

Date of Inspection: 5/11/2022

Year Built: 1900

Size: 1750

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Property Inspection Report

2615 Old Logan Rd SE, Lancaster, OH 43130

INSPECTION PREPARED FOR:

Cynthia Schillig

AGENT: Cynthia Schillig

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INSPECTOR: Dylan Scott
LICENSE: #OHI. 2019004387



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Client Report Overview

Please Read this important information regarding your inspection report

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report:

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair/Replace: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Improve: denotes improvements which are recommended but not required.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Deferred Cost: denotes items that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next five (5) years. Please note that those observations listed under "Discretionary Improvements" are not essential repairs, but represent logical long term improvement.

Maintenance Item: A system or component that is operable and/or in acceptable condition at the time of inspection, but may require periodic maintenance to help ensure reliable performance or operation. This may include servicing of appliances, painting of exterior wood components etc.

INSPECTION CHECKLIST ABBREVIATIONS

IN- System or Components were inspected.

NI- System or components were not inspected. Reasons or obstructions will be listed.

NA- System or component does not exist within this home.

NP- System or Component is not present in this home.

RE- Systems or components the inspector determines as needing evaluation from a technical professional or contractor.

IMPROVEMENT RECOMMENDATION HIGHLIGHTS / SUMMARY

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations. For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that this report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the InterNACHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report.

It is the goal of the inspection to put a home buyer in a better position to make a buying decision by identifying material defects observed on the date of the inspection. The inspection is not a prediction of future conditions. A material defect is a specific issue with a system or component of a property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at, or beyond the end of its normal, useful life is not, in itself, a material defect. Not all improvements will be identified during

this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection. Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection may be limited by vegetation and possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current code. This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

A WORD ABOUT CONTRACTORS AND 20-20 HINDSIGHT

A common source of dissatisfaction with inspectors sometimes comes as a result of off-the cuff comments made by contractors (made after-the-fact), which often differ from ours. Don't be surprised when someone says that something needed to be replaced when we said it needs to be repaired, replaced, upgraded, or monitored. Having something replaced may make more money for the contractor than just doing a repair. Contractors sometimes say, "I can't believe you had this building inspected and they didn't find this problem." There may be several reasons for these apparent oversights: Conditions during inspection - It is difficult for clients to remember the circumstances in the subject property at the time of the inspection. Clients seldom remember that there was storage everywhere, making things inaccessible, or that the air conditioning could not be turned on because it was 60° outside. Contractors do not know what the circumstances were when the inspection was performed. The wisdom of hindsight - When a problem occurs, it is very easy to have 20/20 hindsight. Anybody can say that the roof is leaking when it is raining outside and the roof is leaking. In the midst of a hot, dry, or windy condition, it is virtually impossible to determine if the roof will leak the next time it rains. Predicting problems is not an exact science and is not part of the inspection process. We are only documenting the condition of the property at the time of the inspection.

Report Summary

Structure		
Page 10	Floor structure observation	<ul style="list-style-type: none"> • Repair/Replace: A beam is notched. This condition risks movement and damage. Re-supporting this beam is recommended. • Repair: Support posts for the floor structure should be attached with proper hardware at top and bottom to help prevent displacement.
Page 11	Roof structure observation	<ul style="list-style-type: none"> • Repair: Evidence of staining and what appears to be mold was observed. This condition is usually the result of insufficient ventilation. Ventilation should be improved and further testing should be performed to determine what type of clean up may be necessary.
Page 12	Wood destroying insects	<ul style="list-style-type: none"> • Repair: Evidence of wood destroying insect damage was observed and there is risk of additional hidden damage since termites can do a substantial amount of damage. If the property has not already been treated, a licensed pest control specialist should be engaged to eliminate further wood destroying insect activity within the home. Damaged wood should be repaired or replaced. Any wood soil contact should be eliminated.(Powder post beetles and termite damage on joists in basement)
Page 13	Crawl space	<ul style="list-style-type: none"> • Repair: All wood debris and/or trash should be removed from the crawl space. Organic debris around a property increases risk of insect or rot damage.
Roofing		
Page 15	Roof flashing observation	<ul style="list-style-type: none"> • Repair/Replace: The flashing is rusting. It should be painted to extend its life. • Repair/Replace: The flashing is damaged and should be repaired to avoid leaks. • Repair/Replace: The flashing is loose and should be re-secured to avoid leaks. • Repair/Replace: The installation of the flashing is incomplete and should be repaired to avoid leaks.(Eastside at gable vent)
Exterior		
Page 17	Exterior wall observation	<ul style="list-style-type: none"> • Repair/Replace: The siding is damaged at (south) and should be repaired or replaced.
Page 19	Driveway observation	<ul style="list-style-type: none"> • Replace: The driveway surface is in a deteriorated condition. Resurfacing is necessary to correct this condition.

