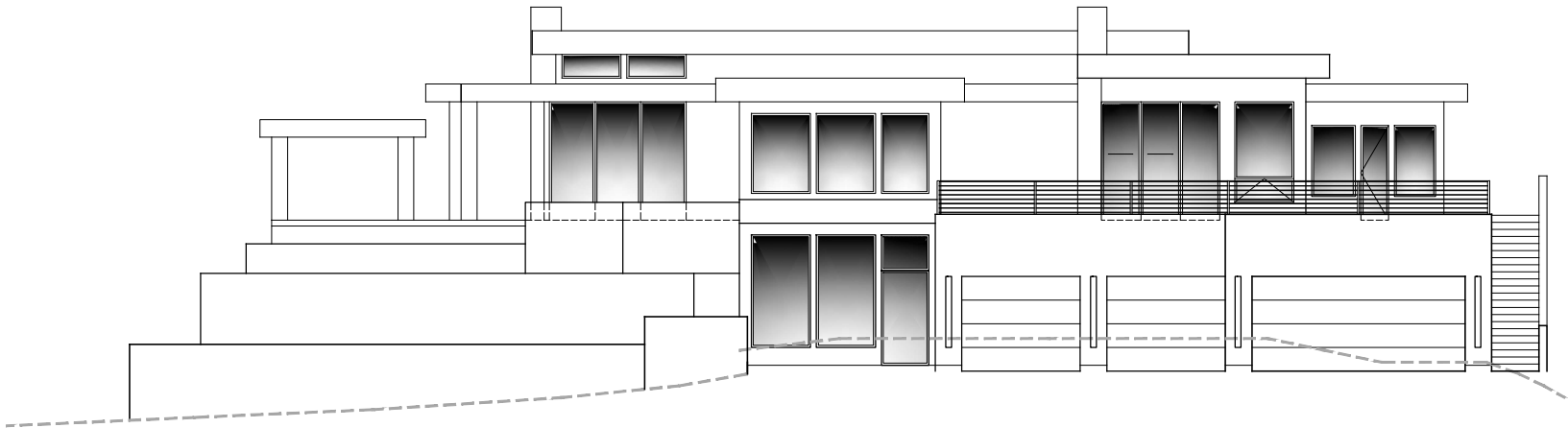


KUBITZ RESIDENCE

LOT 11 OF HIDDEN HILLS PARCEL B



KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS PARCEL B

PROJECT ADDRESS: 14352 EAST COYOTE ROAD

PROJECT TEAM

DRAFTSMAN:

THE DRAFTERY
PATRICK TIPTON
905 N ROOSEVELT CIR
SCOTTSDALE, AZ 85257
480-634-0668

STRUCTURAL ENGINEER:

WILLIS ENGINEERING
MIKE WILLIS
21410 N 19TH AVE, STE 155
PHOENIX, AZ 85027
623-565-5970

CIVIL ENGINEER:

ERIE AND ASSOCIATES, INC.
LEN ERIE, P.E.
3120 N 24TH STREET
PHOENIX, ARIZONA 85016
602-954-6399

LANDSCAPE DESIGNER:

VICKERS DESIGN GROUP
ADAM VICKERS
SCOTTSDALE, AZ 85257
602-703-4104

CONTRACTOR:

MCINTYRE DEVELOPMENT LLC
DAN MCINTYRE 4545 N. 36TH ST.
STE 208
PHOENIX, AZ 85018
602-456-8991

NATIVE PLANT INVENTORY:

NATIVE RESOURCES INT'L
1540 W. HAPPY VALLEY RD.
PHOENIX, AZ 85027
623-869-6757

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L8	LIGHTING DETAILS
L9	GENERAL NOTES

PROJECT NO.:

217-67-111

PLAN CHECK NO.:

140-24

PRINT DATE:

3-28-2024 CITY

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THE DRAFTERY

905 NORTH ROOSEVELT CIRCLE SCOTTSDALE AZ
P: 480-634-0668 E: patrick@drafterydesign.com

E.S.L.O. BUILDING AND DEVELOPMENT NOTES

- MIRRORED SURFACES OR ANY TREATMENTS WHICH CHANGE ORDINARY GLASS INTO A MIRRORED SURFACE ARE PROHIBITED.
- REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS) INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNFINISHED COPPER, ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A MATTE OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE REFLECTIONS OF SUNLIGHT INTO THE PROPERTY.
- PAINTS USED FOR EXTERIOR SURFACES OF ALL STRUCTURES SHALL BLEND IN COLOR, HUE, AND TONE WITH THE SURROUNDING NATURAL DESERT SETTING TO AVOID HIGH CONTRAST.
- SURFACE MATERIALS OF WALLS, RETAINING WALLS OR FENCES SHALL BE SIMILAR TO AND COMPARABLE WITH THE ADJACENT MAIN BUILDINGS (ZO SEC. 6.1070(G.1.A)).
- DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUES SHOULD BLEND SCALE, FORM AND VISUAL CHARACTER INTO THE NATURAL LANDFORM AND MINIMIZE EXPOSED SCARS.
- EXTERIOR LIGHTING SHOULD BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENT IN THE AREA OR FROM A PUBLIC VIEWPOINT.
- NO PAINT COLORS SHALL BE USED WITHIN ANY LANDFORM THAT HAVE A LRV GREATER THAN THIRTY-FIVE PERCENT.
- EXTERIOR PAINT AND MATERIAL COLORS SHALL NOT EXCEED A VALUE OF SIX (6) AND A CHROMA OF SIX (6) AS INDICATED IN THE MUNSSELL BOOK OF COLOR ON FILE IN THE PLANNING SYSTEMS DEPARTMENT.
- PLANT MATERIALS THAT ARE NOT INDIGENOUS TO THE E.S.L. AREA SHALL BE LIMITED TO ENCLOSED YARD AREAS AND NON-INDIGENOUS PLANTS THAT HAVE THE POTENTIAL OF EXCEEDING TWENTY (20) FEET IN HEIGHT ARE PROHIBITED. A LIST OF INDIGENOUS PLANTS IS AVAILABLE FROM THE PLANNING SYSTEMS DEPARTMENT. OUTDOOR COMMUNITY RECREATION FACILITIES, INCLUDING PARKS AND GOLF COURSES SHALL BE ALLOWED TURF AS SPECIFIED IN SECTION 6.1070 (G) (1) (J).
- TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE OFFSITE FROM LOWER ELEVATION, OUTDOOR RECREATION FACILITIES, INCLUDING PARKS AND GOLF COURSES, SHALL BE EXEMPT FROM THIS STANDARD.
- ALL EQUIPMENT APPURTENANT TO UNDERGROUND FACILITIES, SUCH AS SURFACE MOUNTED UTILITY TRANSFORMERS, PULL BOXES, PEDESTAL CABINETS, SERVICE TERMINALS OR OTHER SIMILAR ON-THE-GROUND FACILITIES, SHALL BE PAINTED COLORS WITH A LRV OF LESS THAN THIRTY-FIVE (35) PERCENT.
- ANY PROPOSED MODIFICATIONS TO NATURAL WATERCOURSES AND ALL WALLS AND FENCES CROSSING NATURAL WATERCOURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICIES SPECIFIED IN CHAPTER 37 (DRAINAGE AND FLOODPLAIN ORDINANCE) OF THE CITY OF SCOTTSDALE REVISED CODE.
- BUILDING ELEVATION NOT TO EXCEED 24' MEASURED ABOVE PRE-CONSTRUCTION NATURAL GRADE.
- ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIP., ETC.) SHALL BE SCREENED A MINIMUM OF 1' ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING. SHOW THE LOCATION OF EQUIPMENT ON THIS SITE PLAN.
- SERVICES (WATER & SEWER) ARE EXISTING.
- POOLS REQUIRES SEPARATE APPROVAL AND PERMIT.
- GUESTHOUSE SHALL NEVER BE OFFERED FOR RENT. GUEST HOMES ON LOTS UNDER 35,000 SQ. FT. MAY NOT PROVIDE COOKING FACILITIES.
- POOLS SHALL NOT BE EMPTIED OR BACKWASHED INTO WASHES, STREETS, OR NAOS. SCENIC CORRIDORS, OR ON THE ADJACENT LAND. S. A GUESTHOUSE SHALL NOT EXCEED A GROSS FOOTPRINT GREATER THAN 50% OF THE FOOTPRINT SIZE OF THE PRINCIPAL BUILDING (ZO SEC. 6.1012(A.6) AND SEC. 5.102(A.6)).
- REFLECTIVE BUILDING MATERIALS ARE PROHIBITED.
- THE OWNER SHALL INCORPORATE DEVELOPMENT DESIGN AND CONSTRUCTION TECHNIQUE THAT BLEND IN SCALE, FORM, AND VISUAL CHARACTER TO MINIMIZE EXPOSED SCARS TO THE SATISFACTION OF THE PLANNING AND DEVELOPMENT DEPARTMENT.
- LAND DESIGNATED AS NAOS SHALL BE PERMANENTLY MAINTAINED AS OPEN SPACE. THE PROPERTY OWNER SHALL MAINTAIN ALL DESIGNATED NAOS.
- ALL EXTERIOR LIGHTING BELOW 3' IN HEIGHT SHALL BE FULLY SHIELDED. ALL EXTERIOR LIGHTING ABOVE 3' IN HEIGHT SHALL CONSIST OF HORIZONTAL FULL-CUTOFF FIXTURES AND DIRECTED DOWNWARD, EXCEPT LIGHTS UTILIZED FOR SECURITY PURPOSES.
- EXTERIOR LIGHTING SHALL BE LOW SCALE AND DIRECTED DOWNWARD, RECESSED OR SHIELDED SO THAT THE LIGHT SOURCE IS NOT VISIBLE FROM RESIDENTIAL DEVELOPMENT IN THE AREA OR FROM A PUBLIC VIEWPOINT. EXTERIOR FIXTURES SHALL NOT GENERALLY EXCEED 6 FEET MEASURED FROM THE NEAREST ADJACENT GRADE TO THE TOP OF THE FIXTURE (LOWER HEIGHTS MAY BE REQUIRED BY THE INSPECTION OR CODE ENFORCEMENT STAFF).
- WHERE ON-SITE WALLS ARE PLACED ADJACENT TO NAOS AREAS AT LEAST 50 PERCENT OF THE WALL SHALL BE A VIEW FENCE.
- TEMPORARY SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICY MANUAL. IN ACCORDANCE WITH THE ZONING ORDINANCE, A REGISTERED SURVEYOR SHALL STAKE AND ROPE THE MOST RESTRICTIVE AREA DEFINED BY THE CONSTRUCTION ENVELOPE AND NAOS EASEMENT AS SHOWN ON THE SITE PLAN.
- SITE WALLS SHALL BE SETBACK 15 FEET FROM SIDE AND REAR PROPERTY LINES. THIS APPLIES ONLY TO RESIDENTIAL PARCELS CONTAINING AN AREA OF 35,000 SQ FEET OR LARGER.
- VERIFY THE SPECIFIC LOCATION OF THE CONSTRUCTION ENVELOPE ON THE SITE PLAN. THE CONSTRUCTION ENVELOPE CONSISTS OF AN AREA ENCLOSED BY A LINE EXTENDING 15 FEET OUT FROM ALL DISTURBANCES ON THE LOT.

