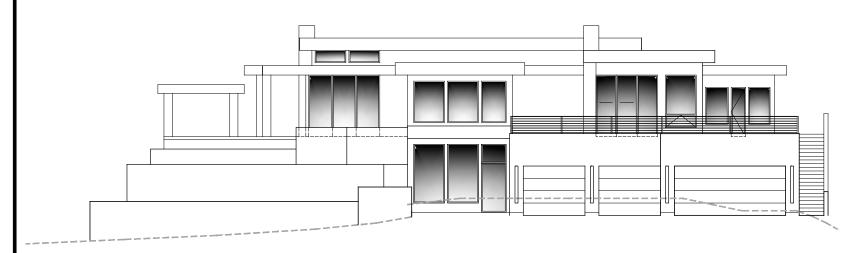
KUBITZ RESIDENCE

LOT 11 OF HIDDEN HILLS PARCEL B



PROJECT ADDRESS: 14352 EAST COYOTE ROAD

PROJECT TEAM

DRAFTSMAN: THE DRAFTERY PATRICK TIPTON 905 N ROOSEVELT CIR

SCOTTSDALE, AZ 85257 480-639-0662 STRUCTURAL ENGINEER: WILLIS ENGINEERING

CIVIL ENGINEER: ERIE AND ASSOCIATES, INC. LEN ERIE, P.E. 3120 N 24TH STREET PHOENIX, ARIZONA 85016 602-954-6399

ADAM VICKERS SCOTTSDALE, AZ 85257 602-703-4104

CONTRACTOR: MCINTYRE DEVELOPMENT LLC DAN MCINTYRE4545 N. 36TH ST. STE 208 PHOENIX, AZ 85018 602-486-8991

NATIVE PLANT INVENTORY: NATIVE RESOURCES INTL. 1540 W. HAPPY VALLEY RD. PHOENIX, AZ 85027 623-869-6757

CENERAL NOTES, MATERIAL SPECIFICATIONS ORADING AND DRAINAGE PLAN - PLAN ORADING AND DRAINAGE PLAN - PLAN ARCHITECTURAL STEE CLAN - PLAN BANDE PLAN - PLA

PROJECT NO .: 217-67-111

PLAN CHECK NO .: 140-24

PRINT DATE: 3-28-2024 CITY



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GENERAL REQUIREMENTS

- CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION AND INSURANCE RECESSARY TO PROPERLY EXECUTE AND COMPLETE THE WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.
- CONTRACTOR IS TO PROTECT ALL PROPERTY AND THE WORK OF ALL OTHER TRADES
 AGAINST INJURY CAUSED BY HIS ACTIVITIES AND THE ACTIVITIES OF HIS SUBCONTRACTORS
- VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING THE WORK, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES.
- VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS, INCLUDING BUT NOT LIMITED TO MATIVE PLANS, UTILITY TAPS, INVERT ELEVATIONS, PAVEMENT CURBS, ROCK OUT-CROPPINGS AND WASHES.
- EACH CONTRACTOR SHALL ESTABLISH AND VERIFY ALL OPENINGS AND INVERTS FOR MECHANICAL, ELECTRICAL AND PLUMBING WITH APPROPRIATE TRADES' DRAWINGS.
- ALL INDICATED UTILITY AND STUB-UP LOCATIONS ARE FOR REFERENCE ONLY. EXACT LOCATIONS SHALL BE VERIFIED IN THE FIELD, PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INSTALLATION REQUIREMENTS
 FOR ALL BUILT-IN APPLIANCES, FIXTURES AND EQUIPMENT, VERIFY EXACT ROUGHIN
 DIMPRIONS AND INITIATY ARCHITECT OF ANY DISPREMANCES PRIOR TO ROUGH FRAME
- . MECHANICAL DRAWINGS ARE A SCHEMATIC QUIDE FOR THE LOCATIONS OF EQUIPMENT, DUCTIVORS AND GRILLES, CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIRAL DESIGN OF THE MICHANICAL SYSTEMS AND DETAINING THE EXAMPLES SEE AND INSTALLATION REQUIREMENTS OF ALL EQUIPMENT AND DUCTAGRAF PRIOR TO ROUGH FRAME, MOTHEY THE ARCHITECT OR ANY CONTUCTS.
- MICHIEL DI ANY COMMUNIA, ETINCIUNA, AND LANCIONE DIVINING AND

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- OPTIONS ARE FOR EACH CONTRACTOR'S CONVENIENCE. HE SHALL BE RESPONSIBLE FOR
 ALL CHANGES NECESSARY IF HE CHOOSES AN OPTION AND SHALL COORDINATE ALL DETAILS.
 THE COST OF ADITIONAL DESIGN WORK NECESSARY BY SELECTION OF AN OPTION SHALL BE
 BORNE BY THE RESPECTIVE CONTRACTOR.
- 11. THE COST OF ADDITIONAL DESIGN WORK DUE TO ERRORS OR OMISSIONS IN CONSTRUCTION SHALL BE BORNE BY THE DESPECTIVE CONTRACTOR
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL AND SIGNATURE OF AN ENGINEER REGISTERED IN ARIZONA.
- DETAILS ON THE STRUCTURAL DRAWINGS ARE TYPICAL. VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
- . DIVENSIONS ON THE STRUCTURAL DRAWINGS ARE EXACT WITH THE EXCEPTION OF MASONRY AND SAWN LUMBER DIMENSIONS WHICH ARE NOMINAL. VERIFY ALL DIMENSIONS WITH THE ACCOMPANDATION DRAWINGS.
- 19. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK AND SHALL BE CLARIFIED WITH THE ARCHITECT.
- 16. CONTRACTOR TO BE RESPONSIBLE FOR CHECKING STRUCTURAL CALCULATIONS FOR SPECIFIC REQUIREMENTS OF STRUCTURAL CONNECTIONS. SUBMIT WOOD TRUSS CALCULATIONS AND SHIP DEVANTAS OF ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL FARBOCKTIONS BEFORE COMMENCING FARBOCKTION.
- ITEMS SPECIFIED ON PLANS REPRESENT THE TYPE AND QUALITY REQUIRED, SUBSTITUTION OF "COMPARABLE" ITEMS WILL BE PERMITTED UPON REVIEW BY THE ARCHITECT.
- ALL FOR EQUAL SUBSTITUTIONS MUST BE SUBMITTED TO AND APPROVED BY THE CITY BULDING OFFICIAL PRIOR TO INSTALLATION OF FIRM. PRODUCT SUBSTITUTION(S) FOR ICC-BS LISTED PRODUCTS(S) SHALL ALSO HAVE ICC-SS APPROVED EVALUATION REPORTS OR RE APPROVED AND LISTED BY OTHER NATIONALLY RECOGNZED TESTING AGREED.
- CONTRACTOR SHALL, AT THE END OF EACH WORKING DAY, CLEAN AND CLEAR THE AREA OF ALL DEBRIS OR MAY OTHER MATTER CAUSED BY HIS OPERATION.
- 20. THE OWNER RESERVES THE RIGHT TO CHANGE, INCREASE OR REDUCE THE WORK AS MAY BE NECESSARY.
- 21. CONTRACTOR SHALL NOT MAKE CHANGES OR DO EXTRA WORK WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGNER.
- THE DRAFTERY SHALL IN NO WAY BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBLITY UNDER THE CONTRACTOR CONSTRUCTION.
- EACH CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING, SHORING, GUYING OR OTHER MILANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS ASSOCIATED WITH WORK, IN PLACE, DURING CONSTRUCTION.
- 24. PROVIDE PORTABLE FIRE EXTINGUISHERS DURING CONSTRUCTION AS REQUIRED BY CODE
- SPRINNLER SYSTEM: INSTALL LIGHT DUTY FAST RESPONSE RESIDENTIAL SPRINKLER SYSTEM TO MEET THE REQUIREMENTS OF CITY OF SCOTTSDALE FIRE DEPARTMENT, SHOP DRAWINGS MUST DE APPROVED BEFORE INSTALLATION.
- 26. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF ALL CURRENT APPLICABLE BULLEING CODES AND ENPORCEMENT AGENCIES, FER MASSHALL OR ANY OTHER BULLEING CODES AND ENPORCEMENT AGENCIES, FER MASSHALL OR ANY OTHER DISCOUNT CODE INFORCEMENT OFFICER AT MO EXTRA COST TO THE OWNER, NOTHY THE ARCHITECT IN WINTING OF ANY DISCREPANCIES PRICE TO SUBMITTED THE BIDS EXTER PROJECT.
- 27. BUILDING CODES: ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCE:
 - 2021 INTERNATIONAL BUILDING CODE (BIC)
 2021 INTERNATIONAL RESIDENTIAL CODE (BIC)
 2021 INTERNATIONAL RESIDENTIAL CODE (BIC)
 2021 INTERNATIONAL FIRE CODE (FIC)
 2021 INTERNATIONAL FIRE CODE (FIC)
 2021 INTERNATIONAL FIRE CODE (BIC)
 2020 NATIONAL ELECTRIC CODE (BIC)
 2020 NATIONAL ELECTRIC CODE (BIC)
 2021 INTERNATIONAL PLUMBING CODE (BIC)
- 28. ALL PRODUCTS LISTED BY ICCESINER, NUMBERS SHALL BE INSTALLED PER THE REPOR AND MANUFACTURING WRITTEN INSTRUCTIONS. PRODUCT SUBSTITUTIONS; FOR PRODUCTIS; LISTED SHALL ALSO HAVE ICCES APPROVED EVALUATION REPORTS OR BE APPROVED AND INSTED BY OTHER NATIONALLY RECOGNAZED TESTING AGENCES.

GENERAL NOTES

- SIGNS OFFICIALS.

 PRODUCTS OF COMMUNITY OFFICIALS (S.D.) ARE REQUIRED AT WALL OR CREING OF CORRESPOND OF ROOMS. ALL SLT TO REPRESENDED FOR PROCESS OF SUBPRISE ROOMS. ALL SLT TO REPRESENDED FOR THE PROCESS OF SUBPRISE ROOMS. ALL SLT TO REPRESENDED FOR THE PROCESS OF SUBPRISE ROOMS. AND SUBPRISE ROOMS.
- GLISS NOTE
 GLATER TREQUISED TO COMPLY WITH CHAPTER 24, 2015 I.B.C. ALL LIFES IN FRENCH DOORS
 TO BE TEMPERED. ALL CLASS IN DOORS AND ADJUSTICATION PROCESS THAN ZE RADJUS
 FROM JANG TO BE TEMPERED. ALL GLASS DOOR AND BELLO SIPES FOR BATTHUSE AND
 SHOWERS WITH GLISL ELSS THAN DY ADJUST THE CHOOK AND DYNAIN BET SHALL BE
 TEMPERED. ALL CLASS THINN BY ADJUST THE AUGUST AND DYNAIN BET SHALL BE
 TEMPERED. ALL CLASS THINN BY ADJUST THE AUGUST AND DEPARTS HALL BE TEMPERED.
- A TIME
 THE STATE OF THE STATE

- DRYWALL SHALL BE ATTACHED TO SUPPORTS SPACED MAXIMUM OF 16" O.C. AND LL BE SCREW ANCHORED. 4. FNISHES
- SHALL BE SCREW ANDRORED.