Page 20	Porch / Deck / Patio observation	<ul style="list-style-type: none"> • Repair: One porch post base is dilapidated. It should be replaced. • Repair: The lattice is damaged. It should be replaced.
Page 21	Landscaping / Fence observation	<ul style="list-style-type: none"> • Repair: The fencing is in only fair condition. Minor repairs are needed.
Electrical		
Page 24	Distribution wiring observation	<ul style="list-style-type: none"> • Repair: Wiring exposed on exterior should be protected by a rigid conduit (near driveway). • Safety Issue: All junction boxes should be fitted with cover plates, in order to protect the wire connections (Basement).
Page 24	Outlets / Switches / Fixtures observation	<ul style="list-style-type: none"> • Repair/Replace: A ground fault circuit interrupter (GFCI) outlet is inoperative. This circuit should be repaired. (Exterior by driveway). • Repair/Replace: Missing weather covers on exterior outlets should be replaced to help prevent moisture in outlets.(Front porch) • Repair/Replace: Repair inoperative lights where needed. If bulbs aren't burned out then further evaluation will be needed for circuit (kitchen, Master bathroom, second-floor loft ceiling fan light, Second-floor hallway bathroom light,porch lights) • Repair/Replace: The damaged light fixture should be repaired or replaced at (Rear floodlight). • Repair: Ceiling fans were inoperable(East bedroom)
Heating system		
Page 26	Heating system observation	<ul style="list-style-type: none"> • Repair: The heating system requires servicing (did not respond to operating controls). This should be a regular maintenance item to assure safe, operation. • Repair: The dirty air filter should be replaced.
Cooling system		
Page 28	Cooling system observation	<ul style="list-style-type: none"> • Repair: Damaged and or missing insulation on refrigerant lines should be repaired. These outside lines should be insulated all the way to the compressor unit to prevent loss of temperature in the lines. • Repair: The outdoor unit of the air conditioning system requires cleaning.
Insulation/Ventilation		
Page 30	Attic observation	<ul style="list-style-type: none"> • Repair: Attic hatch cover was missing.

Plumbing

Page 32	Supply Plumbing	<ul style="list-style-type: none"> • Repair/Replace: The supply piping is leaking (near well equipment) and should be repaired. • Repair/Replace: Water did not flow when fixtures were operated. (Second floor hallway bathtub hot water, Master bath/shower hot and cold water)
Page 33	Water Heater observation	<ul style="list-style-type: none"> • Repair: Wiring serving the electric water heater should be protected by a conduit.
Page 35	Plumbing Fixtures	<ul style="list-style-type: none"> • Repair: The (Second-floor hallway bathroom) sink was clogged. • Repair: The toilet is loose at (master). Loose toilets should be uninstalled, pipe connection and floor area checked for leaks and the wax ring replaced prior to re-installing. Loose toilets can cause small leaks that go undetected causing hidden damage. The home inspection may not be able to detect small leaks or hidden damage.

Interior

Page 37	Window observation	<ul style="list-style-type: none"> • Repair/Replace: The windows are relatively old. They are in a state of mild disrepair. Trimming and/or adjustment, hardware improvements, and weatherproofing improvements could be undertaken. In practice, improvements are performed on an as needed basis. Installing replacement windows may be the best long term approach. In the interim, it is important that the window exteriors be well-maintained to avoid rot or water infiltration. • Repair/Replace: Damaged screens were noted.
Page 38	Kitchen cabinets & Counters observation	<ul style="list-style-type: none"> • Repair/Replace: The kitchen and master bathroom countertops are damaged.