HIDDEN HILLS PARCEL B - LOT 11

A SUBDIVISION RECORDED IN BOOK 511 OF MAPS, PAGE 33, M.C.R.,
PORTION OF THE SE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 19,
T.3N, R.6E OF THE GILA & SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA

SCOTTSDALE FIRE LINE ACCESS REQUIREMENTS

ACCESS GRADES FROM 0% TO 12% FOR ONE SINGLE FAMILY RESIDENCE	DRIVE LENGTH LESS THAN 200 FEET	DRIVE WIDTH 12'	DRIVE SURFACE AN	TURN-A-ROUND REQUIRED NO	HOSE LAY LESS THAN 200 FEET	SPRINKLER M40-130 YES
--	---------------------------------	-----------------	------------------	--------------------------	-----------------------------	-----------------------

LEGEND

- PROPERTY CORNERS
- SEWER MANHOLE
- BRASS CAP
- CATCH BASIN
- WATER SERVICE BOX
- WATER METER
- RIP-RAP
- PAVERS
- WALL
- DRAINAGE ARROW
- BSL BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- T.W. TOP OF WALL
- T.R.W. TOP OF RETAINING WALL
- T.H.W. TOP OF HEAD WALL
- G-N GRADE-DIRECTION
- T.S.W. TOP OF STEM WALL

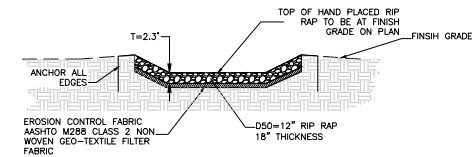
CUT AND FILL QUANTITIES

CUT = 800 C.Y.
FILL = 1100 C.Y.

- * QUANTITIES ARE ROUGH ESTIMATES FOR PERMITTING PURPOSES ONLY.
- * CONTRACTOR MUST CALCULATE HIS/HER OWN QUANTITIES PRIOR TO BIDDING.

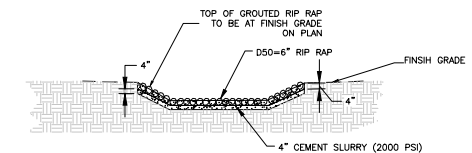
WALL CALCULATIONS

L.F. OF RETAINING WALLS= 642 L.F.
*SEE SHEET 2 OF 2 FOR RETAINING WALL FOR 14324 E. COYOTE RD.



HAND PLACED RIP-RAP DETAIL

N.T.S.

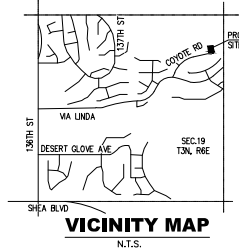


GRADED RIP-RAP DETAIL

N.T.S.

FLOOD INSURANCE RATE MAP (FIRM)

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION	DATE OF FIRM (INDEX DATE)
045012	1785 OF 4425			
MAP #	PANEL DATE	ZONE	N/A	07/20/2021
04013C	10/16/2013	X*		



CONSTRUCTION NOTES

- INSTALL 140 L.F. OF 1.25" DISTRIBUTION SERVICE LINE TO HOUSE FROM WATER METER.
- INSTALL 4" SEWER SERVICE. CONNECT TO EXISTING SEWER STUB.
- INSTALL 24" CORRUGATED PE PIPE CULVERT. LENGTH PER PLAN. PROVIDE 1' MIN COVER OVER TOP OF PIPES.
- INSTALL U-TYPE HEADWALL PER MAG STD. DTL. 301-1. CONCRETE HEADWALL TO EXTEND 1' BELOW CULVERT INLET/OUTLET FOR SCOUR PROTECTION.
- INSTALL RETAINING WALLS AND STEM WALLS PER GRADES ON SHEET 2. ALL EXTERIOR RETAINING/STEM WALLS WILL REQUIRE LIQUID WATERPROOFING MEMBRANE FOR SEEPAGE MITIGATION. REFER TO DETAILS 28/SD5.0, 8/SD5.0 AND 18/SD5.0 IN THE BUILDING PLANS SET.
- INSTALL D50-12" HAND PLACED RIP RAP OVER AASHTO M288 CLASS 2 NON WOVEN GEO-TEXTILE FILTER FABRIC.
APRON THICKNESS = 2.3"
APRON LENGTH = 11'
APRON WIDTH UPSTREAM = 13.33'
APRON WIDTH DOWNSTREAM = 6'
- INSTALL D50-6" GROUTED RIP RAP OVER AASHTO M288 CLASS 2 NON WOVEN GEO-TEXTILE FILTER FABRIC.
APRON THICKNESS = 1.15"
APRON LENGTH = 16'
APRON WIDTH UPSTREAM = 6'
APRON WIDTH DOWNSTREAM = 13.33'
- INSTALL DROP STRUCTURE WITH BOTTOM GRADE (1990.00) 1 FOOT BELOW THE CULVERT INVERT (1991.00) FOR SEDIMENT TRAP. TOP OF RETAINING WALL FLUSH WITH OUTSIDE GRADE. INSTALL GRATE AT ELEVATION 1998.60 PER MAG STD. DTL. 539 FOR FALL PROTECTION. DROP STRUCTURE TO BE MAINTAINED AND CLEANED OUT OF DEBRIS AFTER EACH STORM TO ENSURE THE CULVERT DOES NOT GET CLOGGED.
- INSTALL CATCH BASIN WITH 40 LF OF 8" HDPE STORM DRAIN TO DRAIN THE BACKYARD AREA. PROVIDE 1' MIN COVER OVER TOP OF PIPES.
- INSTALL 1" WATER METER IN EX. SERVICE BOX IF NOT ALREADY EXISTING. CONTRACTOR TO VERIFY.
- INSTALL 16" CONCRETE DRIVEWAY CAPABLE OF SUPPORTING 83,000 POUNDS.
- INSTALL MAG 537 CATCH BASIN WITH MAG 539 GRATE AT AN ELEVATION OF 1998.00.

OWNER

KUBITZ PETER/LISA
PO BOX 27812
SCOTTSDALE AZ 85255

SITE DATA

APN: 217-67-111
AREA = 27,306 S.F.
ZONING: R1-43 ESL
ESL LANDFORM AREA: HILLSIDE
BUILDING SETBACK LINES:
FRONT: 30'
SIDES: 15'
BACK: 30'

BENCHMARK

FOUND 1/2" REBAR WITH 1" PLASTIC CAP, 0.25" UP, STAMPED "LABOR 19857", HAVING AN ELEVATION OF 1767.226, NAVD83 DATUM, GNCS#20666-11, (M0207)
I HEREBY CERTIFY THAT ALL ELEVATIONS PRESENTED ON THIS PLAN ARE BASED ON NAVD-1988 AND MEET THE FEMA BENCHMARK MAINTENANCE (BMM) CRITERIA.

LEGAL DESCRIPTION

LOT 11, HIDDEN HILLS PARCEL B, ACCORDING TO BOOK 511 OF MAPS, PAGE 23, RECORDS OF MARICOPA COUNTY, ARIZONA.

SALVAGE CONTRACTOR

TREE RELOCATORS, INC.
6502 N. 81ST PLACE
SCOTTSDALE, ARIZONA 85250
PHONE: (480) 947-6118
EMAIL: treere locators@cox.net

ENGINEERS CERTIFICATION

THE LOWEST FLOOR ELEVATION ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY THE 100 YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37, FLOODWAYS FLOOD PLAIN ORDINANCE.

