THE CONTRACTOR SHALL STOP WORK AND REPORT TO THE ARCHITECT. THE CONTRACTOR SHALL REMOVE THE SATURATED SOIL, TOPSOIL, AND MUCK DEPOSIT MOUNDLED TO AVOID EXCESSIVE DRAINAGE AT THE SURFACE, UNDER NO CIRCUMSTANCES SHALL PLANTINGS AT RELATIVELY DRY LOCATIONS BE PERFORMED IN SATURATED SOIL.
- B. THE CORNER BONDING OF BALL OF BALLED AND BURLAP-WRAPPED PLANTS SHALL BE CUT AND REMOVED ACCORDING TO THE SPECIFICATIONS ON THE DETAIL. PLANTS WITH SYNTHETIC NON-DEGRADABLE ROOT BALLS/WRAPPS SHALL NOT BE ACCEPTABLE.
- C. ALL TREES SHALL BE FREED FROM ALL OBSTRUCTIONS TO THE REQUIRED CLEARANCE. ALL BRUSH SHALL BE SET IN CONTINUOUS, MASSING PLANTED BEDS, RATHER THAN ISOLATED INDIVIDUALS. ALL TREES AND SHRUB BEDS SHALL RECEIVE A 3" THICK APPLICATION OF A MULCH OF FULLY COMPOSTED ORGANIC MATTER. THERE SHALL BE NO WEEDS OR OFFSHOOTERS OR FOREIGN MATERIALS.
- D. ALL TREES SHALL BE STAKED AND GIVEN PER THE DETAILS.
- E. ALL DISTURBED AREAS BEYOND THE LIMITS OF THE MULCHED PLANTED BEDS AND AREAS OF HERCACEOUS PLANTINGS SHALL BE PERMANENTLY STABILIZED WITH TURF GRASSES PER THE SOIL EROSION AND SEDIMENT CONTROL PLANS.

#### 4. MAINTENANCE:

- A. ALL PLANTING SHALL BE WATERED AS NECESSARY FOR SOUND HORTICULTURAL PRACTICE DURING THE FIRST GROWING SEASON, TO ENSURE THEIR PROPER ESTABLISHMENT.
- B. IN GENERAL, SPRINKLERS ARE TO BE PLACED AT INTERVALS WHICH WILL ALLOW THEM TO FULLY COVER UPON CONTINUOUS MASSES OF THE INDIVIDUAL SPECIES. THEREFORE, NO TRYING TO SIMULATE OR IMITATE THE DISTRIBUTION OF WATER AVAILABLE IN NATURE. OVERHEAD OR CONTINGUOUS BRANCHING DOWNWARD, IT SHOULD BE PRUNED OUT.

PLANT SCHEDULE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
		<i>Gleditsia inaequalis</i> (var. 'Shademaster' TM)	Shademaster Locust	8 ft B	2.5' cal	
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	REMARKS
Hm	87	<i>Rakonochloa macra</i>	Japanese Forest Grass	2 gal		6-10" root system
Hx2	28	Heuchera x 'Amber Lady'	Amber Lady Coral Bells	2 gal		6-12" root system
HX	25	Hosta x 'Little Caesar'	Little Caesar Hosta	2 gal		8-12" root system
LB2	34	Liriope muscarifolia 'Big Blue'	Big Blue Lilyturf	2 gal		6-10" root system
Tc2	47	Tiarella cordifolia	Foamflower	2 gal		8-12" root system



EXISTING		PROPOSED		EXISTING		PROPOSED	
	RIGHT OF WAY/ ADJACENT PROPERTY LINE				TRAFFIC SIGNAL POLE		
	DEPRESSED CURB				UTILITY POLE		
	PROPERTY LINE				UTILITY POLE w/ STREET LIGHT		
	FENCE				INLET		
	ZONING BOUNDARY				BUILDING AREA		
	DIRECTION OF TRAFFIC FLOW				CONCRETE PAVEMENT		
	MANHOLE				DECK AREA		
	HYDRANT				INTERIOR BUILDING WALL		
	STREET LIGHT				LANDSCAPE AREA		
	TREE						

## **ABBREVIATIONS**

P.D.S =	PHILADELPHIA DISTRICT STANDARD	LP <sup>h</sup> =	LIGHT POLE
U.S.S =	UNITED STATE STANDARD	TR <sup>h</sup> =	TO BE REMOVED
FF =	FINISH FLOOR	MR <sup>h</sup> =	MANHOLE
UV =	UNKNOWN VALVE	BOL <sup>h</sup> =	BOLLARD
DEL =	DEPRESSED	GR <sup>h</sup> =	GRATE
CL =	CENTER LINE	TR =	TO REMAIN
D.C. =	DEPRESSED CURB	TW =	TOP OF WALL
B.C. =	BOTTOM OF CURB	BW <sup>h</sup> =	BOTTOM OF WALL
TC =	TOP OF CURB	CP <sup>h</sup> =	CITY PLAN
UP =	UTILITY POLE		



# Zoning Permit

Permit Number ZP-2022-011260

LOCATION OF WORK 1201-15 CALLOWHILL ST, Philadelphia, PA 19123-3602	PERMIT FEE \$979.00	DATE ISSUED 2/22/2023
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX3	

PERMIT HOLDER 1201 Callowhill Associates L.P.	c/o Patriot Parking Inc., 1305 Walnut Street Philadelphia, Palau 19107
--	--

OWNER CONTACT 1 Richard Zeghibe	2215 Walnut Street, Philadelphia, PA 19103
------------------------------------	--

OWNER CONTACT 2
-----------------

TYPE OF WORK New construction, addition, GFA change
--

APPROVED DEVELOPMENT FOR THE ERECTION OF AN ATTACHED STRUCTURE WITH AN UNDERGROUND PARKING GARAGE AND AN ACCESSORY ROOF DECK (FOR RESIDENTIAL USE ONLY) WITH A ROOF ACCESS STRUCTURE. SIZE AND LOCATION AS SHOWN IN THE APPLICATION / PLANS.
---

APPROVED USE(S) Residential - Household Living - Multi-Family
--

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)
--



## CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
  - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
  - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
  - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
  - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.



# Zoning Permit

Permit Number ZP-2022-011260

## ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

## PARCEL

1201-15 CALLOWHILL ST, Philadelphia, PA 19123-3602

## ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR VACANT RETAIL SPACES ON THE GROUND FLOOR (USE REGISTRATION PERMIT IS REQUIRED PRIOR TO OCCUPANCY) AND FOR GROUP LIVING, SEVENTY-SEVEN (77) UNITS WITH ACCESSORY OFF-STREET PARKING OF THIRTY-FOUR (34) PARKING SPACES (INCLUDING TWO (2) ACCESSIBLE ONE (1) OF THEM VAN ACCESSIBLE SPACE, TWO (2) ELECTRICAL VEHICLE PARKING SPACES, TWO (2) PREFERENTIAL SPACES AND EIGHT (8) COMPACT PARKING SPACES, AND TWO (2) RESERVOIR SPACES AND ACCESSORY THGIRTHY (30) BICYCLE (CLASS 1A) PARKING SPACES ON AN ACCESSIBLE ROUTE. WITH ONE (1) LOADING SPACE. WITH GREEN BUILDING BONUS APPLIED. \*\*A Green Building agreement is required prior to the issuance of a building permit??\*\*

This permit is subject to the following specific conditions.

## CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



**Tax Exemption(Abatement):** Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment [www.phila.gov/opa](http://www.phila.gov/opa), 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.