Appliances

Page 39	Range / Stove	<ul style="list-style-type: none"> • Safety Issue: The range / stove is missing the anti tip device. This is a device that will prevent unit from tipping forward from small child or older adult putting additional weight on door when open.
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Structure

LIMITATIONS OF STRUCTURE INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.
- The inspector may not enter attics or crawlspaces that are not readily accessible or where entry could cause damage or injury.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Foundation observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

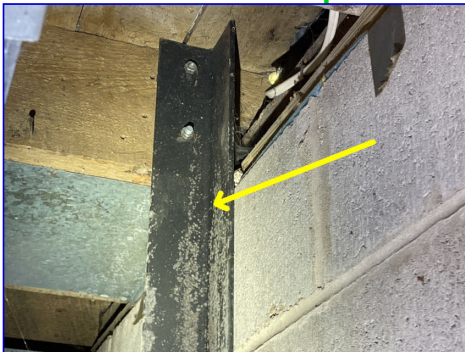
Materials / type Concrete Block

• **Basement and Crawl Space Configuration**

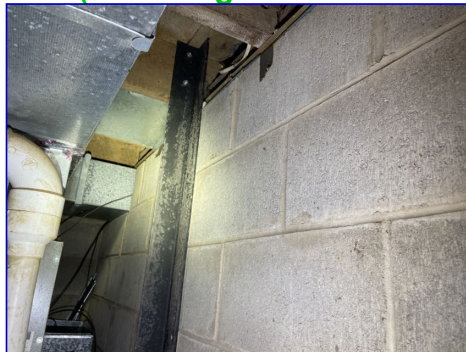
Observations:

• **Monitor:** Foundation repairs were observed along the (east, south and interior basement) wall(s). Recommend consulting with the the current owners regarding these repairs and any warranties or guarantees that may apply.

• **Monitor:** Recommend consulting with the current owner regarding permits for the (Plumbing HVAC electric and rehabs).



Foundation repairs were observed.



Foundation observation



Foundation observation

Floor structure observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Wood Joist

Observations:

• **Repair/Replace:** A beam is notched. This condition risks movement and damage. Re-supporting this beam is recommended.

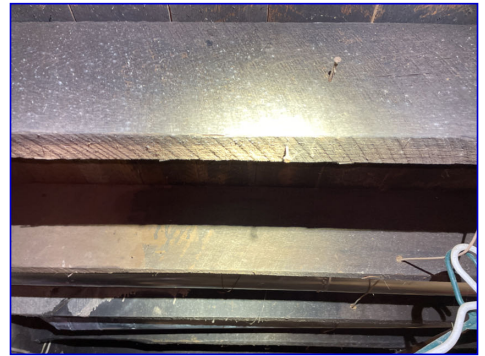
• **Repair:** Support posts for the floor structure should be attached with proper hardware at top and bottom to help prevent displacement.



A beam is notched. This condition risks movement and damage. Re-supporting this beam is recommended.



Support posts for the floor structure should be attached with proper hardware at top and bottom to help prevent displacement.



Floor structure

Wall structure observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

• Not Visible

Roof structure observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Rafters

• OSB or "Waferboard" Sheathing

Observations:

• **Monitor:** Evidence of condensation was observed on the underside of the roof sheathing. This can weaken the sheathing and ultimately necessitate replacement. Improved roof and attic ventilation (see [Insulation and Ventilation](#)) can reduce condensation. During re-roofing, the sheathing should be investigated to determine if replacement is needed.

• **Repair:** Evidence of staining and what appears to be mold was observed. This condition is usually the result of insufficient ventilation. Ventilation should be improved and further testing should be performed to determine what type of clean up may be necessary.



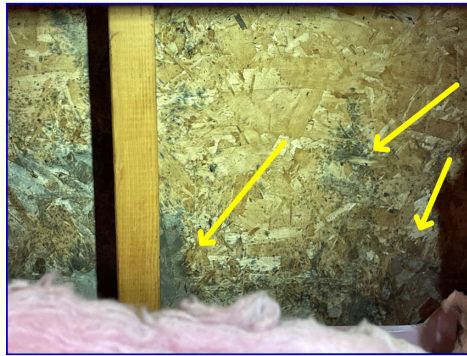
Roof structure



Roof structure



Roof structure



Evidence of staining and what appears to be mold was observed.