SQUARE FOOTAGE CALCS.	
LIVABLE - UPPER:	4,634 S.F.
- LOWER:	1,406 S.F.
TOTAL LIVABLE	6,040 S.F.
NON-LIVABLE:	
GARAGE:	1,373 S.F.
RAMADA:	168 S.F.
PATIO:	608 S.F.
TOTAL	2,139 S.F.
TOTAL UNDER ROOF	8,234 S.F.
LOT COVERAGE	22.8%

RIP RAP GRADATION TABLE

SIZE	%PASSING	SIZE	%PASSING
18"	D100	9"	D100
15"	D85	8"	D85
12"	D50	6"	D50
6"	D15	3"	D15

*CULVERT INLET

*GROUTED RIP RAP (CULVERT OUTLET)



QS 30-62

DATE



ALLEN CONSULTING ENGINEERS, INC.
4111 E. VALLEY AUTO DRIVE, SUITE 103
MESA, ARIZONA 85206
PHONE (480) 844-1068
E-MAIL: ace@allenconsultingengr.com

APN #217-67-111

14362 E. COYOTE ROAD
SCOTTSDALE, ARIZONA 85266

GRADING AND DRAINAGE PLAN

JOB NUMBER	56338	SHEET	1	OF	2
DRAWING	GAD003	CHECKED BY		DATE	05-07-2024

PLAN CHECK #140-24

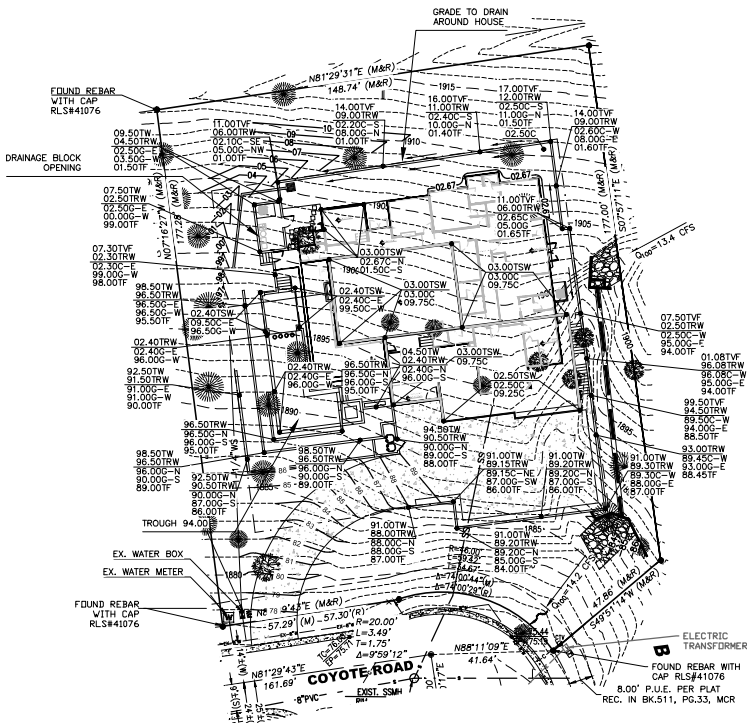
HIDDEN HILLS PARCEL B - LOT 11

A SUBDIVISION RECORDED IN BOOK 511 OF MAPS, PAGE 33, M.C.R.,
PORTION OF THE SE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 19,
T.3N, R.6E OF THE GILA & SALT RIVER BASE AND MERIDIAN,
MARICOPA COUNTY, ARIZONA



LEGEND

- PROPERTY CORNERS
- SEWER MANHOLE
- BRASS CAP
- CATCH BASIN
- WATER SERVICE BOX
- WATER METER
- RIP-RAP
- PAVERS
- WALL
- 24" CULVERT
- DRAINAGE ARROW
- BSL BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- TW TOP OF WALL
- TRW TOP OF RETAINING WALL
- C-N GRADE-DIRECTION
- C-N CONCRETE-DIRECTION
- TSW TOP OF STEM WALL



QS 30-62

DATE

△	
△	
△	



ALLEN CONSULTING ENGINEERS, INC.
4111 E. VALLEY AUTO DRIVE, SUITE 103
MESA, ARIZONA 85206
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E-MAIL: ace@allenconsulting.com

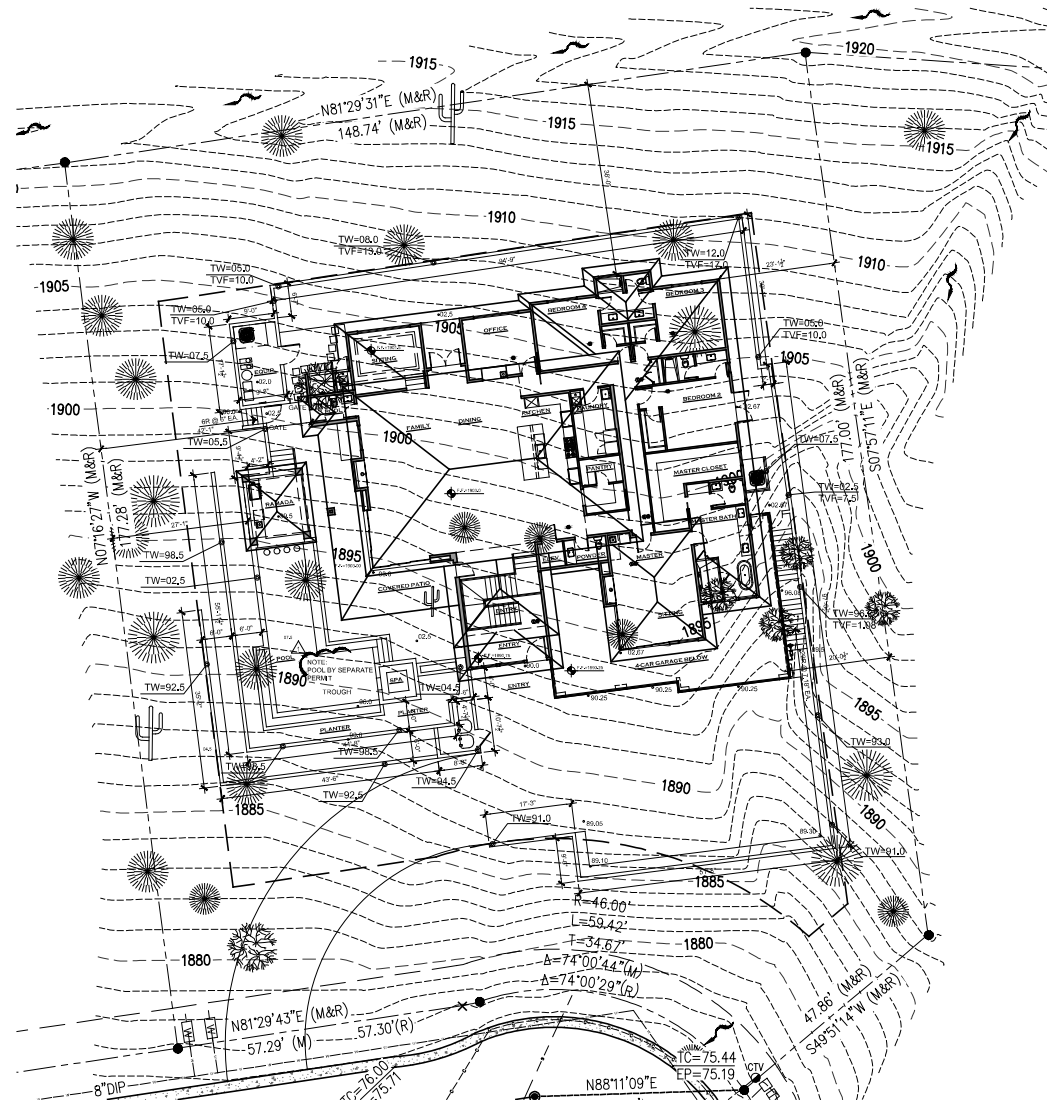
APN #217-87-111

14352 E. COYOTE ROAD
SCOTTSDALE, ARIZONA 85259

GRADING AND DRAINAGE PLAN

JOB NUMBER	36836	SECRET	2	OF	2
DRAFTING	GA/2023	CHECKED BY		DATE	05-07-2024
DRAFTSMAN					

PLAN CHECK #140-24



ARCHITECTURAL SITE PLAN

SCALE: 1"=10'-0"



OWNER:
PETER AND LISA KUBITZ
14382 E COYOTE RD
SCOTTSDALE, AZ 85259

LEGAL DESCRIPTION:
LOT 11, OF HIDDEN HILLS, ACCORDING TO PLAT OF RECORD IN THE OFFICE
OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED
IN BOOK 511 OF MAPS, PAGE 33

PROJECT DESCRIPTION:
NEW CUSTOM HOME

PROJECT DATA

ADDRESS	14382 E COYOTE RD SCOTTSDALE, AZ 85259
APN	21545-111
ZONING	R14.3 ESR
LOT AREA	27,306
TYPE OF CONSTRUCTION	VB
NUMBER OF STORIES	TWO
ESL LANDFORM AREA	HILLSIDE