 ALL EXPOSED ROUGH SAWN LUMBER SHALL BE "LIFETIME" TREATED TO PREVENT CHECKING, SPLITTING, TWISTING, WARPING, ETC, AFTER INSTALLATION.

 ALL WALLS WITH DOORS TO BE MINIMUM OF 246 STUD WALL UNLESS NOTED OTHERWISE. RACIUS WALL FINISH INTO DOOR FRAME. NO WOOD TRIM OR CASING.

- HARDWARE:
 A ALL ENTS TO BE OPERABLE FROM THE INSIDE WITHOUT USE OF KEY OF SPECIAL. KNOWLEDGE.
 MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
- OR-CEILING ASSEMBLIES WITH A CONCEALED SPACE IN EXCESS OF 1000 SQUARE FEET LIHAVE DRAFT STORS INSTALLED THAT DIVIDE THE CONCEALED SPACE INTO NORMATELY EQUAL AREAS AS PER CHAPTER 7, SECTION 717, 2012, ISC.
- REGISTERS, DIFFUSERS AND GRILLES SHALL BE MECHANICALLY FASTENED TO RIGHD SUPPORTS OR STRUCTURAL MEMBERS ON AT LEAST TWO OPPOSITE SIDES IN ADDITION TO BEING CONNECTED TO THE DUTTWORK THEY SERVE.
- 8. ALL FIXED APPLIANCES SHALL BE SECURELY FASTENED IN PLACE.
- FORCED AIR FURNACES SHALL HAVE MINIMUM 8" CLEARANCE ON SIDES AND BACK OF UNIT AND 8" CLEARANCE FROM FRONT OF EQUIPMENT TO COMBUSTION AIR INTAKE.
- PROVIDE 16" PLATFORM UNDER ALL AZCUM IS. LINE INTERIOR WITH INSULATION BOARD. FINISH EXTERIOR WITH GALVANIZED SHEET METAL.

- 75. NATION, ASS
 A FRANCE SAY TO ALL FIRMACES OFFRES, RANGE, AND WATER HEATER,
 B. NOT PRINTED URDER STRUCTURES.
 B. NOT PRINTED URDER STRUCTURES.
 B. NEARL CORNER TO SAY 10 (A. TON MICHINALS, INSTALLATION AND TESTING,
 D. SHALL CORNER TO SAY 10 (A. TON MICHINALS, INSTALLATION AND TESTING,
 E. WHIST PEACE TASK DERINANCO FAIL DEPTIMESE SPORT TO SETUM AND NETAL, ATTON
 F. FILL OF A STRUCTURE SAY THE SAY TO AN OFFICE COMMUNICATIVE VERSIONS OF JOINT,
 URDER, PROFUGIES OF OR BLICTHEAU, ENTET PRINTED URSED FOR GAS WATER HEATER,
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- 27. WINTER-CATEER AND BE FROM INTERCLED.

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 THE PROPRIES AND THE SHALL BE SOMED AND DEPOTED AND THE SHALL DAW.

 FOR THE PROPRIES AND THE SHALL BE SHALL
- 24. VENTING:

 A RECORD APPLIANCES, WHICH NOTALED IN TOHT SPACES, SHALL SE PROMISED NITHCOMMISSION AN WARTS, SIZED I SQUARE INCH PRE RACH FOR DIT IN WITH AMANUM
 SIZE OF THE SQUARE INCHES, EACH, PLACED HILD IN DOORS AND WALLS, UNLESS
 MOTED OTHERWISE.

- 28. FALLINESS (PARTIES)

 A WATER CLOSETS FARLETS FOR CAREEVATION REGISTERATES 2018 BIC

 COMEN YMM THE FOLLINESS CONSERVATION REGISTERATES 2018 BIC

 CONSERVED TO THE PARTIES FOR CAREEVA FOR THE PARTIES AND THE PARTIES FOR CAREEVA FOR FOR FOR FOR CAREEVA FOR FOR CARE

PLUMBING CLEAN OUTS: LOCATED IN INCONSPICTIONS AREAS OR AS APPROVED BY ARCHITECT, PROVIDE METAL FACE PLATE WHEN LOCATED IN WALL. FINISH AS SELECTED.

SOLDERS AND FLUX HAVING A LEAD CONTENT IN EXCESS OF 2'S OF ONE PERCENT SHALL NO BE USED IN THE INSTALLATION OR REPAIR OF ANY PLUMENO IN RESIDENTIAL OR NOVES-SENTIAL FACILITIES PROVIDING WATER FOR HUMAN CONSUMPTION.

MATERIAL SPECIFICATIONS

- EXPOSED CONCRETE:
 EXTERIOR EXPOSED CONCRETE SIDEWALKS, PATIOS AND DRIVES TO BE INTEGRAL
 COLORED CONCRETE, COLOR TO BE ONE OF THE COLORS APPROVED BY THE DESIGN
 REMEW COMMITTEE AND CHOSEN BY DYWER AND CR ARCHITECT. BUSH AS INDICATED
- ARTHROOGNITTE AND CHOICE IS OWNER AND CARGOTTE. THE HE ARE DOUBLE.

 AND THE PROOFINE.

 AN
- STUCCOPRAME:

 "SAN KOTE PREMIUM STUCCO WALL SYSTEM, ESR-2729 OR EQUAL WITH DRYVIT FIMSH

 "DAY ALL CHAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURERS
- GALANCIP REGILLAL TICCO VALLE VENTEL ERE ATTO OR EXCIT OF THE PROPERTY OF THE
- ILLATH: I 20 GA, x 1° GALVANIZED STEEL WOVEN WIRE FABRIC BY K-LATH, ASTM A641-82 OR EQUAL

- STUCCOCMU.

 122 GLASS REINFORCED POLYMER MODIFIED STUCCO USING #20 SILICA SAND ON C.M.U.
 FINISH AS SELECTED, COLOR AS SELECTED, APPLIED BY PARTER.
- CONCRETE MASONRY UNIT (C.M.U.): SEE GENERAL NOTES.
- SET USERION AUTON.

 THE STATE OF THE SET OF
- CYPSUM BOARD: 1/2" AT ALL WALLS AND CEILINGS, UNLESS NOTED OTHERWISE.
- MCISTURE RESISTANT GYPSUM BOARD AND CEMENT BOARD.
 U.S. GYPSUM BOARD, IER RED OR APPROVID EQUAL. NETALL BUHND ALL THOS SET
 CERAINCT TIE. CEMENT BOARD SHALL BE U.S. GYPSUM "DURDOK" TLE BACKER BOARD
 NEW 259 OR EQUAL. INSTALL CEMENT BOARD BEHND ALL THIS SET CERAINCT TLE.
- INSULATEN!
 FIBERGLASS BATTS, R-38 AT ROOFS, R-21 AT EXTERIOR FRAME WALLS, R-13 AT 244 FLRRED
 GMU, WALLS, R-13 AT GARAGE WALLS, R-22 AT FLOORS AND GARAGE ROOF, R-7 AT 242
 FLURED C MJ, WALLS. UNDICOUTED CALU, WALLS SHALL BE FLIED INTIPL ZOON,
 WILLIAM FLIED OF MICHAEL SHALL BE FLIED INTIPL ZOON,
 WILLIAM FLIED OF APAGE WALLS AND CELLING, WET CRELILLOGS AT ALL INTERIOR WALLS.
- ASPHALT SHINGLE ROOFING
- PLYWOOD:
 595" TAG, CDX PLYWOOD AT ROOFS. 395" CDX PLYWOOD AT WALLS. SEE GENERAL STRUCTURAL NOTES.

RESIDENTIAL NOTES

- *Doors and windows shall be securated from the swimming pool/saa, by an approved pool barrier. IPSC 305.4.
- gal/minute; Shower heads: 2.0 gal/minute; Kitchen faucet: 1.8 gal/minute; water closets: 1.28 gal/flush. (Table
- 3. *A demand-controlled hot water circulation system shall be provided in accordance with Section NI.103.5.1.1
- a metode. "A Cooking the reflective control mode. Not solar reflective card the read emistance for not slopes less than 2.12. There year ages of solar reflectives roles (5)(6) of 64. There year ages of solar reflectives of 65.55 and of there year ages of the reflectives of 65.55 and of there year ages of the reflectives of 55.55 and of the region of the reflective of 65.55 and of 65.55 are consisted years. A consistence of 65.55 and of 65.55 are consistence of 65.55 are consis
- Prescriptive maximum Window Fenestration values: (U-Factor=0.40) / (SHGC=0.25) 6. *Exterior lighting over 30 watts shall include an automatic shut-off. (N1104.3).
- dy installed lighting fixtures shall contain only high-efficacy lamps. (N1104.1). All permanenty installed interior lighting finitures shall be controlled with either a dimmer, an occupant
 sensor control or other control such as an automatic timer shall-off switch. Exceptions include but recome and
 halways, INLIGIA 2).

- In Meno, ISIA 2.

 **PERSOS Stay promotion, An electrical or siciliary grans and two den'ty during with could be prescribed with a superprocession. As electrical or siciliary superprocession of the procession of
- personation series small segments on roots with a signe or a number of ress.

 12. "The following three notes are applicable to the Construction only IRP certified professionals are approved for testing air leakage in existing buildings, otherwise RESNET professionals are approved for new and
- approach in vising of includes in exting 4.4 Markey, sharped in TORAL production in an approach for in an atproach and the production of the size of

- A written report of the results shall be signed by the party conducting the test and provided to the code official prior to the Final Building Inspection.
- All products listed by an Evaluation Service Report (ESR) shall be installed per the report and the manufactures written instructions. Product substitutions shall also be listed by an ESR.
- 14. Provide Fire Sprinkler System per Scottsdale Fire Code (IRC R313 amended).
- 15. Sessarate permits required pools, soas fences site walls, retaining walls, and gas storage tanks Foundation & Footing depth shall be a minimum of 18 inches below grade (or per property soil report), provide a minimum of 3-nch clearance between Rebar and soil. (R408.1 amended).
- 17. Doors between the parage and residence shall be self-closing minimum 1,3/87 thick solid core or 20-minute
- fire rated. (R302.5.1).
- Wood sill plates shall be pressure treated or decay resistant. Exterior sill plates shall bear a minimum of 6 inches above firish grade. (R317.1).
- In Commission of the Commis 20. Showers and tub shower combinations shall be provided with individual control valves of the pressur
- balance or thermostatic mining value type. (P2708.4). were not or memoracy many area (pp. 1208.4).

 1. Senior area with all be forblood with a month, that so evolutionist raffice, such as cerenic file, to a height of not less than 12 inches above the drain rafes. Cerent, filter cerent, or glass and apparen backers raticled in accordance with mentalizations of some many and backers for wait life in this and downer wasts andered parties in how are waste. (2012.42).
- Storage tank type water heaters shall be installed with a drain pan and drain line. (P2801.6).

recirculated, or discharged indoors, IM1505.4.4 amendedi.