Wood destroying insects

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

• **Monitor:** This home is in an area known for wood destroying insect activity. Wood destroying insect can do a substantial amount of damage to the wood structural components of a home. Any form of wood/soil contact should be avoided. Controlling dampness in the soil around the perimeter of a home, including below porches and in crawl spaces, is recommended. Preventative chemical treatment, performed by a licensed pest control specialist, is also advisable.

• **Repair:** Evidence of wood destroying insect damage was observed and there is risk of additional hidden damage since termites can do a substantial amount of damage. If the property has not already been treated, a licensed pest control specialist should be engaged to eliminate further wood destroying insect activity within the home. Damaged wood should be repaired or replaced. Any wood soil contact should be eliminated. (Powder post beetles and termite damage on joists in basement)



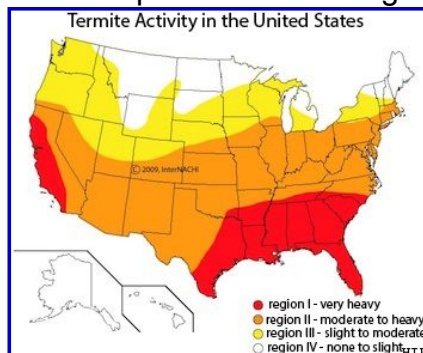
Powder post beetle damage



Powder post beetle damage



Termite damage



Crawl space

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

- **Repair:** All wood debris and/or trash should be removed from the crawl space. Organic debris around a property increases risk of insect or rot damage.



All wood debris and/or trash should be removed from the crawl space.



Crawlspace observation



Crawlspace observation

Basement leakage

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- **Monitor:** The basement shows evidence of common moisture penetration. It should be understood that it is impossible to predict the severity or frequency of moisture penetration on a one-time visit to a home. Review the exterior and roofing sections of this report for opportunities to improve the grading and drainage at ground level. These are often common causes of basement moisture. Further monitoring of the foundation will be required to determine what improvements, if any, will be required. Basement leakage that isn't addressed promptly can lead to structural and indoor environmental concerns.



The basement shows evidence of common moisture penetration.

Roofing

LIMITATIONS OF ROOFING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Not all of the underside of the roof sheathing is inspected for evidence of leaks.
- Evidence of prior leaks may be disguised by interior finishes.
- Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.
- Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.
- Roof inspection may be limited by access, condition, weather, or other safety concerns.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

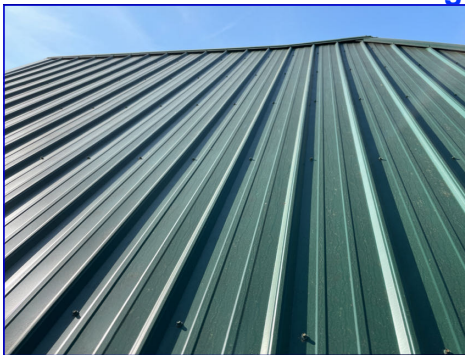
Roof observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

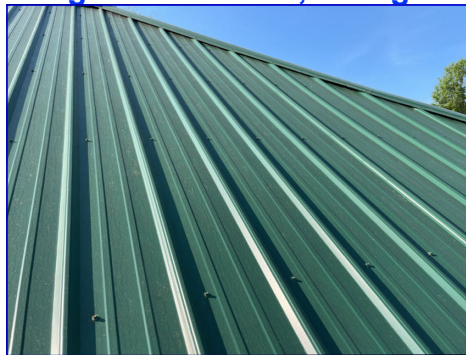
Materials: Metal

Observations:

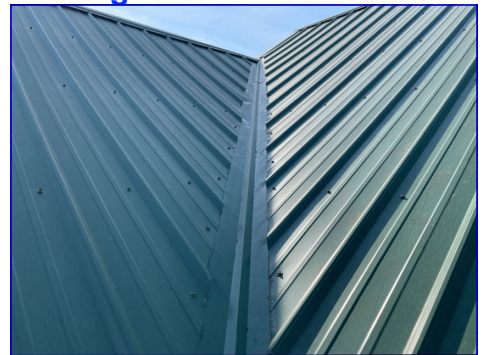
- **Roofing is in good condition, no signs of leaking**



Roofing observation



Roofing observation



Roofing observation



Roofing observation



Roofing observation



Roofing observation

Roof flashing observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Metal**Observations:**