REVISIONS

NO.	DATE	DESCRIPTION
1	03/28/24	ISSUED FOR PERMIT

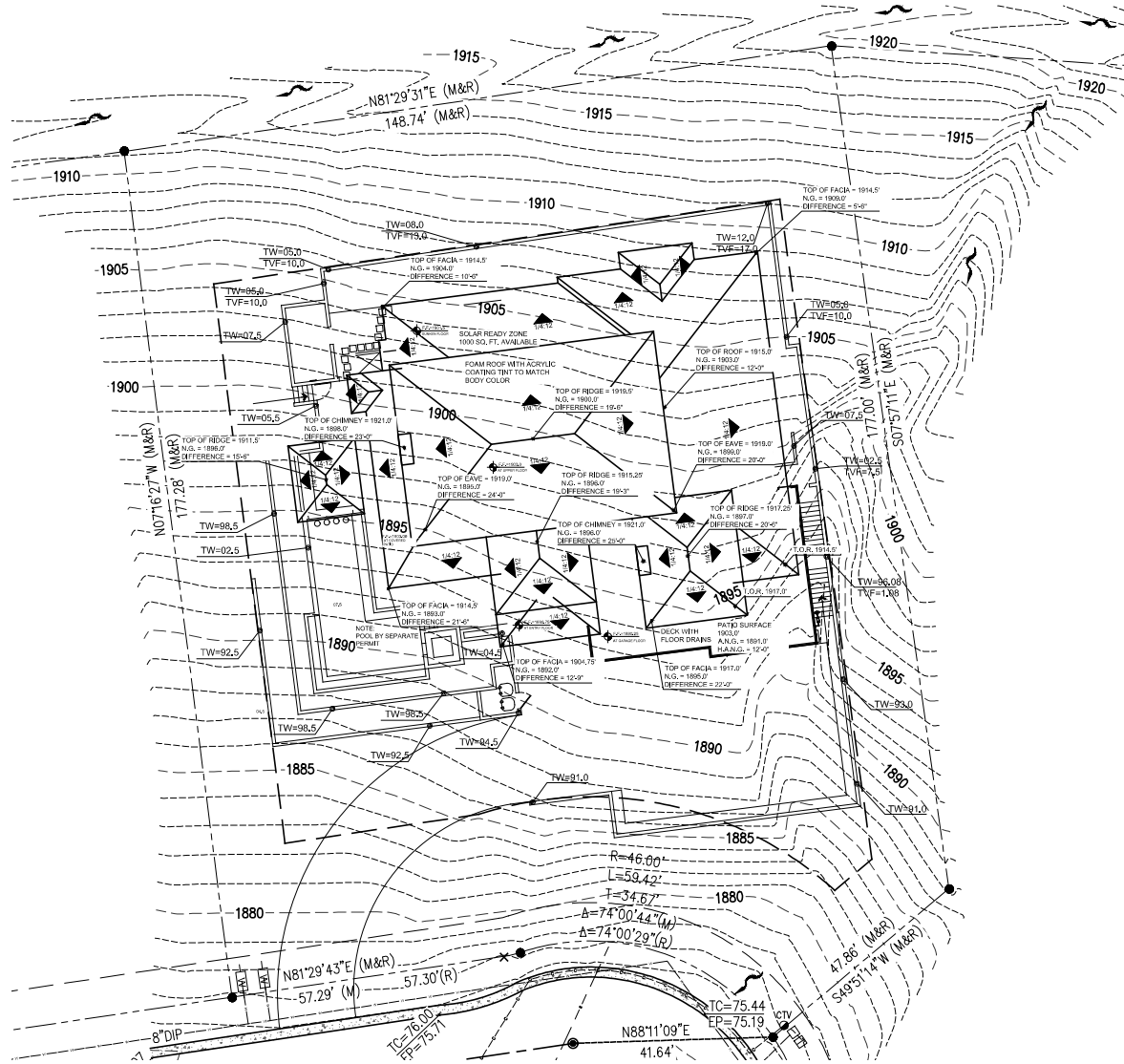
THE DRAFTERY
RESIDENTIAL DESIGN

KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS
14382 EAST COYOTE ROAD
SCOTTSDALE, ARIZONA 85259

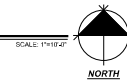
SHEET TITLE: ARCHITECTURAL SITE PLAN

PRINT DATE: 3-29-2024
JOB NO.: 217-67-111
DRAWN BY: PT
CHECKED BY: TEAM
SCALE: 1"=10'-0"
SHEET NUMBER:

SP1
COS PLAN CHECK #145-24



BUILDING HEIGHT STUDY



REVISIONS	
1	COS 2/28/24

The Designer hereby represents, warrants and agrees that the information contained herein is true and correct to the best of his knowledge and belief. The Designer shall be responsible for the accuracy of the information provided. The Designer shall not be responsible for the accuracy of the information provided by any third party. The Designer shall not be responsible for the accuracy of the information provided by any third party. The Designer shall not be responsible for the accuracy of the information provided by any third party.

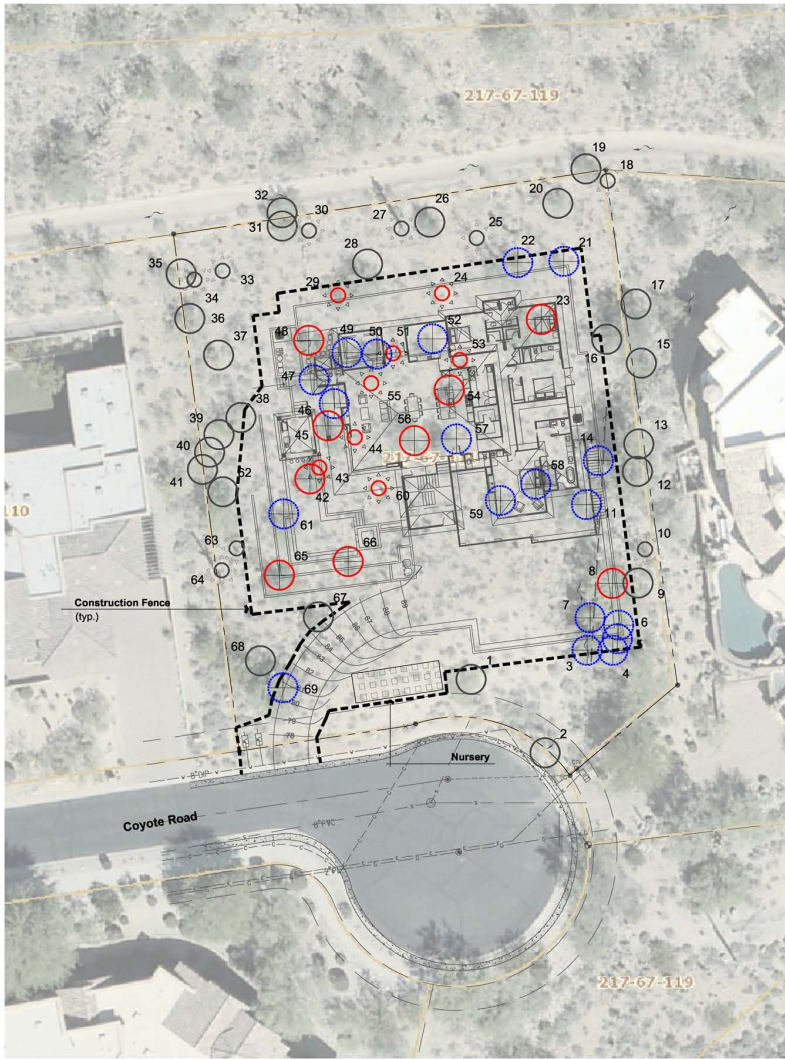
THE DRAFTERY
RESIDENTIAL DESIGN
1400 N. CENTRAL AVENUE, SUITE 100
PHOENIX, ARIZONA 85004
TEL: 602.441.1111
WWW.THE-DRAFTERY.COM

KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS
14382 EAST COYOTE ROAD
SCOTTSDALE, ARIZONA 85259

BUILDING HEIGHT STUDY
SHEET TITLE

PRINT DATE:	3-29-2024
JOB NO.:	217-67-111
DRAWN BY:	PT
CHECKED BY:	TEAM
SCALE:	1"=10'-0"
SHEET NUMBER:	

SP2
COS PLAN CHECK #145-24



Plant #	Common Name	Caliper (in)	Status	Comments
1	Foothills Palo Verde	7	RIP	
2	Blue Palo Verde	7	RIP	Cambium Damage
3	Foothills Palo Verde	4	NS	Rocks / Leaning
4	Foothills Palo Verde	7	NS	Rocks / Leaning
5	Ironwood	7	NS	Rocks / Leaning
6	Foothills Palo Verde	8	NS	Rocks / Leaning
7	Foothills Palo Verde	6	NS	Rocks / Leaning
8	Foothills Palo Verde	8	S	
9	Foothills Palo Verde	8	RIP	
10	Ocotillo	13	RIP	
11	Ironwood	8	NS	Cambium Damage / Rocks
12	Ironwood	14	RIP	Rocks
13	Foothills Palo Verde	10	RIP	Cambium Damage / Rocky Soil
14	Ironwood	8	NS	Rocks
15	Foothills Palo Verde	8	RIP	Cambium Damage / Rocky Soil
16	Foothills Palo Verde	7	RIP	Cambium Damage / Rocky Soil
17	Ironwood	20	RIP	Cambium Damage / Wide Base
18	Barrel	4	RIP	
19	Ironwood	22	RIP	Cambium Damage / Wide Base
20	Foothills Palo Verde	6	RIP	
21	Ironwood	12	NS	Cambium Damage
22	Foothills Palo Verde	12	NS	Cambium Damage
23	Foothills Palo Verde	9	S	
24	Ocotillo	7	S	
25	Ocotillo	12	RIP	Branch Dieback / Declining
26	Ironwood	7	RIP	7 arms / Declining
27	Saguaro	50	RIP	Cambium Damage
28	Foothills Palo Verde	8	RIP	
29	Ocotillo	4	RIP	
30	Barrel	7	RIP	
31	Foothills Palo Verde	7	RIP	Leaning / Poor Structure
32	Foothills Palo Verde	6	RIP	Leaning / Poor Structure
33	Ocotillo	6	RIP	
34	Barrel	10	RIP	2 heads
35	Foothills Palo Verde	8	RIP	Cambium Damage
36	Foothills Palo Verde	8	RIP	
37	Foothills Palo Verde	7	RIP	Cambium Damage
38	Foothills Palo Verde	7	RIP	Cambium Damage
39	Foothills Palo Verde	7	RIP	Cambium Damage
40	Foothills Palo Verde	6	RIP	Cambium Damage
41	Foothills Palo Verde	6	RIP	Cambium Damage
42	Foothills Palo Verde	7	S	
43	Barrel	6	S	2 heads
44	Barrel	4	S	
45	Ironwood	8	S	
46	Foothills Palo Verde	4	NS	Rocks
47	Foothills Palo Verde	6	NS	Cambium Damage
48	Foothills Palo Verde	8	S	
49	Foothills Palo Verde	8	NS	Cambium Damage / Rocks
50	Foothills Palo Verde	7	NS	Rocks
51	Ocotillo	6	S	
52	Ironwood	8	NS	Cambium Damage
53	Ocotillo	6	S	
54	Foothills Palo Verde	7	S	
55	Barrel	5	S	
56	Foothills Palo Verde	7	S	
57	Foothills Palo Verde	7	NS	Cambium Damage
58	Ironwood	12	NS	Cambium Damage
59	Foothills Palo Verde	6	NS	Cambium Damage
60	Barrel	6	S	
61	Foothills Palo Verde	9	NS	Cambium Damage / Rocks
62	Foothills Palo Verde	14	RIP	
63	Barrel	4	RIP	
64	Saguaro	39	RIP	4 arms / Damaged
65	Foothills Palo Verde	7	S	
66	Ironwood	4	S	
67	Ironwood	7	RIP	Cambium Damage / Poor Structure
68	Foothills Palo Verde	8	RIP	Cambium Damage / Poor Structure
69	Ironwood	14	NS	Cambium Damage / Poor Structure
Summary				Legend
Salvageable	9	8		S = Salvageable
Non-Salvageable	19	0		NS = Non-Salvageable
Remain-in-Place	24	9		RIP = Remain-in-Place
Total	52	17		