- 23. Provide roof/attic ventilation unless insulation is applied directly to underside of the roof-sheathing, or the depth is 24 inches or less between the ceiling and bottom of roof sheathing, (8906.1 Amended).
- 24. Provide Minimum R-3 insulation on hot water pipes. (N1103.5.2).
- 25. Supply and return ducts located outside conditioned space shall be insulated to a minimum R-8. Ducts and air handlers located completely within the continuous air barrier and within the building thermal envelope a enempt from insulation. (NI103.3.1 and NI103.3.2).
- 26. Exhaust air from kitchens, buthrooms and toilet rooms shall be exhausted directly to the outsions, no Eshaust fans in bathrooms with a shower or tub shall be provided with a delay timer or humid by/condensation control sensor. Exhaust fans shall be switched separately from light
- 28. Provide a wall mounted GFCI protected receptable outlet within 35° of a both norm or powder room lawtony.
 [E3901.5].
- 29. Receptacles serving litchen countertops installed in bathrooms, garages, unfinished accessory buildings,
- outdoors and located within 6 feet of sinks shall have GFOI protection for personnel. (E3902) All branch in decided that supply 15- and 20-empires coalities installed in kitches; family coons, paring scores, listing coons, parion, libraries, dens, bedrooms, sumcoons, recreations recors, closest, hallways, bundry areas and similar record or areas shall be protected by a combination type and fault circuit interruptor (ARCI) installed to consider control of the heavile config. ISSPAD 171.
- to provide protection of the branch circuit. (E3907.12). 31. General purpose 15- and 30-ampere receptacles shall be listed tamper-resistant. (£4002.14)
- 32. Provide interconnected and hardwired Smoke Alarms in new and existing areas of home. (8314)
- 33. Approved Carbon Monoeide Alanns, hardwired and interconnected, shall be installed outside of each separate sleeping area in the intraeciste vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (R315).

- 34. Recessed luminaires installed in the building thermal envelope shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm. All recessed luminaires shall be sealed with a gasket or caulk betwee housing and the interior wall or ceiling covering. (N1102.4.5).
- 25. Donaido Eleminatina with unil purishor for stainanas when there are 6 or more ciner (2012.7)
- 37. Provide a minimum of two 20-emp small appliance branch circuits for the kitchen/dining/breakfast. [E3703.7].
- 38 Provide outside combustion air to all indeer fireplaces per manufactures specifications. (8.1006.1). 39. At least one thermostat shall be provided for each separate heating and cooling system. [N1103.1]

26. Recognized outlies shall be installed on that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from an outlet in that space, including any wall space 2 feet or more in width. [E3901.2] 444444

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RESIDENCE
HIDDEN HILLS
ST COYOTE ROAD
ALE, ARIZONA 85259 KUBITZ J LOT 11 OF J

3-28-2024 217-67-111 PT CHECKED BY:

TEAM

GN OS PLAN CHECK #140-2

SCALE: NTS

E.S.L.O. BUILDING AND DEVELOPMENT NOTES

- MIRRORED SURFACES OR ANY TREATMENTS WHICH CHANGE ORDINARY GLASS INTO A MIRRORED SURFACE ARE PROHIBITED.
- SURFACE ARE PROHIBITED.

 REFLECTIVE BUILDING AND ROOFING MATERIALS (OTHER THAN WINDOWS AND SOLAR PANELS)
 INCLUDING MATERIALS WITH HIGH GLOSS FINISHES AND BRIGHT, UNTARNISHED COPPER,
 ALUMINUM, GALVANIZED STEEL OR OTHER METALLIC SURFACES, SHALL BE TEXTURED OR HAVE A
 MATE OR NON-REFLECTIVE SURFACE TREATMENT TO REDUCE THE METELECTIONS OF SUNLIGHT

- THE OF THE STATE O

- THERTY-PINE PERCENT.

 IN CETTEROR PAINT AND IMPERIAL COLORS SHALL NOT EXCEED A VALUE OF SIX (6) AND A CHROMA OF SIX (6) AND INDICATED IN THE MUNESLL BOOK OF COLOR ON FILE IN THE PLANNING OF SIX (6) AND THE PLANNING OF SIX (6) AND THE SIX PAINT AN
- (.)).

 TURF SHALL BE LIMITED TO ENCLOSED AREAS NOT VISIBLE OFFSITE FROM LOWER ELEVATION, OUTDOOR RECREATION FACULTIES, INCLUDING PARKS AND GOLD COURSES, SHALL BE EXEMPT ALL COURSESTS, APPLIES BY TO MOREGROUND, FACULTIES, SUPPLY SUPPLY TRANSFORMERS, PULL BOXES, PEDESTAL CABRIES, SERVICE TERMINALS OR OTHER SMILLAR ON-THE-GROUND FACULTIES, SHALL BE PAINTED COLORS WITH A LEV OF LESS THAN ON-THE-GROUND FACULTIES, SHALL BE PAINTED COLORS WITH A LEV OF LESS THAN OF THE STATEMENT OF TH
- ON-THE-GROUND PACILITIES, SHALL BE PAINTED COLORS WITH A LIVE OF LESS THAN ANY PROPOSED MODIFICATIONS TO NATURAL WRITEROURSES AND ALL WALL AND FENCES CROSSING NATURAL WRITEROURSES SHALL BE DESIGNED IN ACCORDANCE WITH THE STANDARDS AND POLICES SECRETED IN CHAPTER 37 (DRAWNER AND FLODEWIN REDMANCE) OF THE CITY BUILDING ELEVATION HOT TO EXCEED 24' MEASURED ABOVE PRE-CONSTRUCTION MATURAL GRADE.
- CONSTRUCTION NATURAL GRADE.

 ALL MECHANICS, EQUIPMENT (AR CONDITIONER, POOL EQUIP, ETC.) SHALL BE SCREENED A
 MINIMUM OF I'ABOVE THE HIGHEST PORTION OF THE EQUIPMENT FROM ALL SIDES AND SHALL
 BE COMPARIBLE WITH THE ADJACENT BUILDING. SHOW THE LOCATION OF EQUIPMENT ON THIS
 SITE PUAN.

- BE COMPATIBLE WITH THE ASSACENT BUILDING. SHOW THE LOCATION OF EQUIPMENT ON THIS SITE PLAN.

 SERVICES (WATER & SEWER) ARE EXISTING.

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 SERVICES (WATER & SEWER) ARE EXISTING.

 SERVICES (WATER & SEWER) ARE EXISTING.

 FOOL REQUIRES SEPERATE APPROVAL AND PERMIT.

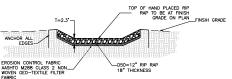
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 OF THE SERVICE SEPERATE APPROVAL AND PERMIT.

 OF COLSTANT AND SEPERATE SERVICE SERVICE SERVICE SERVICE SERVICE SERVICE SERVICE OF N.O.S. SEEMIC CORRODORS, OR ON THE ADMACENT UAND. S. A QUESTHOUSE SHALL NOT EXCEED A GROSS FOOLING SERVICE THAN SOZ OF THE FOOTPRINT SERVICE THAN SOZ OF THE SERVICE SERVICE THAN SOZ OF THE SERVICE SERVICE

- MEASURED FROM THE NEAREST ADJACENT GROSE TO THE TOP OF THE FIXTURE(LOWER HEIGHTS WHERE ON-SITE WALLS ARE PLACED ADJACENT TO MOSS AREAS AT LEAST SO PERCENT OF THE WHERE ON-SITE WALLS ARE PLACED ADJACENT TO MOSS AREAS AT LEAST SO PERCENT OF THE THEOPERMY SECURITY FENONED THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE, AND THE DESIGN STANDARDS AND POLICY MANUAL. IN ACCORDANCE WITH THE ZONING ORDINANCE, ARE GESTERED SUMPOR SHALL STAKE AND ROPE THE MOST RESTORMED THE CONSTRUCTION ENGLISHED AND MOST OFFICE AND MOST OFFICE AND THE MOST RESTORMED AND ADDITIONAL STANDARD S





HAND PLACED RIP-RAP DETAIL

TOP OF GROUTED RIP RAP - TO BE AT FINISH GRADE ON PLAN _FINSIH GRADE " CEMENT SLURRY (2000 PSI)

GROUTED RIP-RAP DETAIL

FLOOD INSURANCE RATE MAP (FIRM)

COMMUNITY # 045012	PANEL # 1785 OF 4425	SUFFIX L	BASE FLOOD ELEVATION	DATE OF FIRM (INDEX DATE)
MAP # 04013C	PANEL DATE 10/16/2013	ZONE X*	N/A	07/20/2021

HIDDEN HILLS PARCEL B - LOT 11

A SUBDIVISION RECORDED IN BOOK 511 OF MAPS, PAGE 33, M.C.R., PORTION OF THE SE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 19, T.3N. R.6E OF THE GILA & SALT RIVER BASE AND MERIDIAN. **MARICOPA COUNTY, ARIZONA**

GRADE TO DRAIL

90.25c

--@--11

P

TRACT B

-1915-N81*29'31"E (M&R)

ORIM OF -

02.50C

COYOTE ROAD

90.25C

8°PVC - EXIST. SSMH RIM=1875.85

EX. GRADE

LF88=1890,75



CONSTRUCTION NOTES

- INSTALL 140 L.F. OF 1.25" DISTRIBUTION SERVICE LINE TO HOUSE FROM WATER METER.
- ② INSTALL 4" SEWER SERVICE. CONNECT TO EXISTING SEWER STUB.
- (3) INSTALL 24" CORRUGATED PE PIPE CULVERT. LENGTH PER PLAN. PROVIDE 1' MIN COVER OVER TOP OF PIPES.
- (4) INSTALL U-TYPE HEADWALL PER MAG STD. DTL. 501-1. CONCRETE HEADWALL TO EXTEND 1' BELOW CULVERT INLET/OUTLET FOR SCOUR PROTECTION.
- (3) INSTALL RETAINING WALLS AND STEM WALLS PER GRADES ON SHEET 2. ALL EXTERIOR RETAINING/STEM WALLS WILL REQUIRE UQUID WATERPROOFING MEMBRAN FOR SEEPAGE MITIGATION. REFER TO DETAILS 28/SDS.0 8/SDS.0 AND 18/SDS.0 IN THE GUIDINO PLANS STORM

- ① INSTALL D50=6" GROUTED RIP RAP OVER AASHTO M288
 CLASS 2 NON WOVEN GEO-TEXTILE FILTER FABRIC.
 APRON THICKNESS = 1.15'
 APRON LENGTH = 16'
 APRON WIDTH UPSTREAM = 6'
 APRON WIDTH DOWNSTREAM = 13.33'
- INSTALL DROP STRUCTURE WITH BOTTOM GRADE

 (1990.00) I POOT BELOW THE CULVERT INVERT

 (1991.00) FON SEDMENT THEP. TOP OF RETAINING WALL

 (1991.00) FON SEDMENT THEP. TOP OF RETAINING WALL

 (1991.00) FON SEDMENT THEP. TOP OF SETAINING WALL

 FROM SETAIN DROP STRUCTURE TO BE MAINTAINED MUD

 CLEANED OUT OF DEBRIS AFTER EACH STORM TO

 ENSURE THE OUTLETF DOES NOT GET CLOGGED.
- (1) INSTALL 1" WATER METER IN EX. SERVICE BOX IF NOT ALREADY EXISTING, CONTRACTOR TO VERIFY.
- INSTALL 16' CONCRETE DRIVEWAY CAPABLE OF SUPPORTING 83.000 POUNDS.

