

1 FIRST FLOOR ZONING PLAN
3/16" = 1'-0"

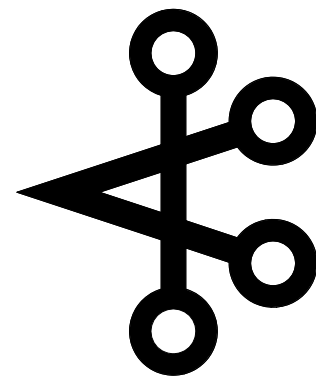
APPROVED
FOR ZONING ONLY
08/10/22

THIS SEAL IS VOID WITHOUT THE SIGNATURE OF THE ARCHITECT OR THE PROFESSIONAL ENGINEER. IT IS VOID IF THE SEAL IS COPIED, REPRODUCED, OR USED FOR ANY OTHER PURPOSE. IT IS VOID IF THE SEAL IS USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE.

Applied Electronically by L&J User:



412 SOUTH 2nd STREET
PHILADELPHIA, PA 19147
267.909.0004
WWW.AMBITARCHITECTURE.COM



AMBIT
ARCHITECTURE

DATE	REVISION
08/22	Zone Rev. 1
08/22	Zone Rev. 2
08/22	Zone Rev. 3

Mixed Use Building:
2214 North Front Street
Philadelphia, PA 19125

Z2

Zoning Permit

Permit Number ZP-2022-009392

LOCATION OF WORK 2214 N FRONT ST T-E-229515, Philadelphia, PA 19133-3714	PERMIT FEE \$1,086.00	DATE ISSUED 8/11/2022
	ZBA CALENDAR	ZBA DECISION DATE
	ZONING DISTRICTS CMX2	

PERMIT HOLDER

OWNER CONTACT 1

OWNER CONTACT 2

TYPE OF WORK
New construction, addition, GFA change

APPROVED DEVELOPMENT
FOR THE ERECTION OF AN ATTACHED BUILDING WITH A ROOF ACCESS STRUCTURE AND GREEN ROOF (UTILIZING GREEN ROOF BONUS) WITH REAR DECKS AT SECOND, THIRD AND FOURTH FLOORS (SIZE AND LOCATION AS SHOWN ON PLANS).

APPROVED USE(S)
Residential - Household Living - Multi-Family

THIS PERMIT IS SUBJECT TO THE FOLLOWING PROVISIO(S) AS ESTABLISHED BY THE ZONING BOARD OF ADJUSTMENT (ZBA)



CONDITIONS AND LIMITATIONS:

- Permits, including Zoning Permits **not** involving development, shall expire if the authorized work or Use is not commenced within, or if work is suspended or abandoned for period of, **six (6) months from the date of issuance** with the following exceptions:
 - 30-days or 10-days** for Permits related to Unsafe or Imminently Dangerous properties respectively.
 - 3-years** from issuance or date of decision by ZBA for Zoning Permits involving development.
 - 60-days** for Plumbing, Electrical or Fire Suppression Rough-In Approvals.
 - Any Permit issued for construction or demolition is valid for no more than **five (5) years**.
- All provisions of the Philadelphia Code must be complied with, whether specified herein or not. This permit does NOT constitute approval of any Violation of such Code.
- The issuance of this CO/permit does not affirm that the subject property is federally compliant with the Americans with Disabilities Act. Owner remains responsible for ensuring property complies with all local, state and federal requirements.

Zoning Permit

Permit Number ZP-2022-009392

ADDITIONAL LOCATION(S)

See front side for primary parcel associated with this permit

PARCEL

2214 N FRONT ST T-E-229515, Philadelphia, PA 19133-3714

ADDITIONAL USE DETAILS

See front side for specific use(s) associated with this permit

FOR THE USE AS VACANT NON -RESIDENTIAL SPACE ALONG THE FIRST FLOOR GROUND FRONTAGE (WITHIN 30 FT. OF BUILDING DEPTH; USE REGISTRATION PERMIT REQUIRED PRIOR TO OCCUPANCY) AND MULTI-FAMILY (14 UNITS) HOUSEHOLD LIVING (UTILIZING MIXED INCOME HOUSING BONUS AND GREEN ROOF BONUS); TO INCLUDE CLASS 1A ACCESSORY FIVE (5) BICYCLE PARKING SPACES.

This permit is subject to the following specific conditions.

CONDITIONS

This Zoning Permit (ZP) shall expire if construction or operation pursuant to the permit or approval has not begun within three years after the date the permit or approval was granted.

Changes of use shall be valid for a period of six months unless an application for a Certificate of Occupancy is submitted for that use within such period.

See § 14-303 of the Philadelphia Zoning Code for more information.



Tax Exemption(Abatement): Information and applications for Real Estate Tax Abatement for new construction and improvements available from the Office of Property Assessment www.phila.gov/opa, 215-686-4334, 601 Walnut St., 300W, Phila, PA 19106. Applications for new construction and commercial improvements due within 60 days of permit issuance. Residential rehab and builder/developer applications due by Dec 31 of year of permit issuance.