Plant Legend

- Tree - Salvageable

Tree - Non-Salvageable

Tree - Remain In Place
- Cacti - Salvageable

Cacti - Non-Salvageable

Cacti - Remain In Place

Project Consultants

Salvage Contractor

Native Resources International
1540 West Happy Valley Road
Phoenix, Arizona 85085
623-869-6757 (p) • 623-869-6769 (f)
Contact: Kevin Brenda - kevin@nativeresources.com

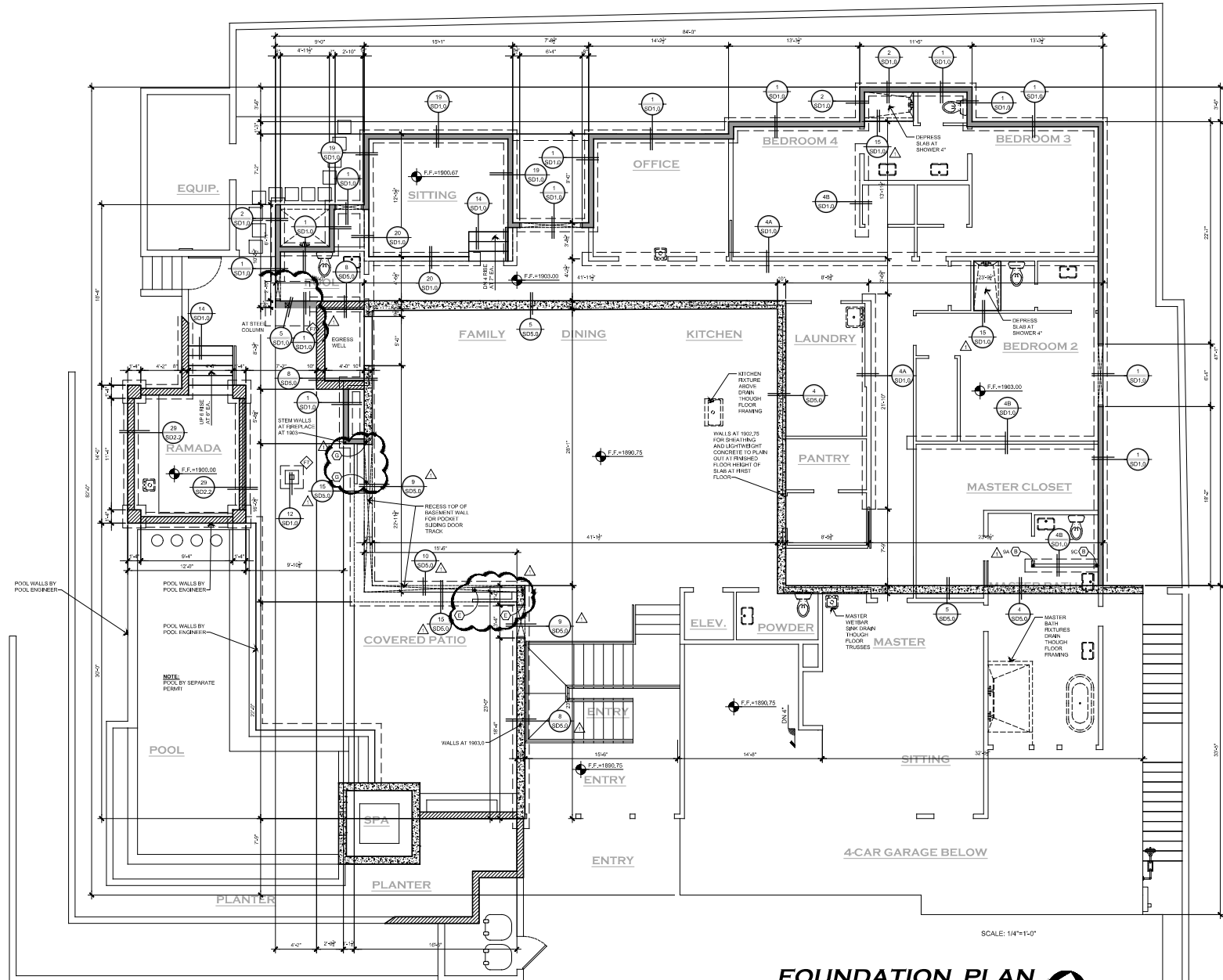


Native Resources Intl.
1540 W Happy Valley Rd.
Phoenix, AZ 85027
Phone (623) 869-6757
Fax (623) 869-6769

Coyote 14352
14352 E. Coyote Road
Scottsdale, Arizona

Native Plant Inventory Plan

DATE: 3/1/2024
REVISION:
SCALE: 1" = 20'
CHECKED:
DRAWN: KB
SHEET 1 OF 1



FOUNDATION PLAN

UPPER LEVEL



FOUNDATION NOTES

1. SLOPE OF LANDINGS @ DOORWAYS SHALL BE A MAXIMUM OF 1/4" PER 12".
2. SHALL ALL VOIDS AROUND PIPING WHICH PENETRATES CONCRETE FLOORS.
3. FINISHED FLOOR SHALL BE A MINIMUM OF 6" ABOVE FINISH GRADE. LANDINGS AT ALL EXTERIOR DOOR SWINGS EXIST DOORS SHALL BE A MAXIMUM OF 1" BELOW INTERIOR FINISH FLOOR ELEVATION.
4. OFFSET ALL DRAINING OUT OF FINISH WALL FOOTINGS.
5. ALL INTERIOR AND EXTERIOR FOOTINGS SHALL BEAN MIN. 18" BELOW TOP OF UNDISTURBED SOIL OR TOP OF ENGINEER CERTIFIED COMPACTED FILL.
6. REFER TO ELECTRICAL PLAN FOR FLOOR OUTLETS AND UNDERGROUND ELEC. REQUIREMENTS.
7. FIELD VERIFY LOCATIONS FOR UNDERSLAB IRRIGATION WITH OWNER AND/OR ENGINEER.
8. ALL GAS PIPING SHALL COMPLY 2015 U.P.C. FOR INSTALLATION. MATERIALS, FITTINGS, VALVES, REGS. BEING NO HAZARDOUS PRESSURE TESTING, ETC.
9. GAS PIPING IS NOT PERMITTED UNDER SLABS OR STRUCTURES.
10. FINISH GRADE SHALL SLOPE AWAY FROM FOOTINGS AT EXTERIORS MIN. 1/4" OF 8 IN 10 FT.
11. A SOL'S WATER WAS SUBMITTED AT THE TIME OF CITY PLAN REVIEW. A COMPACTED REPORT SHALL BE ATTACHED TO THE FIELD SET OF CITY APPROVED SET OF PLANS FOR ANY DISTURBED SOIL OR ENGINEER CERTIFIED COMPACTED SOIL BEFORE ANY FOOTING ERECTION.
12. PLACE RIVER ROCK ON GRADE AT ALL SCUPPER LOCATIONS AND ROOF DRAIN OUTLETS. VERIFY LOCATIONS WITH ROOF PLAN.
13. SUB ELEC. SERVICE CONDUIT UP IN STEM WALL FOR A RECESSED SERVICE INSTALLATION. NO PROPOSED CONDUIT A LOWED. ALL UNDERGROUND RETURN AIR DUCTS TO BE TEMPORARILY CAPPED IMMEDIATELY AFTER INSTALLATION TO PREVENT DEBRIS & VARIANTS FROM BEING TRAPPED DURING CONSTRUCTION. HOLD OPENINGS MIN. 4" X 4" (WHERE OCCURS).
14. 4" CONCRETE SLAB OVER 6" ML VAPOR BARRIER ON 4" OF GRAVEL OR CRUSHED ROCK OVER FIRM UNDISTURBED SOIL OR ENGINEERED COMPACTED JACK-RILL. PROVIDE CONSTRUCTION CONTROL JOINTS AT MAXIMUM 20' ON CENTER. SEE PLAN AND ARCH. DRAWINGS FOR LOCATIONS.
15. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS.
16. WHERE REINFORCING BARS ARE FOUND IN SLABS, PROVIDE MIN. 6" DISTANCES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. THE ARCHITECTURAL DRAWINGS COVER.
17. VERIFY RECESSED SLABS FOR FLAGSTONE, WOOD FLOORS, AND BOLLARDS.
18. VERIFY LOCATION FOR FLOOR SAFE.
19. RUN ALL UNDERGROUND AIR AND COMMER LINES BELOW FOOTINGS. UNLESS THERE IS MINIMAL FALL TO SEWER TAP.
20. ALL UNDERGROUND CONDUIT LINES BE UNLATERATED, INCLUDING MIN. 24". PROVIDE WATER PROOFING AT RETAINING SIDE OF ALL RETAINING WALLS.
21. PROVIDE CONTROL JOINTS AT ALL CONCRETE SLABS. MAXIMUM AREA BETWEEN JOINTS TO BE APPROX. 200 S.F.