SQUARE FOOTAGE CALCS. NON-LIVABLE RAMADA PATIO: 168 S.F. 598 S.F. TOTAL 2.139 S.F TOTAL UNDER ROOF 6.234 S.F

LOT 11, HIDDEN HILLS PARCEL B, ACCORDING TO BOOK 511 OF MAPS, PAGE 23, RECORDS OF MARICOPA COUNTY, ARIZONA. SALVAGE CONTRACTOR TREE RELOCATORS, INC. 6502 N. 81ST PLACE SCOTTSDALE, ARIZONA 85250 PHONE: (480) 947-6118 **ENGINEERS CERTIFICATION** THE LOWEST FLOOR ELEVATION ON THIS PLAN ARE SUFFICIENTLY HIGH TO PROVIDE PROTECTION FROM FLOODING CAUSED BY THE 100 YEAR STORM, AND ARE IN ACCORDANCE WITH CITY OF SCOTTSDALE REVISED CODE, CHAPTER 37, FLOODWAYS FLOOD PLAIN ORDINANCE.

VICINITY MAP

OWNER

KUBITZ PETER/LISA PO BOX 27812 SCOTTSDALE AZ 85255

SITE DATA

APN: 217-67-111 AREA = 27,306 S.F. = 0.6268 AC. ZONING: R1-43 ESL

ESL LANDFORM AREA: HILLSIDE

FOUND 1/2" REBAR WITH 1" PLASTIC CAP, 0.25' UP, STAMPED "TABOR 19857", HAVING AN ELEVATION OF 1767.226, NAVD88 DATUM, GDACS#26965-T1. (MCDOT)

I HEREBY CERTIFY THAT ALL ELEVATIONS
PRESENTED ON THIS PLAN ARE BASED ON
NAVD-1988 AND MEET THE FEMA
BENCHMARK MAINTENANCE (BMM) CRITERIA.

LEGAL DESCRIPTION

BUILDING SETBACK LINES: FRONT: 30' SIDES: 15' BACK: 30'

BENCHMARK

Call SET or ollok Rel

CONSULTING MESA, ARIZONA 85206
PHONE (480) 844-1666
ENGINEERS, INC. E-MAIL: acceptable a

APN #217-67-111 14352 E. COYOTE ROAD SCOTTSDALE, ARIZONA 85259

GRADING AND DRAINAGE PLAN JOB NUMBER
DRAWING SHEET



(8) INSTALL D50=12" HAND PLACED RIP RAP OVER AASHTO M288 CLASS 2 NON WOVEN GEO-TEXTILE FILTER

- FABRIC.

 APRON THICKNESS = 2.3'

 APRON LENGTH = 11'

 APRON WIDTH UPSTREAM = 13.33'

 APRON WIDTH DOWNSTREAM = 6'

- INSTALL CATCH BASIN WITH 40 LF OF 8" HDPE STORM
 DRAIN TO DRAIN THE BACKYARD AREA. PROVIDE 1' MIN
 COVER OVER TOP OF PIPES.
- (12) INSTALL MAG 537 CATCH BASIN WITH MAG 539 GRATE AT AN ELEVATION OF 1998.00.



PLAN

PROJECT



SCOTTSDALE FIRE LINE ACCESS REQUIREMENTS

FOUND REBAR WITH CAP RLS#41076

CREATE SWALE TO DIVERT.
SHEET FLOW AROUND THE
RETAINING WALL.

LEGEND

S SEWER MANHOLE

RRASS CAP

CATCH BASIN

W WATER METER

RIP-RAP

PAVERS

WALL 24" CULVERT

- DRAINAGE ARROW BSL BUILDING SETBACK LINE

P.U.E. PUBLIC UTILITY EASEMENT

TRW TOP OF RETAINING WALL

CUT AND FILL QUANTITIES

QUANTITIES ARE ROUGH ESTIMATES FOR PERMITTING PURPOSES ONLY.
 CONTRACTOR MUST CALCULATE HIS/HER OWN QUANTITIES PRIOR TO BIDDING.

*SEE SHEET 2 OF 2 FOR RETAINING WALL GRADES

WALL CALCULATIONS

I F OF RETAINING WALLS=

THW TOP OF HEAD WALL G-N GRADE-DIRECTION TSW TOP OF STEM WALL

■ PROPERTY CORNERS

■ S WATER SERVICE BOY

EX. CONCRETE CHANNEL

0

(10)

LF88=1903.00

SECTION A-A

LE88=1903.00

SECTION B-B

MTS

FOUND REBAR

02.67C

EX. 8" DIP WATER MAIN

RIP RAP GRADATION TABLE

•

84.20FL

22 SY (7)

₩ 50

8.00' P.U.E. PER PLAT REC. IN BK.511, PG.33, MCR PEMOVE FY WATER

SIZE	%PASSING		SIZE	%PASSING
18"	D100		9"	D100
15*	D85	1	8"	D85
12*	D50	1	6*	D50
6"	D15	1	3"	D15
*CULVEDT	INLET	•	*CDOUTED	DID DAD

(CULVERT OUTLET)

HIDDEN HILLS PARCEL B - LOT 11

A SUBDIVISION RECORDED IN BOOK 511 OF MAPS, PAGE 33, M.C.R., PORTION OF THE SE 1/4 OF THE NE 1/4 OF THE NE 1/4 OF SECTION 19. T.3N, R.6E OF THE GILA & SALT RIVER BASE AND MERIDIAN, **MARICOPA COUNTY, ARIZONA**

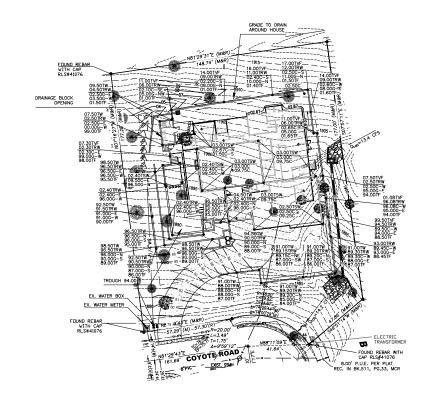


LEGEND

- PROPERTY CORNERS
- S SEWER MANHOLE
- BRASS CAP
- CATCH BASIN
- ME WATER SERVICE BOX
- W WATER METER
- RIP-RAP

PAVERS WALL

- 24" CULVERT
- DRAINAGE ARROW
 BSL BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT TW TOP OF WALL
- TRW TOP OF RETAINING WALL G-N GRADE-DIRECTION
- C-N CONCRETE-DIRECTION TSW TOP OF STEM WALL

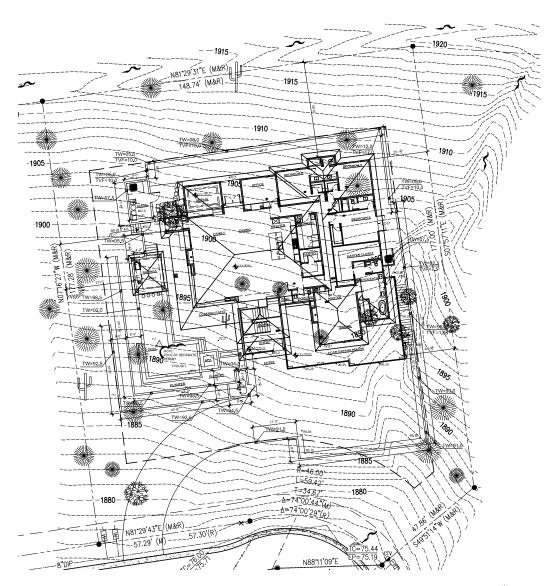






ALLEN
CONSULTING
ENGINEERS, inc.
4111 E. VALLEY AUTO DRIVE, SUITE 103
MESA, ARZIONA, 68206
PHONE (480) 644-1686
E-MAIL: acceptation consultengr.com

APN #217-67-111 14352 E. COYOTE ROAD SCOTTSDALE, ARIZONA 85259 GRADING AND DRAINAGE PLAN



ARCHITECTURAL SITE PLAN

OWNER: PETER AND LISA KUBITZ 14352 E COYOTE RD SCOTTSDALE, AZ 85259

LEGAL DESCRIPTION: LOT 11, OF HIDDEN HILLS, ACCORDING OF THE COUNTY RECORDER OF MAI IN BOOK 511 OF MAPS, PAGE 33

PROJECT DESCRIPTION:

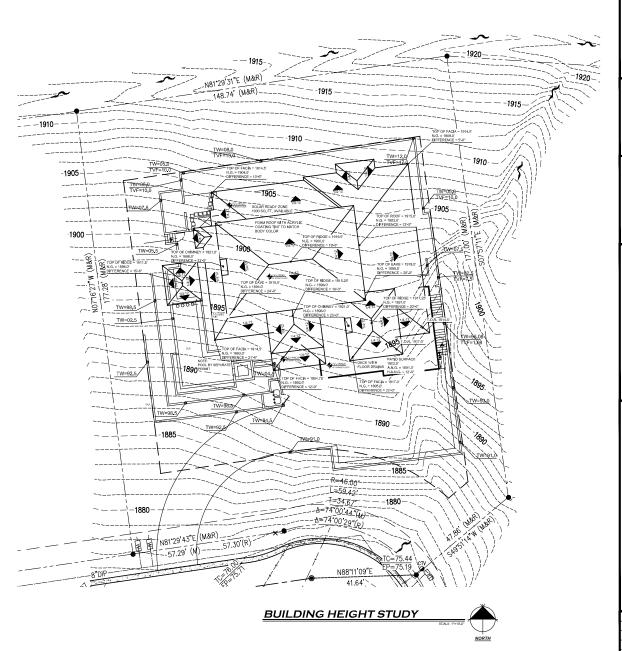
ADDRESS
A.P.N.
ZONING
LOT AREA:
TYPE OF CONSTRUCTION
NUMBER OF STORIES
ESL LANDFORM AREA:

THE DRAFTERY RESIDENTIAL DESIGN

KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS
14322 EAST COYOTE RAM
SCOTTSDALE, RAZONA 6529

1"=10'-0"

SP1



REVISIONS

A COS 22824

A COS 22824

ogiate in betwo contractions obtained in contract contract documents. These occurs documents are an institutement of energies for the client of The Duthoy and shall not be changed, comed or reproduced in any form or extranter, witespecer in the step to the session for sharp freely without first declaration of the symptom to supply the prefer sisten and consumer of The Duthony.