- **Monitor:** The flashing is vulnerable and should be carefully monitored for leaks.(heavy sealant usage around skylight)
- **Monitor:** The skylight flashing should be carefully monitored. Skylight flashings are extremely vulnerable to leakage.
- **Repair/Replace:** The flashing is rusting. It should be painted to extend its life.
- **Repair/Replace:** The flashing is damaged and should be repaired to avoid leaks.
- **Repair/Replace:** The flashing is loose and should be re-secured to avoid leaks.
- **Repair/Replace:** The installation of the flashing is incomplete and should be repaired to avoid leaks.(Eastside at gable vent)



The flashing is damaged and should be repaired to avoid leaks.



The flashing is rusting. It should be painted to extend its life.



The installation of the flashing is incomplete and should be repaired to avoid leaks.



The flashing is loose and should be re-secured to avoid leaks.



The skylight flashing is vulnerable and should be carefully monitored for leaks.(heavy sealant usage)

Roof drainage observation

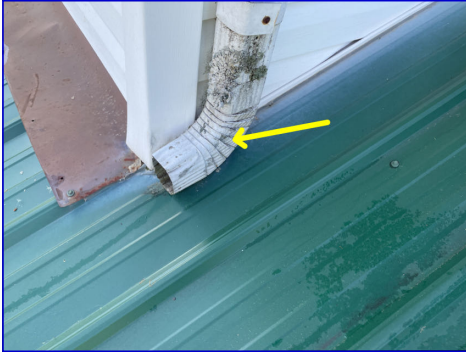
IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Aluminum

- Downspouts discharge above grade

Observations:

- **Monitor:** Rear downspout appeared to leak. Monitor.
- **Monitor:** Downspout(s) that discharge onto the roof should be extended to discharge directly into the gutters below. This condition, if left unattended, can result in premature deterioration of the roofing under the end of the downspout.



Downspout(s) that discharge onto the roof should be extended to discharge directly into the gutters below.



Rear downspout appeared to leak. Monitor.

Method of inspection**Walked on roof**

- Viewed with binoculars

Limitations of roof**Steep Pitch**

- Not all of roof surface was visible at time of inspection.

Exterior

LIMITATIONS OF EXTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- A representative sample of exterior components was inspected rather than every occurrence of components.
- The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.
- Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, breakwalls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.
- The inspector is not required to inspect items that are not visible or accessible from the ground, including but not limited to window and door flashings.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

House

Single Family

- This is an average quality home. As with all homes, ongoing maintenance is required and improvements to the systems of the home will be needed over time. The improvements that are recommended in this report are not considered unusual for a home of this age.

House faces

- East

Occupancy

Vacant - Furnished

Exterior wall observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

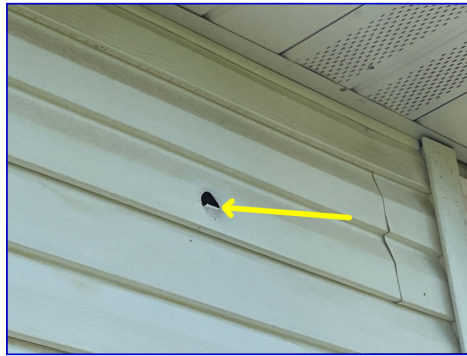
- Materials:** Vinyl Siding
- Artificial Stone

Observations:

- **Improve:** The siding is lacking proper sealant joints at intersections of dissimilar materials. This condition should be repaired to help prevent moisture intrusion. (Stone meets trim intersections, etc.)
- **Repair/Replace:** The siding is damaged at (south) and should be repaired or replaced.



The siding is damaged at (south) and should be repaired or replaced.



The siding is damaged at (south) and should be repaired or replaced.



The siding is damaged at (south) and should be repaired or replaced.



The siding is lacking proper sealant joints at intersections (Stone meets trim intersections, etc.)

Eaves / Soffits / Fascias observation

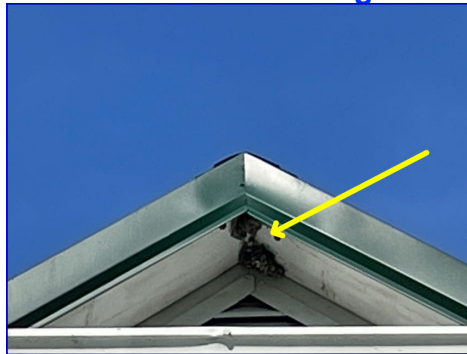
IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Wood

• Vinyl

Observations:

- Note for client-nest observed at gable vent facing east



Note for client-nest observed at gable vent facing east

Exterior doors / windows observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

• Metal

Observations:

- Maintenance Item: The door frames require painting.