CONVENTIONAL FOUNDATION NOTES:

1. FOUNDATION DIMENSIONS SHOWN ARE EXTRACTED FROM THE ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL VERIFY ALL FOUNDATION DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MILES ENGINEERING, INC.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND TYPE OF ALL EMBEDDED HARDWARE AND THE LOCATION OF ALL ARCHITECTURAL FEATURES SUCH AS BUT NOT LIMITED TO: IMPRESSIONS, SLOPES, SERVICES, CHAIRS, PORCHES, AND STAIRS.
3. REFER TO THE GEOTECHNICAL REPORT INCLUDING SECTION 5.8 FOR ALL FND PREPARATION AND WORK (E.G. TENSOR BARRIER REQUIREMENTS).
4. REFER TO SHEET SD1.0 AND SD1.1 FOR ALL CONSTRUCTION DETAILS.
5. REFER TO STRUCTURAL DETAIL SHEET SD1.0 AND SD1.1 FOR ALL FOOTING WIDTH, FOOTING THICKNESS, STEM WALL THICKNESS, STEM WALL HEIGHT, AND REINFORCING REQUIREMENTS.
6. REFER TO SHEET S2 FOR CONVENTIONAL REBAR BEND AND REBAR LAPPING REQUIREMENTS.
7. ANCHOR BOLTS: INSTALL ANCHOR BOLTS AS NOTED ON THE PLANS. REFER TO SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. IF NO NOTATION IS GIVEN AT EXTERIOR WALLS, PROVIDE 1/2" DIAMETER X 24" SHANK LENGTH PER 4" O.C. MAX. AT LEAST ONE BOLT SHALL BE INSTALLED WITHIN 12" OF EACH END OF EACH PLATE, WITH NO LESS THAN (2) BOLTS PER PLATE 12" OR LONGER. ANCHOR BOLTS MAY BE REPLACED WITH EMBEDDED ANCHOR BOLTS AT 4" O.C. MAX. REFER TO DETAIL 17SD1.1.
8. SHOT PINS: INSTALL SHOT PINS AS NOTED ON THE PLANS. REFER TO SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. IF NO NOTATION IS GIVEN AT INTERIOR WALLS, PROVIDE 1/2" DIAMETER X 24" SHANK LENGTH PER 4" O.C. MAX. AT LEAST ONE BOLT SHALL BE INSTALLED WITHIN 12" OF EACH END OF EACH PLATE, WITH NO LESS THAN (2) BOLTS PER PLATE 12" OR LONGER. ANCHOR BOLTS MAY BE REPLACED WITH EMBEDDED ANCHOR BOLTS AT 4" O.C. MAX. REFER TO DETAIL 17SD1.1.
9. WEDGE ANCHORS: INSTALL WEDGE ANCHORS AS NOTED ON THE PLANS. REFER TO THE SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. AT LEAST ONE ANCHOR SHALL BE INSTALLED WITHIN 12" OF EACH END OF EACH PLATE, WITH NO LESS THAN (2) BOLTS PER PLATE 12" OR LONGER. WEDGE ANCHORS ARE FOR INTERIOR USE ONLY.
10. HOLD DOWNS: REFERENCE THE FRAMING AND ARCHITECTURAL FLOOR PLANS FOR LOCATION. REFER TO DETAILS 18SD1.1 AND 18SD1.1. IF EMBEDDED HOLD DOWNS ARE MISSED OR ENOUGH, A LOCATION REFER TO DETAIL 24SD1.1 FOR REPAIR DETAIL.
11. HOUSE AND GARAGE FLOOR SLAB: MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER 4" MINIMUM PLATE COMPACTED A.B.C. FILL OVER TYPIC FIRMED NATURAL GRADE OR ENGINEER CERTIFIED COMPACTED FILL (U.L.O. IN PROJECT SOILS REPORT). STEEL REINFORCING IS NOT REQUIRED. PROVIDE CONTROL JOINTS AS SPECIFIED BY THE ARCHITECT AND REFER TO DETAIL 22SD1.0.
12. EXTERIOR SLAB (POUR BACK): MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER 4" MINIMUM PLATE COMPACTED A.B.C. FILL OVER TYPIC FIRMED NATURAL GRADE OR ENGINEER CERTIFIED COMPACTED FILL (U.L.O. IN PROJECT SOILS REPORT). STEEL REINFORCING IS NOT REQUIRED. PROVIDE CONTROL JOINTS AS SPECIFIED BY THE ARCHITECT AND REFER TO DETAIL 22SD1.0.

REVISIONS	
NO.	DESCRIPTION
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THE DRAFTERY
RESIDENTIAL DESIGN

14382 EAST COVOTE ROAD
SCOTTSDALE, ARIZONA 85259

FOUNDAION PLAN

PRINT DATE: 3-29-2024

JOB NO.: 217-07-111

DRAWN BY: PT

CHECKED BY: TEAM

SCALE: 1/4"=1'-0"

SHEET NUMBER: A1.0

COS PLAN CHECK #1450-24

[illegible]

1. FOUNDATION DIMENSIONS SHOWN ARE EXTRACTED FROM THE ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL VERIFY ALL FOUNDATION DIMENSIONS AND LOCATIONS AGAINST THE EXISTING FIELD CONDITIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

2. CONTRACTOR SHALL VERIFY THE LOCATION AND TYPE OF ALL EMBEDDED HARDWARE AND THE LOCATION OF ALL ARCHITECTURAL FEATURES SUCH AS PORCHES, PATIOS AND TERRACES. ALL SLOPES, STEPS, PATIOS, PORCHES, AND STAIRS.

3. REFER TO THE GEOTECHNICAL REPORT INCLUDING SECTION 5.8 FOR ALL FOUNDATION AND RETENTION REQUIREMENTS.

4. REFER TO SHEET SD01 AND SD01-F FOR ALL CONSTRUCTION DETAILS.

5. REFER TO STRUCTURAL DETAIL SHEET SD01 AND SD01-F FOR ALL FOOTING WITH FOOTING THICKNESS, STEEL WALL THICKNESS, STEEL WALL HEIGHT, AND REINFORCEMENT.

6. REFER TO SHEET SMC FOR CONVENTIONAL REBAR AND REBAR LAPSPING REQUIREMENTS.

7. ANCHOR BOLTS: INITIAL ANCHOR BOLTS IS NOTED ON THE PLANS. REBAR AND ANCHOR BOLTS ARE REQUIRED FOR ALL EXTERIOR WALLS. IF NO NOTES ARE GIVEN AT EXTERIOR WALLS, PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 4' ON CENTER. PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 4' ON CENTER, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 4' ON CENTER, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 4' ON CENTER, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER ANCHOR BOLTS AT 4' ON CENTER, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG.

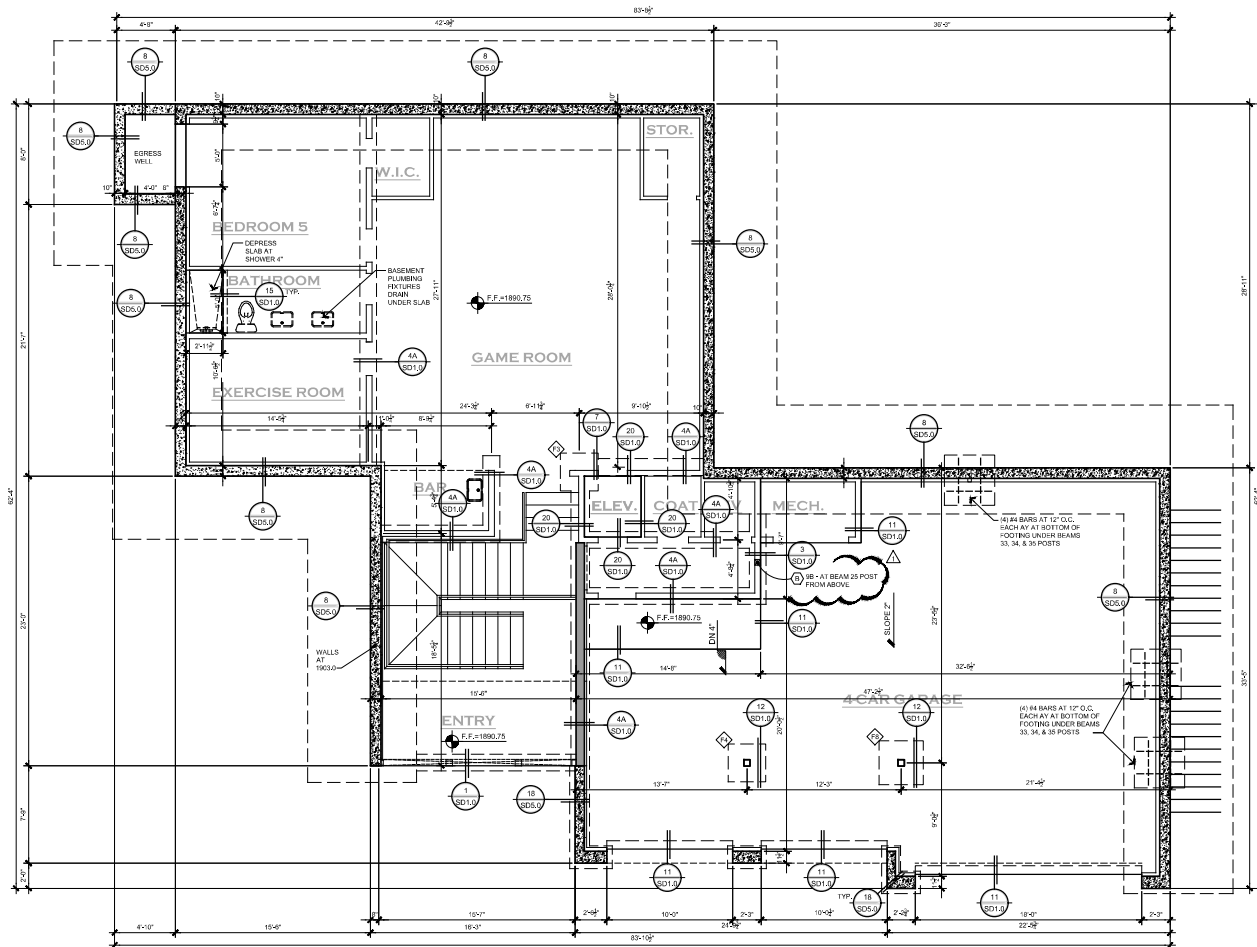
8. SLOOT PINS: INITIAL SLOOT PINS ARE NOTED ON THE PLANS. REBAR AND SLOOT PINS ARE REQUIRED FOR ALL EXTERIOR WALLS. IF NO NOTES ARE GIVEN AT EXTERIOR WALLS, PROVIDE 1/2" DIAMETER SLOOT PINS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER SLOOT PINS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER SLOOT PINS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER SLOOT PINS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG.

9. WEDGE ANCHORS: INITIAL WEDGE ANCHORS ARE NOTED ON THE PLANS. REBAR AND WEDGE ANCHORS ARE REQUIRED FOR ALL EXTERIOR WALLS. IF NO NOTES ARE GIVEN AT EXTERIOR WALLS, PROVIDE 1/2" DIAMETER WEDGE ANCHORS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER WEDGE ANCHORS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER WEDGE ANCHORS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER WEDGE ANCHORS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG.

10. HOLD-DOWNS: REFERENCE THE FRAMING AND ARCHITECTURAL FLOOR PLAN FOR LOCATIONS. SEE DETAIL S001 AND S001-F FOR EMBEDDED HOLD-DOWNS. PROVIDE 1/2" DIAMETER HOLD-DOWNS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER HOLD-DOWNS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER HOLD-DOWNS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER HOLD-DOWNS, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG.