THE DRAFTERY RESIDENTIAL DESIGN

KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS
1438 EAST OVOTE ROAD
SCOTTSDALE, ARZONA 82289

PRINT DATE: 3-28-2024

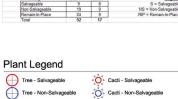
JOB NO: 217-87-111

DRAWN BY: PT

CHECKED BY: TEAM

SCALE: 1'=10'-0"

SP2

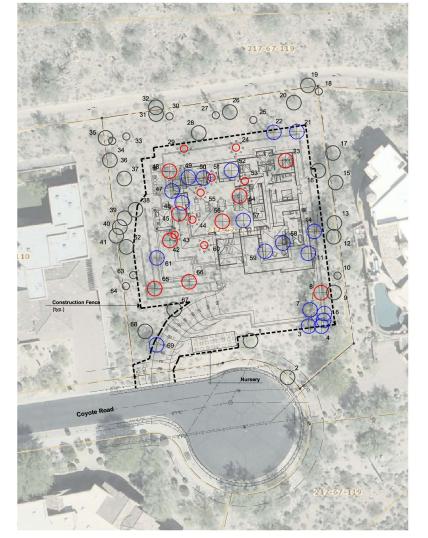


Tree - Remain In Place Project Consultants

Salvage Contractor

Native Resources International
1540 West Happy Valley Road
Phoenix, Arizona 85085
623-869-6757 (p) - 623-889-6769 (f)
Contact: Kevin Brenda - kevin@nativeresources.com

Cacti - Remain In Place





Native Resources Inti.
1540 W Happy Valley Rd.
Phoenis, AZ. 890577
Phone (623) 8865787
Phone (623) 8865787

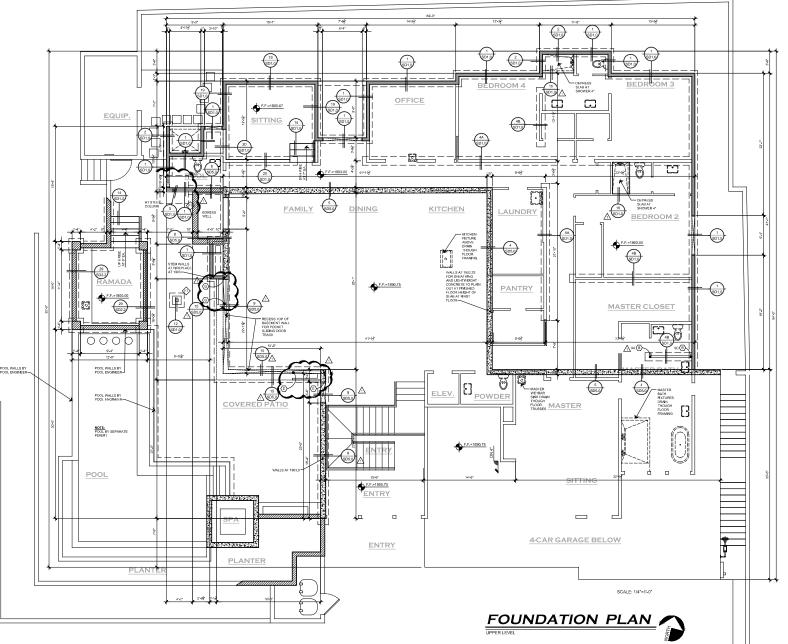
Coyote 14352 14352 E. Coyote Read Scotlisciale, Arizona Native Plant Inventory Plan

DATE: 3/1/2024

REVISION:

SCALE: 1" = 20'

DRAWN: KB



FOUNDATION NOTES

- seal all voids around PIPING WHICH PENETRATES CONCRETE
- SIAL ALL VIDEA AND LAND PHIPM CONTROLLED AND LAND REPORT OF THE SHEET COST SH

- TOO IS AUGITATIONED DOLL OF TOO TO THE PROBESSES CERTIFIED TO TOO THE PROBESSES CERTIFIED TO THE PROBESSES CERTIFIED TO THE PROBESSES OF THE P

- WALLS.
 PROVIDE CONTROL JOINTS AT ALL CONCRETE SLABS, MAXIMUM AREA
 BETWEEN JOINTS TO BE APROX, 200 S.F.

CONVENTIONAL FOUNDATION NOTES:

- FOUNDATION DIMENSIONS SHOWN ARE EXTRACTED FROM THE ARCHITECTURAL DRAWINGS. CONTINCTOR SHALL VIREFY ALL FOUNDATION DIMENSIONS WITH THE ARCH TECTURAL DRAWINGS A FIELD CONCITIONS, DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF WILLIS SONDERING, INC.
- REFER TO THE GEOTECHNICAL REPORTING LUDING SECTION 58 FOR ALL PAD PREPARATION AND VAPOR (RETARDER) BARRIER REQUIREMENTS.
- 4. REFER TO SHEET SD1.0 AND SD1.1 FOR ALL CONSTRUCTION DETAILS.
- REFER TO SHEET SNZ FOR CONVENTIONAL REBAR BEND AND REBAR LAPPING REQUIREMENTS.
- 8. SHOT PINS: INSTALL SHOT PINS AS NOTED ON THE PLANS, REFER TO SHEAR WALL SCHEDULE FOR SPECIAIS REQUIREMENTS, IF NO MOTATION IS GIVEN ATMITISTED WILLIAM, PROVIDE OF A CHAMETER X, ZER PINKL LED REPORT OF CHAMETER X, ZER PINKL LED REPORT OF EACH SHALL BE INSTALLED WITH OF EACH CHAMETER X, ZER PINKL LED REPORT OF EACH SHALL BE INSTALLED WITH SHOT PINS, PLACE (2) FASTEMERS, (1) AT 07 AND (1) AT 10° FROM THE DNO OF THE PLATE.
- WEDGE ANCHORS: INSTALL WEDGE ANCHORS AS NOTED ON THE PLANS. REFER TO THE SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. AT LEAST ONE ASCHORS HALL BE INSTALLED WITHIN 12 OF EACH PID OF EACH PLATE. WITH NO LESS THAY (2) BOLTS PER PLATE 12* OR LONGER. WEDGE ANCHORS ARE FOR INTERFERIOR USE OWN.
- 10.HOLDOWNS: REFERENCE THE FRAMING AND ARCHITECTURAL FLOOR PLANS FOR LOCATING, REFER TO DETAILS 88011.1 AND 148011.1 IF EMBEDDED HOLDOWNS ARE MISSED OR RERONEOUSLY LOCATED, REFER TO DETAIL 24/SD11.1 FOR RETRORT DETAIL.
- SHOUSE AND GARAGE FLOOR SLAB; MINIMUM & NOMINAL CONCRETE FLOO SLAB OVER & MINIMUM BLYTE COMPACTED A.B.C.FLL. OVER TERMITE LUMO, IN PROJECT SOR IS REPORTS. IS THE REPROFERENCE AS NOT RECOURS PROVIDE CONTROL JOINTS AS SPECIFIED BY THE ARCHITECT AND REPER TO DET INJ. 2020.
- 12.EXTERIOR SLAS (POUR BACK); MINMUM 4" NOMINAL CONCRETE FLOOR SLAS OVER TERMITE TREATED NATURAL GRADE OR ENGINEER CERTIFIED COMPACTED PAD LUNO, IN PROJECT SCILLS REPORT. STEEL REHIPFORCING IS NOT RECUIRED, PROVIDE CONTROL JOINTS AS SPECIFIED BY THE ARCHITECT AND REFER TO DETAIL 22301.0.





FTERY

RESIDENCE

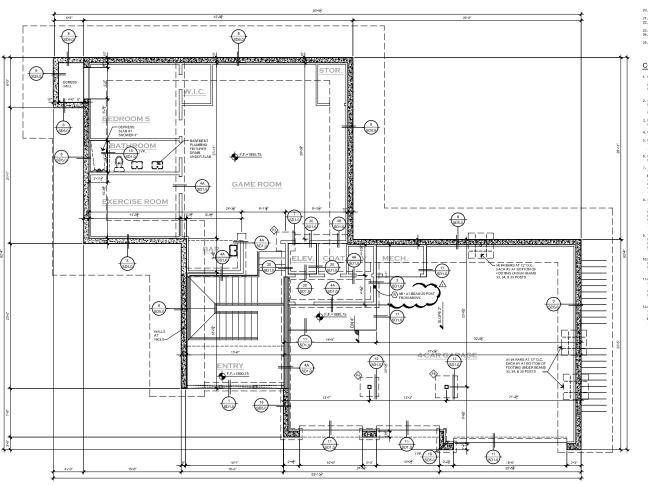
HIDDEN HILLS

SIT COYOTE ROAD KUBITZ I LOT 11 OF 1

217-67-111 PT CHECKED BY: TEAM SCALE:

1/4"=1'-0"

A1.0COS PLAN CHECK #140-2



- FOUNDATION NOTES

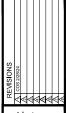
- SEA ALL VOIDS AND MOTOR PIPE ON WOTH PRANTS CONCRETE
 FINISHED TO COR SHALL BE A MINISH OF PERO YEAR OF THE MOTOR TO CORE THE MINISH OF THE MOTOR OF THE MOT

- TOO ON JUNESTHERS DOLL OF TOP OF PROBESS CERTIFIED IN TOO ON JUNESTHERS DOLL ON THE STATE OF THE

- WALLS.
 PROVIDE CONTROL JOINTS AT ALL CONCRETE SLABS, MAXIMUM AREA
 BETWEEN JOINTS TO BE APROX. 200 S.F.

CONVENTIONAL FOUNDATION NOTES:

- FOUNDATION DIMENSIONS SHOWN ARE EXTRACTED FROM THE ARCHITECTURAL DRAWNINGS. CONTRACTOR SHALL VERIFY ALL FOUNDATION DMENSIONS WITH THE ARCH TECTURAL DRAWNINGS AND FIELD CONCITIONS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF MILE SHOWERSHING, INC.
- CONTRACTOR SHALL VERIFY THE LOCATION AND TYPE OF ALL EMBEDDED HARDWARE AND THE LOCATION OF ALL ARCHITECTURAL FEATURES SUCH AS BUT NOT LIMITED TO DEPRESSIONS, SLOPES, SHELVES, PAT DS, PORCHES, AND STOOPS.
- REFER TO THE GEOTECHNICAL REPORTING LUDING SECTION 5.8 FOR ALL PAD PREPARATION AND VAPOR (RETARDER) BARRIER REQUIREMENTS.
- 4. REFER TO SHEET SD1.0 AND SD1.1 FOR ALL CONSTRUCTION DETAILS.
- 6. REFER TO SHEET SN2 FOR CONVENTIONAL REBAR BEND AND REBAR LAPPING REQUIREMENTS.
- ANCHOR BOULD STATE, ANCHOR BOLTS AS NOTED ON THE PLANS, REFER TO SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. IF NO NOTATION IS GIVEN AT PETROR WALLS, PROVIDED LETO MANETER WACHOR BOLTS AT 4-07-O.C. MAX. AT LEAST ONE BOLT SHALL BE INSTALLED WITHIN 12" OF EACH HOLD OF ROH PLATE, WITHIN 12" OF EACH HOLD OF ROH PLATE, WITHIN 12" OF EACH HOLD OF ROOM PLATE, WITHIN 12" OR HOLD WITHIN SHAP WITHIN 12" OR LONGER, ANCHOR BOLT SHAP 12" BOLT DEFEN LITED WITH SHIPPOON MASA ANCHORS AT 2" OO.C. MAX., REFER TO DEFEN LITED WITH SHIPPOON MASA ANCHORS AT 2" OO.C. MAX., TREET TO DEFEN LITED WITH SHIPPOON MASA.
- 6. SHOT PINS: NOTALL SHOT PINS AS NOTICE ON THE PLANS. REFER TO SHEAR WALL SCHEDULE FOR PRACING REQUIREMENTS, IF NO NOTATION IS GIVEN AT INTERIOR WALLS, PROVIDED, AND CHARGET REZIDE SHAKE LENGTH PIRS AT ST.C.C. AT LENGTH ONE PIN SHALL BE INSTALLED WITHIN OF PENDING PINS AT ST.C.C. AT LENGTH OF PINS AT LENGTH ON THE PINS AT SHEEM UNITED AT EACH PINS. DE ACAPT. AS INVALID RECORDED AS A SHEEM WALL WITH SHOT PINS. PLACE (2) FASTEMERS, (1) AT 6" AND (1) AT 10" FROM THE DIOL OF THE PLATE.
- WILDGE ANCHORS: INSTALL WILDGE ANCHORS AS NOTED ON THE PLANS. REFER TO THE SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. AT LEAST ONE ANCHOR SHALL BE INSTALLED WITHIN 12 OF EACH PID OF EACH PLATE, WITH NO LESS THAN 10) BOL 15 PER PLATE 12* OR LONGER. WEDGE ANCHORS ARE FOR INTERIOR USE ON.
- 10.HOLDOWNS REFERENCE THE FRAMING AND ARCHITECTURAL FLOOR PLANS FOR LOCATING, REFER TO DETAILS 85011.1 AND 145011.1, IF EMBEDDED HOLDOWNS ARE MISSED OR BERONEOUSLY LOCATED, REFER TO DETAIL 245011.1 FOR RETRORT DETAIL.
- 11-HOUSE AND GARAGE FLOOR SLAB: MINIMUM #" NOMINAL CONCRETE FLOOR SLAB OVER #" MINIMUM REVIEW COMPACTED ASC. #LL GIVER TERRITLE OVER A COMPACTED ASC. #LL GIVER TERRITLE U.A.C. IN PROJECT SOILS SIESON, STEEL REPROPERCIES IS NOT REQUIRED. PROVIDE CONTROL LIGHTS AS SPECIFIED BY THE ARCHITECT AND REFER TO DETURE JESUS.
- 12.EXTERIOR SLAB (POUR BACK); MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER TERMITE TREATED NATURAL GRADE OR ENGINEER CERTIFED COMPACTED PAD LUNG. IN PROJUCT SIGLS REPORTS, TESTEL REINFORCING IS NOT RECUIRED, PROVIDE CONTROL JOHN'S AS SPECIFIED BY THE ARCHITECT AND REPER TO DETAIL 22801.0.





FTERY DRAI

KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS
1482E AST GOVIET ROAD
ACTUAL AND ARROWS 8529

3-28-2024 217-67-111 PT NECKED BY TEAM SCALE:

1/4"=1'-0" A1.1 COS PLAN CHECK #140-2



IOL	.DOV	VN SC	HEDULE					
ARK SYMBOL HOLDOWN		REFERENCE	ANCHOR TYPE					
ARK	SYMBOL	HOLDOWN	REFERENCE DETAIL NUMBER	POST-SET	CAST-IN-PLACE			
			LT120-B			1/2" DIA, STRONGBOLT w/ 3-1/4" EMBED		
©				9A, 9B, 9C	1/2" DIA: STRONGBOLT 2 w/ 3-1/4" EMBED SSTB 1			
w.	٠.	LI120-B	ON SD1.1	1/2" DIA, TITEN HD w/ 3-1/4" EMBED	331D 10			
				1/2" DIA. THREADED ROD w/4" EMBED IN SET-XP EPOXY				
0	_	HTT-4	8A, 9B, 9C	1/2" DIA, TITEN HD w/ 4" EMBED	SSTB 16			
w	•	MIII-4	ON SD1.1	1/2" DIA. THREADED ROD w/7" EMBED IN SET-XP EPOXY	991B 10			
			8A ON SD1.1	5/8" DIA, STRONGBOLT 2 w/5 1/8" EMBED				
ଠା	*	HTT-S		5/8" DIA, THREADED ROD w/5" EMBED IN SET-XP EPOXY	SSTB 16			
						5/8" DIA, THREADED ROD w/8" EMBED IN SET XP EPCXY		
0					34" DIA: TITTEN HD w/6" EMBED - POST TENSION ONLY			
			9B, 9C ON SD1,1	34" DIA. TITEN HD w/6" EMBED - POST TENSION ONLY				
	٠	HDU8- SDS2.5		9A ON SD1.1	76" DIA, THREADED ROD w/7" EMBED IN SET: XP EPOXY POST TENTION OR CONVENTIONAL FOUNDATION	SSTB 28		
			9B, 9C ON SD1.1	7/6" DIA, THREADED ROD w 12" EMBED IN SET XP EPOXY CONVENTIONAL FOUNDATION ONLY				
©		LSTHD 8	14 ON SD1,1	NOT APPLICABLE	LSTHD 8			
O		STHD 10	14 ON SD1,1	NOT APPLICABLE	STHD 10			
0		STHD 14	14 ON SD1.1	NOT APPLICABLE	STHD 14			
0		MASAIP	17 ON SD1.0 & 16 ON SD2.1	NOT APPLICABLE	MASA/P			
0		CS 16	22/SD4,0	CS 16 STRAP, CLEAR SPAN +28" W/ MIN. 14" END LE (0.131" DIA. x 2 1/2") NAILS TOTAL (13 NAILS AT 8				
0		(2) CS 16	22/504,0	(2) CS 16 STRAP, CLEAR SPAN +28" W/ MIN. 14" E (26) 8d C (0.131" DIA, x 2 1/2") NAILS TOTAL (13 NAILS				
0		CMSTC 16	22/SD4,0	CMST STRAP, CLEAR SPAN +50" W/ MIN, 25" EN (58) 8d C (0,131" DIA, x 2 1/2") NAILS TOTAL (29 NAILS				
0				RESERVED	RESERVED			

FOOTINGTES:

OR REPER TO MANUFACTURER SPECIFICATIONS FOR ALL INSTALLATION PROCEDURES AND REQUIREMENTS

DHOLOWIN TYPES A, B, C, E, F, H, I, J, AND K SHALL BE ATTACHED TO (27:2) FOSTS MINIMUMUM UNIO, HOLDOWN
TYPE D AND SHALL BE ATTACHED TO (10):22 POSTS MINIMUM UNIO.

FOC	TING SCHEDULE
MARK	
€	T-8"x1"-6"x10" THICK w/ 2 44 E.W. BOTT, 8" THICK AT EXT, STEM WALL LOCATIONS
♦	2-0'x2'-0'x10" THICK w/ 2 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
♦	2-6"x2"-6"x10" THICK w 2 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
€	3-0"x3-0"x10" THICK w/3 #4 E.W. BOTT, 8" THICK AT EXT, STEM WALL LOCATIONS
♦	3'-6"x5"-8"x10" THICK w/ 3 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOCATIONS
�	41-0"x4"-0"x10" THICK w/ 4 #4 E.W. BOTT, 8" THICK AT EXT. STEM WALL LOGATIONS
♦	4-6"x4"-6"x10" THICK w/ 4#4 E.W. BOTT, 8" THICK AT EXT, STEM WALL LOCATIONS
(A)	P. ON P. ON THE W. H. S. W. BOTT OF THE W. AT EVT. OTHER WALL LOCATIONS

SHEAR WALL AND PLATE ANCHORAGE SCHEDULE

Mark	Sheathing &	M	nimum Fran	ning		Mud Sill Pface Anchor To Connecte	
N	FaSTEMing (1)(2)(3)(4)(5)			Bottom Plate	67.89	Sole Pla To Wood	
	1/2" G.W.B. w/ 5d Nails at			2x		1/2" Dia, Anchor Bellis at 72" O.C.	88 0
1	7" O.C. at Edge Na ling & Field Nalling				Exterior -	MASA Anchor at 72" O.C.	Nails a 12" 0.0
	5/8" G.W.B. w/ 6d Noils at	(1)-24	None			Shot Pins at 12" O.C.	8d1
2	7" O.C. at Edge Nailing & Field Nailing				Interior	1/2" Dis. Wedge Anchor at 64" O.C.	Naite 12" C
_	1/2" G.W.B. w/ 5d Nats at					1/2" Dia. Anchor Bolts at 64" O.C.	801
4	4" O.C. at Bdge Nating & Field Nating 58" G.W.B. w/ 6d Natis at 4" O.C. at Bdge Nating & Field Nating			١.	Exterior -	MASA Anchor at 64" O.C.	Nate 121 0
		(1)-24	None	2x		Shot Pins at 12" O.C.	8d G Nails : 9" O.0
					Interior	1/2" Dia: Wedge Anchor at 48" O.C.	
	1/2" or 36" A P A Refed		24	2x	Exterior	1/2" Dia. Anchor Bolts at 32" O.C.	8d G Nails at 6" O.C.
5	Sheathing w/ 8d Neils at	(2)-24			Estino	WASA Anchor at 32" O.C.	
3	6" O.C. at Field Nailing & 12" O.C. at Field Nailing	12724			Interior	Shot Pine at 6" O.C.	
					l mans	1/2" Dia, Wedge Anchor at 24" O.C.	
	1/2" or 3/5" A.P.A. Rated Shootning will All Is at 4" O.C. at Edge Nating & 12" O.C. at Field Nating	(2)-21		2x	Exterior	1/2" Dia, Anchor Bolts at 24" O.C.	8d G Nails a 41 O.C
6			21		Extens:	MASA Anchor at 24" O.C.	
•		(2)-21	24		Interior	Shot Pins at 4" O.C.	
					Intense	1/2" Dia. Wedge Anchor at 16" O.C.	
				24 2x	Exterior	1/2" Dia: Anchor Bolts at 16" O.C.	8d (Naits 3° ().
7	1/2" or 3/6" A.P.A. Rated Sheathing w/ 8d Nats at	(2)-24			Estituo,	WASA Anchor at 16" O.C.	
,	3" O.C. at Edge Nating &	(2)-21	21		Interior	No Shot Pin Option	
	12" O.C. at Field Nailing				Intenor	1/2" Dia, Wedge Anchor at 12" O.C.	
						1/2" Dia, Anchor Bolts at 12" O.C.	8d G Naik a
_	1/2" or 3/6" A.P.A. Rated Sheathing w/ 8d Nails at	(2)-21	34		Exterior -	WASA Anchor at 12" O.C.	
8	2" O.C. at Edge Na ling & 12" O.C. at Field Na ling	(2)-21	34	2x		No Shot Pin Option	2°C
	12 Over at Held Making				Interior	1/2" Dia - Wedge Ancher at 9" O.C.	٦ . ٣
						1(2" Dia, Anchor Bolts at 9" O.C.	
_	15/32" A.P.A. Ruted Sheathing W 10d C Nails at	1	34		Exterior -	MASA Anchor at 9" O.C.	100
9	3" O.C. at Edge Nating &	(2)-21		2x		No Shot Pin Option	Nait 21 C
	12" O.C. at Fleld Nailing	1		l	Interior	1/2" Dia, Wedge Anchor at 9" O.C.	→ ²⁰

- Treatment

 Refer to Sheet SNI for required APIA. Reled Sheething Crade and permitted alternatives.