11. EXTERIOR SLAB (FOUR BAY): MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER 6" MINIMUM PLATE COMPACTED A-B-C. OVERLAP OTHER MATERIALS. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG.

12. EXTERIOR SLAB (FOUR BAY): MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER 6" MINIMUM PLATE COMPACTED A-B-C. OVERLAP OTHER MATERIALS. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG. PROVIDE 1/2" DIAMETER REBAR, 2" LONG, EACH END OF EACH PLATE, WITH NO LESS THAN 2" IN PINS PER PLATE 12" LONG.



LOWER LEVEL SCALE: 1/4"=1'-0"

[illegible]

HOLDOWN SCHEDULE					
MARK	SYMBOL	HOLDOWN	REFERENCE DETAIL NUMBER	ANCHOR TYPE	
				POST-TENSIONING CAST-IN-PLACE	
⊙	●	LTT2K4	RA, 98, 9C ON SD1.1	12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STEEL HOOK w/ 3/4" EMBED	SS1B 19
⊙	●	HTT4	RA, 98, 9C ON SD1.1	12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STEEL HOOK w/ 3/4" EMBED	SS1B 19
⊙	●	HTT4	RA, 98, 9C ON SD1.1	12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STEEL HOOK w/ 3/4" EMBED	SS1B 19
⊙	●	H1006, S005A	RA, 98, 9C ON SD1.1	12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STRONGBOLTS w/ 3/4" EMBED 12" DIA. STEEL HOOK w/ 3/4" EMBED	SS1B 19
⊙	●	LSTH0 8	14 ON SD1.1	NOT APPLICABLE	LSTH0 8
⊙	●	STH0 10	14 ON SD1.1	NOT APPLICABLE	STH0 10
⊙	●	STH0 14	14 ON SD1.1	NOT APPLICABLE	STH0 14
⊙	●	MASAP	17 ON SD1.1 & 18 ON SD1.1	NOT APPLICABLE	MASAP
⊙	●	CS 16	22SDA2	CS 16 STRAP, CLEAR SPAN=28" W/ MIN. 14" END LENGTH, (2) 84 C (81.3") DIA. x 2 1/2" NAILS TOTAL 13 NAILS AT EACH END	CS 16
⊙	●	Q1 CS 16	22SDA2	Q1 CS 16 STRAP, CLEAR SPAN=28" W/ MIN. 14" END LENGTH, (2) 84 C (81.3") DIA. x 2 1/2" NAILS TOTAL 13 NAILS AT EACH END	Q1 CS 16
⊙	●	CM51C 16	22SDA2	CM51C 16 STRAP, CLEAR SPAN=28" W/ MIN. 14" END LENGTH, (2) 84 C (81.3") DIA. x 2 1/2" NAILS TOTAL 13 NAILS AT EACH END	CM51C 16
⊙	●			RESERVED	RESERVED
FOOTNOTES					
● REFERS TO MANUFACTURER SPECIFICATIONS FOR ALL INSTALLATION PROCEDURES AND REQUIREMENTS.					
● HOLD-TYPE ANCHORS SHALL BE ATTACHED TO (2) POSTS MINIMUM UNL. HOLDOWN TYPE AND SHALL BE ATTACHED TO (2) POSTS MINIMUM UNL. HOLDOWN TYPE AND SHALL BE ATTACHED TO (2) POSTS MINIMUM UNL. HOLDOWN TYPE.					

FOOTNOTES:
⊙ REFER TO MANUFACTURER SPECIFICATIONS FOR ALL INSTALLATION PROCEDURES AND REQUIREMENTS.
⊙ HOLDOWN TYPES A, B, C, E, F, H, L, E, AND K SHALL BE ATTACHED TO (2) 20# POSTS MINIMUM UNLESS HOLDOWN TYPE D AND G SHALL BE ATTACHED TO (2) 20# POSTS MINIMUM UNLESS.

FOOTING SCHEDULE	
MARK	FOOTING
⊙	4"x12"x4'10" THICK w/ 2 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
⊙	2'0"x12"x4'10" THICK w/ 2 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
⊙	2'0"x12"x4'10" THICK w/ 2 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
⊙	3'0"x12"x4'10" THICK w/ 3 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
⊙	3'0"x12"x4'10" THICK w/ 3 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
⊙	4'0"x12"x4'10" THICK w/ 4 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
⊙	4'0"x12"x4'10" THICK w/ 4 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
⊙	5'0"x12"x4'10" THICK w/ 5 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS

Shear Wall and Plate Anchorage Schedule

* N Shear Wall Length									
Add-on indicates that anchoring shall be applied prior to any adjacent framing.									
MARK	SYMBOL	ANCHOR TYPE	MINIMUM FRAMING	MINIMUM FRAMING	MINIMUM FRAMING	MINIMUM FRAMING	MINIMUM FRAMING	MINIMUM FRAMING	MINIMUM FRAMING
1	1	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Exterior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
2	2	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Interior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
3	3	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Exterior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
4	4	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Interior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
5	5	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Exterior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
6	6	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Interior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
7	7	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Exterior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
8	8	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Interior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G
9	9	12" DIA. STRONGBOLTS w/ 3/4" EMBED	17'0"	None	2x	Exterior	12" DIA. Anchor Bolts at 12" O.C.	84 G	84 G

FOOTNOTES:
⊙ REFER TO MANUFACTURER SPECIFICATIONS FOR ALL INSTALLATION PROCEDURES AND REQUIREMENTS.
⊙ HOLDOWN TYPES A, B, C, E, F, H, L, E, AND K SHALL BE ATTACHED TO (2) 20# POSTS MINIMUM UNLESS HOLDOWN TYPE D AND G SHALL BE ATTACHED TO (2) 20# POSTS MINIMUM UNLESS.

FOUNDATION NOTES:

1. SLOPE OF LANDINGS OR DOORWAYS SHALL BE A MAXIMUM OF 1/4" PER 12".
2. SHALL ALL VOIDS AROUND PIPING WHICH PENETRATES CONCRETE FLOORS.
3. FINISHED FLOOR SHALL BE A MINIMUM OF 6" ABOVE FINISH GRADE. A LANDING AT ALL EXTERIOR DOORWAYS SHALL BE A MINIMUM OF 6" ABOVE FINISH GRADE. A LANDING AT ALL EXTERIOR DOORWAYS SHALL BE A MINIMUM OF 6" ABOVE FINISH GRADE. A LANDING AT ALL EXTERIOR DOORWAYS SHALL BE A MINIMUM OF 6" ABOVE FINISH GRADE.
4. ALL INTERIOR AND EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 18" BELOW TOP OF UNDEVELOPED SOIL OR TOP OF ENGINEER CERTIFIED COMPACTED FILL.
5. REFER TO ELECTRICAL PLAN FOR FLOOR OUTLETS AND UNDERGROUND ELEC. REQUIREMENTS.
6. FIELD VERT. LOCATIONS FOR UNDER-SLAB IRRIGATION WITH OWNER ANCHOR BRICKS.
7. GAS PIPING SHALL COMPLY 2015 I.P.C. FOR INSTALLATION. MATERIALS, FITTINGS, VALVES, BRIMS, BEINGS MATERIALS. PRESSURE TESTING, ETC.
8. GAS PIPING IS NOT PERMITTED UNDER SLABS OR STRUCTURES.
9. FINISH GRADE SHALL SLOPE AWAY FROM FOOTINGS AT EXTERIORS MIN. OF 1/4" PER 12".
10. A SOILS REPORT SHALL BE SUBMITTED AT THE TIME OF CITY PLAN REVIEW. A CERTIFIED REPORT SHALL BE ATTACHED TO THE FIELD SET OF CITY APPROVED SET OF PLANS FOR ANY DETEILED SOIL OR ENGINEER CERTIFIED COMPACTED SOIL BEFORE ANY FOOTING CONSTRUCTION.
11. PLACE REINFORCING ON GRADE AT ALL SCUPPER LOCATIONS AND ROOF DRAIN OUTLETS. VERIFY LOCATIONS WITH ROOF PLAN.
12. STUB ELECTRICAL SERVICE CONDUIT UP IN STEM WALL FOR A RECESSED SERVICE INSTALLATION. NO RECESSED CONDUIT ALLOWED. ALL UNDERGROUND RETURN AIR DUCTS TO BE TEMPORARILY CAPPED MANUALLY AFTER INSTALLATION TO PREVENT DEBRIS & VAPORS FROM BEING TRAPPED DURING CONSTRUCTION. HOLD OPENINGS MIN. 4" x 4" (WHERE COULDS).
13. CONCRETE SLAB OVER 6" MIN. VAPOR BARRIER OR 4" OF GRAVEL OR CRUSHED ROCK OVER 6" MIN. UNDEVELOPED SOIL OR ENGINEER CERTIFIED COMPACTED SOIL. PROVIDE CONSTRUCTION CONTROL JOINTS AT MAXIMUM 20' ON CENTER. SEE PLAN AND ARCH. DRAWINGS FOR LOCATIONS.
14. STUB ELECTRICAL SERVICE CONDUIT UP IN STEM WALL FOR A RECESSED SERVICE INSTALLATION. NO RECESSED CONDUIT ALLOWED. ALL UNDERGROUND RETURN AIR DUCTS TO BE TEMPORARILY CAPPED MANUALLY AFTER INSTALLATION TO PREVENT DEBRIS & VAPORS FROM BEING TRAPPED DURING CONSTRUCTION. HOLD OPENINGS MIN. 4" x 4" (WHERE COULDS).
15. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS.
16. VERIFY REINFORCING AND FOUND IN MANUFACTURERS AND DISTANCES BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. THE ARCHITECTURAL DRAWINGS GOVERN.
17. VERIFY RECESSED SLABS FOR FLAGSTONE, WOOD FLOORS, AND BOLLARDS.
18. VERIFY LOCATION FOR FLOOR SIPS.
19. RUN ALL UNDERGROUND AIRS AND COPPER LINES BELOW FOOTINGS. UNLESS THERE IS MINIMAL FALL TO SERVICE TAP.
20. ALL UNDERGROUND CUPPER LINES TO BE INSULATED, INCLUDING HUNG WALLS.
21. PROVIDE WATER PROOFING AT RETAINING SIDE OF ALL RETAINING WALLS.
22. PROVIDE CONTROL JOINTS AT ALL CONCRETE SLABS, MAXIMUM AREA BETWEEN JOINTS TO BE APPROX. 200 S.F.

CONVENTIONAL FOUNDATION NOTES:

1. FOUNDATION DIMENSIONS SHOWN ARE EXTRACTED FROM THE ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL VERIFY ALL FOUNDATION DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MILES ENGINEERING, INC.
2. CONTRACTOR SHALL VERIFY THE LOCATION AND TYPE OF ALL EMBEDDED HARDWARE AND THE LOCATION OF ALL ARCHITECTURAL FEATURES SUCH AS BUT NOT LIMITED TO RECESSES, SLOPES, SERVICES, PATHS, PORCHES, AND STAIRS.
3. REFER TO THE GEOTECHNICAL REPORT INCLUDING SECTION 5.6 FOR ALL FILL PREPARATION AND WORKING (REINFORCING) REQUIREMENTS.
4. REFER TO DETAIL SD1.0 AND SD1.1 FOR ALL CONSTRUCTION DETAILS.
5. REFER TO STRUCTURAL DETAIL SHEET SD1.0 AND SD1.1 FOR ALL FOOTING WIDTH, FOOTING THICKNESS, STEM WALL THICKNESS, STEM WALL HEIGHT, AND REINFORCING REQUIREMENTS.
6. REFER TO DETAIL SNG FOR CONVENTIONAL REBAR BEND AND REBAR LAPPING REQUIREMENTS.
7. ANCHOR BOLTS: INSTALL ANCHOR BOLTS AS NOTED ON THE PLANS. REFER TO SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. IF NO NOTATION IS GIVEN AT EXTERIOR WALLS, PROVIDE 12" DIAMETER ANCHOR BOLTS AT 42" O.C. MAX. AT LEAST ONE BOLT SHALL BE INSTALLED WITHIN 12" OF EACH END OF EACH PLATE, WITH NO LESS THAN (2) BOLT PER PLATE 12" OR LONGER. AT EACH END OF EACH PLATE IN WALL, PROVIDE A SHEAR WALL WITH (2) BOLT PER PLATE (1) AT 6" AND (1) AT 10" FROM THE END OF THE PLATE.
8. SHOT PINS: INSTALL SHOT PINS AS NOTED ON THE PLANS. REFER TO SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. IF NO NOTATION IS GIVEN AT INTERIOR WALLS, PROVIDE A 1/4" DIAMETER X 2.0" SHANK LENGTH PIN AT 30" O.C. AT LEAST ONE PIN SHALL BE INSTALLED WITHIN 12" OF EACH END OF EACH PLATE, WITH NO LESS THAN (2) PINS PER PLATE 12" OR LONGER. AT EACH END OF EACH PLATE IN WALL, PROVIDE A SHEAR WALL WITH (2) PINS PER PLATE (1) AT 6" AND (1) AT 10" FROM THE END OF THE PLATE.
9. WEDGE ANCHORS: INSTALL WEDGE ANCHORS AS NOTED ON THE PLANS. REFER TO THE SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. AT LEAST ONE ANCHOR SHALL BE INSTALLED WITHIN 12" OF EACH END OF EACH PLATE, WITH NO LESS THAN (2) BOLT PER PLATE 12" OR LONGER. WEDGE ANCHORS ARE FOR INTERIOR USE ONLY.
10. HOLDINGS: REFERENCE THE FRAMING AND ARCHITECTURAL FLOOR PLANS FOR LOCATING. REFER TO DETAILS SD01.1 AND 14SD1.1. IF EMBEDDED HOLDINGS ARE MISSED OR ERRONEOUSLY LOCATED, REFER TO DETAIL 24SD1.1 FOR RETROFIT DETAIL.
11. FLOOR AND GARAGE FLOOR SHALL BE A MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER 4" MINIMUM PLATE COMPACTED A.B.C. FILL OVER TYPICAL TREATED NATURAL GRADE OR ENGINEER CERTIFIED COMPACTED PAD UNLESS IN PROJECT SOILS REPORT. STEEL REINFORCING IS NOT REQUIRED. PROVIDE CONTROL JOINTS AS SPECIFIED BY THE ARCHITECT AND REFER TO DETAIL 22SD1.0.
12. EXTERIOR BLAS (FOR BACK) MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER TYPICAL TREATED NATURAL GRADE OR ENGINEER CERTIFIED COMPACTED PAD UNLESS IN PROJECT SOILS REPORT. STEEL REINFORCING IS NOT REQUIRED. PROVIDE CONTROL JOINTS AS SPECIFIED BY THE ARCHITECT AND REFER TO DETAIL 22SD1.0.

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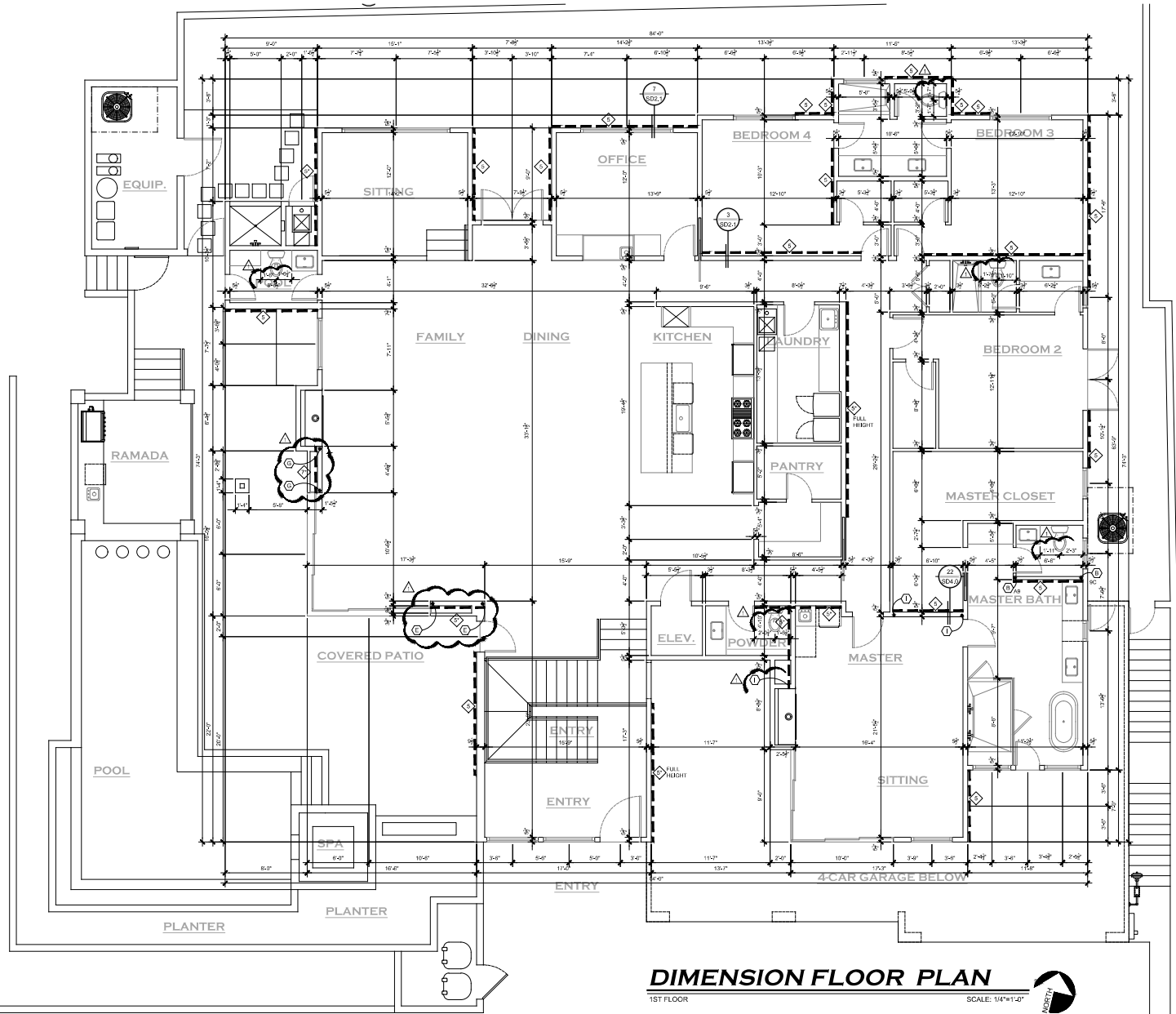
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DIMENSION FLOOR PLAN
1ST FLOOR
SCALE: 1/4"=1'-0"
NORTH

REVISIONS	
1	COS 2/28/24
The Designer hereby represents and warrants to the Client that the information contained herein is true and correct to the best of his knowledge and belief. The Client acknowledges that the information contained herein is for informational purposes only and is not to be used for any other purpose. The Client agrees to hold the Designer harmless from and against all claims, damages, losses, and expenses, including reasonable attorneys' fees, that may be asserted against the Designer by any third party arising out of or from the use of the information contained herein.	
THE DRAFTERY RESIDENTIAL DESIGN 10000 N. HANCOCK AVE. SUITE 100, SCOTTSDALE, AZ 85259 P: 480.480.8888 E: info@thedraftery.com	
KUBITZ RESIDENCE LOT 11 OF HIDDEN HILLS 14382 EAST COYOTE ROAD SCOTTSDALE, ARIZONA 85259	
SHEET TITLE: DIMENSION FLOOR PLAN - 1ST FLOOR	
PRINT DATE:	3-29-2024
JOB NO.:	217-67-111
DRAWN BY:	PT
CHECKED BY:	TEAM
SCALE:	1/4"=1'-0"
SHEET NUMBER:	
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COS PLAN CHECK 8/14/24	



COS PLAN CHECK #140-24