 (2) ACCULES. Sheet Vibids, panels Heet vibids and larger small to applied either parallel or preparadicular to the stock. Panels liss than 4 feet vibids shall be applied only preparadicular to the stock.
- 3 ALAPIA. Rated Sheathing Shear Walls, sheet panels shall not be less than 46" x 96" except at boundaries and changes where the minimum chromoson shall be 12 inches.
- No. 6 1-14" Type III Screws may be used in lieu of 5d or 6d neits as follows: Type 1 or 2 Walls: No. 6 1-14" Screws at 4" CLC, of Edges and 12" CLC, at Field. Type 3 or 4 Walls: No. 6 1-14" Screws at 3" CLC, at Edges and 12" CLC, at Field.

- The fact of Male No. 4 14 of Section 4.7 Co. 4 days and 12 Co. 4 days.

 (B) The last and last of 12 of 12 and last all interference (MITCA 1.2 for 12 copyright, 6 of 5 or 0,117 Co. 17 copyright.

 (B) and not find that 12 of 12 of 12 and last all interference interference (MITCA 1.2 for 12 copyright, 6 of 5 or 0,117 Co. 17 copyright.

 (B) Section 4 of 12 copyright (MITCA 1.2 for 12 copyright (MITCA 1.2 for 12 copyright) (MITCA 1.2 for 12 copyrigh
- (ii) Simpson MASAP Anchors may be used in less of MASA Anchors at same specing shown. Both legs of MASAP must be feSTEWed to 2x framing members. Rather to detail 17/5/01/6 for additional information.
- 10 10" Dix. Simpson Tilen HD Screw Andrors may be used in feu of Anchor Bolls or Wedge Anchors at same spacing shown. Embed the Screw Anchors a minimum of 3-14" and resistatin a minimum 1-34" Edge Distance.
- Special Inspection is required for Wedge Archans and Scrow Archans.

 When Shear Walls are indicated on both cities of a wall, space mud all plate and sole plate anchans at helf the spacing shown above.

Prescriptive	Shear	Wa	ls an	e Equivalen	t to the	Fo	llowing:	
1 CS-N CS-9	@P		5	ABIT 1 STORY ADIT W		5	CS-PF PFH PFG	,

FOUNDATION NOTES

- SHALL BE A MAXIMUM OF 1/4" PER
- 12". SEAL ALL VOIDS AROUND PIPING WHICH PENETRATES CONCRETE
- SEA, ALL YORD AND PRIVATE PRIV

- 7. REFER TO LICETIFICAL RAY FOR FLOOR GUILETS AND INCREMENDATION
 7. REFER TO THE CONTROL OF THE WAY THE MAN TH

- WALLS.

 25. PROVIDE CONTROL JOINTS AT ALL CONCRETE SLABS, MAXIMUM AREA BETWEEN JOINTS TO BE APROX. 200 S.F.

CONVENTIONAL FOUNDATION NOTES:

- FOUNDATION DIMENSIONS SHOWN ARE EXTRACTED FROM THE ARCHITECTURAL DRAWINGS. CONTRACTOR SHALL VERIFY ALL FOUNDATION DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND FIELD CONCITIONS. SISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF WILLIS ENVISIENTS, INC.
- CONTRACTOR SHALL VERIEY THE LOCATION AND TYPE OF ALL EMBEDDED HARDWARE AND THE LOCATION OF ALL ARCHITECTURAL TEATURES SUCH AS BUT NOT LIMITED TO DEPRESSIONS, SLOPES, SHELVES, PAITOS, PORCHES, AND STOOPS.
- REFER TO THE GEOTECHNICAL REPORTING LUDING SECTION 5.8 FOR ALL PAD PREPARATION AND VAPOR (RETARDER) BARRIER REQUIREMENTS.
- 4. REFER TO SHEET SD1.0 AND SD1.1 FOR ALL CONSTRUCTION DETAILS.
- REFER TO STRUCTURAL DETAIL SHEET SD1.0 AND SD1.1 FOR ALL FOOTING WIDTH, FOOTING THICKNESS, STEM WALL THICKNESS, STEM WALL HEIGHT, AND REINFORCING REQUIREMENTS
- 6. REFER TO SHEET SN2 FOR CONVENTIONAL REBAR BEND AND REBAR LAPPING REQUIREMENTS.
- COMPARE RESIDENCE AND THE PLANS, REFER TO SHEAR WALL SCHOOLSE FOR SPACING REQUIREMENTS, IF NO NOTATION IS OWNER TO STEPRING WALLS PROBLED \$12 OWNER TO WACHE ROLL SHOULD SHOULD \$12 OWNER TO WACHE ROLL SHOULD \$12 OWNER TO WACHE ROLL SHOULD \$13 OWNER TO WACHE ROLL SHOULD \$13 OWNER SHOULD SHOULD SHOULD SHOULD SHOULD SHOULD SHOULD SHE PLANS THE PLANS OF SHOULD SHOULD SHOULD SHE PLANS THE PLANS OF SHOULD SHOULD
- SHOT PINS. INSTALL SHOT PINS AS NOTICE ON THE PLANS. REPER TO SHEAR WALL SCHEDULE FOR SPACING REQUIREMENTS. IF NO NOTATIONIS GIVEN AT INTERIOR WALLS, PROVIDE C. 420 EMBERT X.230 F. SHAKLLENDTH PINS AT 30'C.C. AT LEST ONE PIN SHALL BE INSTALLED WITHIN OF DETENDING THE SHALL SHA
- WEDGE ANCHORS: INSTALL WEDGE ANCHORS AS NOTED ON THE PLANS-REFER TO THE SHEAR WALL SCHEDULE FOR SPACING REQUIPMENTS. AT LEAST ONE ANCHOR SHALL BE RITALLED WITHIN 12" OF EACH END OF EACH PLATE. WITH NO LESS THAN (2) BOLTS PER PLATE 12" OR LONGER. WEDGE ANCHORS ARE FOR INTERIOR USE ON.
- 10.HOLDOWAS: REFERENCE THE FRAMING AND ARCHITECTURAL FLOOR PLANS FOR LOCATING, REFER TO DETAILS 98011.1 MO 148041.1, IF EMBEDDED HOLDOWAS ARE MISSED OR ERRONEOUSLY LOCATED, REFER TO DETAIL 245011.1 FOR RETRORIT DETAIL.
- 11-HOUSE AND GARAGE FLOOR SLAB: MINIARIM AT NOMINAL CONCRETE FLOOR SLAB OVER IT MINIARIM BLATE COMPACTED ASC. FLL OWER TEGATIE. UNDER THE COMPACTED ASC. FLL OWER TEGATIE. UNDER THE COMPACTED ASC. FROM THE COMPACT ON SIS REPORTS. STEEL REPORTED SEED SIS STEED ASC. FROM SIS NOT REQUIRED. PROVIDE CONTROL JOHN'S AS SPECIFIED BY THE ARCHITECT AND REFER TO DETTAL 22801-0.
- 12.EXTERIOR SLAB (POUR BACK) MINIMUM 4" NOMINAL CONCRETE FLOOR SLAB OVER TERMITE TREATED NATURAL GRADE OR ENGINEER CERTIFED COMPACTED AD LUNG, IN PROJECT SIGLS REPORT, STEEL REINFORCING IS NOT REQUIRED, PROVIDE CONTROL JOHN'S AS SPECIFED BY THE ARCHITECT AND REPER TO DETAIL 22801.0.





FTERY DRAI

RESIDENCE

HIDDEN HILLS

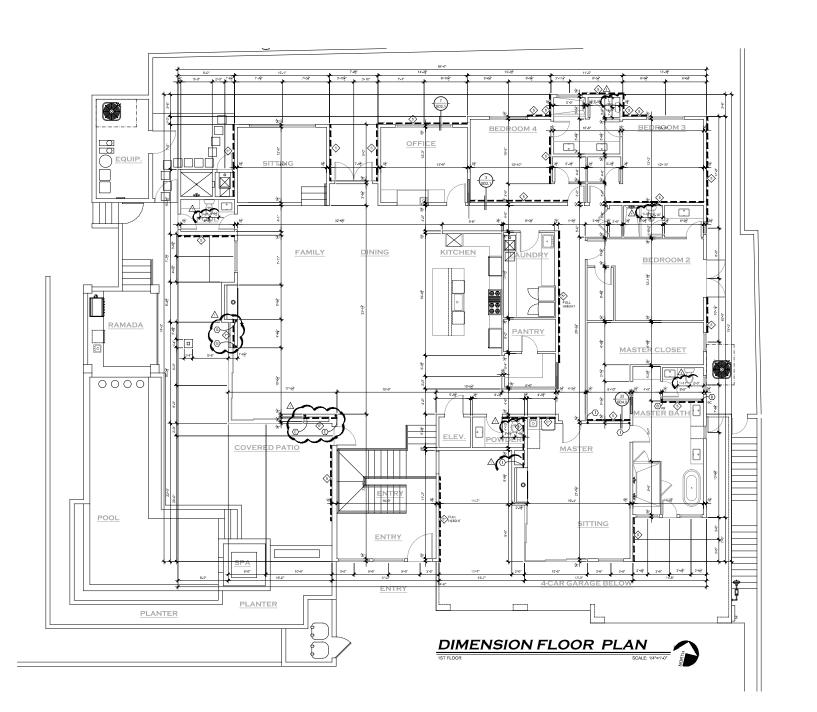
(ST COYOTE ROAD

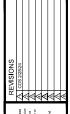
ALE, ARIZONA 85259 KUBITZ I LOT 11 OF F 14352 EAST SCOTTSDAFF

3-28-2024 217-67-111 PT OMEONED BY: TEAM

1/4"=1'-0" A1.2 COS PLAN CHECK #140-2

SCALE:





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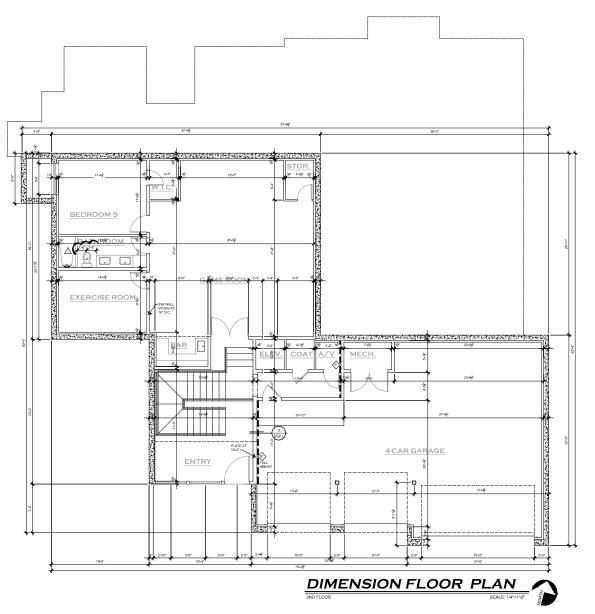
THE DRAFTERY
RESIDENTIAL DESIGN
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RESIDENTIAL DESIGNATION OF THE PROPERTY OF

KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS
1435Z EAST COYOTE ROAD
SCOTTSDALE, ARZONA 66269

PRINT DATE: 3-28-2024
JOB NO: 217-67-111
DRAWN BY: PT
CHECKED BY: TEAM
SCALE: 1/4*=1-0*

A2.0

COS PLAN CHECK #140-2



SHEAR WALL AND PLATE ANCHORAGE SCHEDULE

Mark	Sheating &	M	Minimum Framing		Mud Sil Plate Anchor To Concrete		Sole Plate
N	FaSTEMing	Top	Panel	Bottom	1	To	
14	02346	Plate	Joints & Blocking	Plate	60089	Wood	
1	1/2" G.W.B. wi 5d Nails at 7" D.C. at Erice Nailro 8				Pulgring	1/2" Dile, Anchor Bolla at 72" O.C.	Bd G Nails at
	Field Nating	(1)-2x	None	24	Lagra	MASA Archor at 72" O.C.	12°O.C
2	5/8" G.W.B. w/ 6d Nails at 7" O.C. at Edge Nailing 8	7	realie	24	Interior	Shot Pins at 12" O.C.	Bd G Neils at
2	Field Nating				FIRMS	12" Die, Wedge Anchor at 64" O.C.	12° O.C.
3	1/2" G.W.B. w/ 5d Neils at 4" O.C. at Edge Neiling &				Exterior	1/2" Die, Anchor Bolts at 64" O.C.	Bd G Nails at
4	Field Nating Siô' G.W.B. will do health at 4" O.C. at Edge Nating 8 Field Nating	1150x	None	21	EMBIO	MASA Anchor at 64" O.C.	12° O.C.
		7 "	None		Interior	Shot Pins at 12" O.C.	8d G Nade at
•					menor	1/2" Dis. Wedge Anchor at 48" O.C.	9° O.C.
	1(2" or 3(6" A.P.A. Rated Sheathing wild Nails at 6" O.C. at Edge Nailing 8 12" O.C. at Field Nailing		24	24	Exterior	1/2" Dia, Anchor Bolls at 32" O.C.	
5		125-2×			EGNICA	MASA Archor at 32" O.C.	8d G Nells at 6" O.C.
		JE/ EX			Interior	Shot Pins at 6" O.C.	
					1300.5	1/2" Dia, Wedge Anchor at 24" O.C.	
	10" or 36" A.P.A. Rated Sheathing will 60 Nails at 4" O.C. at Edge Nailing 8 12" O.C. at Field Nailing	123-2x	2x	24	Exterior	1/2" Dia, Anchor Bolta at 24" O.C.	
6					Leading	MASA Anchor at 24" O.C.	8d G Nails at 4" O.C.
		10,40			Interior	Shot Pins at 4" O.C.	
					THORN	1/2" Dis. Wedge Anchor at 16" O.C.	
	1/2" or 3/8" A P.A. Rated		2x	24	Exterior	1/2" Dia, Anchor Bolls at 16" O.C.	
7	Sheething w/ 8d Na Is at	125-2x			EXMIN	MASA Anchor at 16" O.C.	Bd G Neils at
,	3" O.C. at Edge Nating & 12" O.C. at Field Nating	IL/CA			Interior	No Shot Pin Option	3" 0.0.
	12" O.C. at Field Nating				manor	1/2" Dis. Wedge Anchor at 12" O.C.	1
					Puterior	1/2" Dia, Anchor Bolls at 12" O.C.	
8	1(2" or 3(6" A.P.A. Refed Sheathing w/ 50 No le at 2" O.C. at Edge Nailing & 12" O.C. at Field Nailing	123-2x	3x	24	Extenor	MASA Anchor at 12" O.C.	8d G Nails at 2" O.C.
		12,423			Interior	No Shot Pin Option	
					Inenor	1/2" Dia: Wedge Anchor at 9" O.C.	
					Exterior	1/2" Dia, Anchor Bolts at 9" O.C.	
9	15/32" A.P.A. Rated Sheathing w/ 10d C Natls of	125-2x	3×	١.	Extensor	MASA Anchor at 9" O.C.	10d C
9	3" O.C. at Edge Neiling &	127-24		24		No Shot Pin Option	Neits at 2" O.C.
	12" O.C. at Field Nailing				Interior	1/2" Dia, Wedoe Anchor at 9" O.C.	2011

Roder to Sheed SND for required A P.A. Rated Sheadking Grode and permitted alternatives.

 A. G.W.B. Sheer White, promited in fact water and larger shall be applied either parallel or perspended, that to the study. Panellal less than 4 feet wido in the based part of either permitted in the study.

3 A A.P.A. Rated Sheething Steen Walls, sheet panels shall not be less than 45" x 80" except of boundaries and changes where the minimum dimension shall be 12 inches.

description of the Conference of Conf

Set Pine dail to a minimum 1.19" shark dameter a 280° shark for both signed as above auditor derivation.

(I) SET Pine dail to a minimum 1.19" shark dameter a 280° shark for that signed as above. At the end of each plate, place (I) SET Pine of 0 place.

(I) NSST Pine of 10 place and 10 place and 10 place and 10 place and 0 place.

(I) NSST Pine of 10 place and 10 place a minimum embeddes of 1-34" and a minimum edge distance of 4-16". Poller to 31 Severa for additional information.

(I) NSST Pine of 10 place and 10

information.

Simpour MASPA Protects may be used in fear of MISPA Protects at some specing above. Both legs of MISPAP must be 1651'Elikerib do temping nameurs. Aller be dealth ITSPS CUT in additional information.

10 10 Dis Simpour Till an MIS Seeler Advance may be used in fear of Annahor Bellius or Mediga Annahor at some specing above. Enched the Seeler Annahor as nameur of Self and dealershin an information for English Bellium.

seew Access a minimum of a list administration amount is a trapectors.

(ii) Special inspect of bringing Access and Special Acc

| Prescriptor | Paragraphic |

MARK		HOLDOWN	REFERENCE	ANCHOR TYPE	HOR TYPE		
MARK	SYMBUL	HOLDOWN	DETAIL NUMBER	POST-SET	CAST-IN-PLAC		
	-			1/2" DIA, STRONGBOLT w/ 3-1/4" EMBED	SSTB 16		
(A)		1TT20-8	9A, 9B, 9C	1/2" DIA, STRONGBOLT 2 w/ 3-1/4" EMBED			
6	1	L1120-8	ON SD1.1	1/2" DIA, TITEN HD w/ 3-1/4" EMBED			
				1/2" DIA, THREADED ROD w/ 4" EMBED IN SET XP EPOXY			
(II)		HTT-4	9A, 9B, 9C	1/2" DIA, TITEN HD w/ 4" EMBED	SSTB 16		
•	-	HIII-4	ON SD1-1	1/2" DIA. THREADED ROD w/ 7" EMBED IN SET XP EPOXY	001010		
_	١.		9A ON SD1.1	5/6" DIA, STRONGBOLT 2 w/ 5 1/8" EMBED			
0		HTT-6		5/8" DIA, THREADED ROD w/ 5" EMBED IN SET-XP EPOXY			
	_			56" DIA, THREADED ROO w/ 6" EMBED IN SET-XP EPOXY			
		l .	9A ON SD1.1	3/4" DIA, TITEN HD w/6" EMBED - POST TENSION ONLY	1		
			9B, 9C ON SD1-1	34" DIA. TITEN HD w/6" EMBED - POST TENSION ONLY			
0	•	HDU8- SDS2.5	9A ON SD1.1	78" DIA, THREADED ROD W 7" EMBED IN SET: XP EPOXY POST TENTION OR CONVENTIONAL FOUNDATION	SSTB 28		
			98, 9C ON SD1-1	78"DIA, THREADED ROD w/12" EMBED IN SET XP EPOXY CONVENTIONAL FOUNDATION ONLY			
®		LSTHD 8	14 ON SD1-1	NOT APPLICABLE	LSTHD 8		
(3)		STHD 10	14 ON SD1.1	NOT APPLICABLE	STHD 10		
0		STHD 14	14 ON SD1.1	NOT APPLICABLE	STHD 14		
⊕		MASA/P	17 ON SD1.0 & 16 ON SD2.1	NOT APPLICABLE	MASAIP		
0		CS 16	22/SD4.0	CS 16 STRAP, CLEAR SPAN +28" W/ MIN. 14" END LE (0.131" DIA. x 2 1/2") NAILS TOTAL (13 NAILS AT I			
0		(2) CS 16	22/SD4.0	(2) CS 16 STRAP, CLEAR SPAN +28" W/MIN, 14" E (26) 8d C (0,131" DIA, x 2 1/2") NAILS TOTAL (13 NAILS			
©		CMSTC 16	22/SD4.0	CMST STRAP, CLEAR SPAN +60" W/ MIN. 25" EN (58) 8d C (0.131" DIA, x 2 1/2") NAILS TOTAL (29 NAILS			
0				RESERVED	RESERVED		

FOOTNOTES;

O REFER TO MANIFACTURER SPECIFICATIONS FOR ALL INSTALLATION PROCEDURES AND REQUIREMENTS.

HOLDOWN TYPES A, B, C, E, F, H, LJ, AND K SHALL BE ATTACHED TO (2)22 POSTS MINIUMUM ILN.O. HOLDOWN TYPE DANG SHALL BE ATTACHED TO (3)24. POSTS MINIMUM ILN.O.



THE DRAFTERY

KUBITZ RESIDENCE
LOT 11 OF HIDDEN HILLS
14352 EAST COYOTE ROAD
SCOTTSDALE, ARIZONA 86259

3-28-2024 217-67-111 PT CHECKED BY: TEAM SCALE: 1/4"=1'-0"

A2.1 COS PLAN CHECK #140-2