• Improve: Exterior doors are lacking maintenance and should be improved.



The door frames require painting.



Exterior doors are lacking maintenance and should be improved.

Driveway observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Gravel

Observations:

- **Replace:** The driveway surface is in a deteriorated condition. Resurfacing is necessary to correct this condition.



The driveway surface is in a deteriorated condition. Resurfacing is necessary to correct this condition.

Walkway observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Concrete

Observations:

- **Walkway has normal wear and tear.**



Walkway has normal wear and tear.

Porch / Deck / Patio observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Concrete
• Wood

Observations:

• **Patio in good condition**

• **Maintenance Item: The deck should be painted or stained to improve durability.**

• **Note: Access below decks and/or porches was not possible.**

• **Monitor: Recommend requesting copies of permits/plans for deck installation.**

• **Repair: One porch post base is dilapidated. It should be replaced.**

• **Repair: The lattice is damaged. It should be replaced.**



Patio observation



The deck should be painted or stained to improve durability.



One porch post base is dilapidated. It should be replaced.



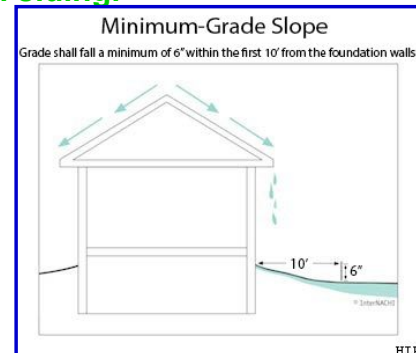
The lattice is damaged. It should be replaced.

Lot drainage observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Level Grade**Observations:**

- **Improve:** The grading should be improved to promote the flow of storm water away from the house. This can often be accomplished by the addition or re-grading of top soil. The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. At least eight (8) inches of clearance should be maintained between soil level and the bottom of exterior wall siding.



The grading should be improved to promote the flow of storm water away from the house.

Landscaping / Fence observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

- **Monitor:** The retaining wall shows evidence of movement and rot. This condition should be monitored. It is impossible to determine the rate of movement and/or deterioration during a one time visit to the house.
- **Repair:** The fencing is in only fair condition. Minor repairs are needed.



The fencing is in only fair condition. Minor repairs are needed.

The retaining wall shows evidence of movement and rot.

Steps observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Wood

Exterior limitations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- **Note: Access below decks and/or porches was not possible.**
- **The integrity and moisture content of framing and sheathing behind finished coverings (exterior siding, cement stone coverings, fiber cement siding, drywall, etc.) is not visible to inspect and beyond the scope of our services and is excluded within our inspection.**
- **The shed/Outbuilding is not part of the inspection.**

Electrical

LIMITATIONS OF ELECTRICAL INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Electrical components concealed behind finished surfaces are not inspected.
- Only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage restricted access to some electrical components which may not be inspected.
- The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components such as outdoor lighting, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.
- The inspector is not required to determine the accuracy of electrical system labels or operate any system that may be shut down.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Electrical service observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Electric service Underground Service

- 120/240 Volts
- Service entrance multi strand aluminum
- Siemens



Main electric switch



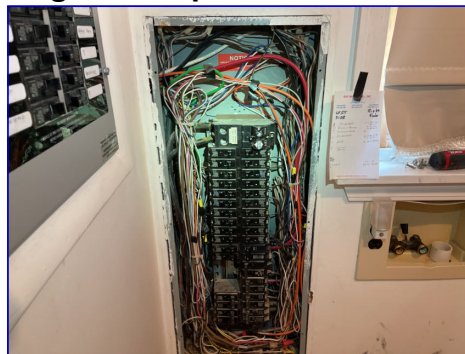
Electric meter observation

Service panel observations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Service panel Utility Room

- 200 Amp
- Panel Rating 200 Amp



Electric panel observation

Distribution wiring observation

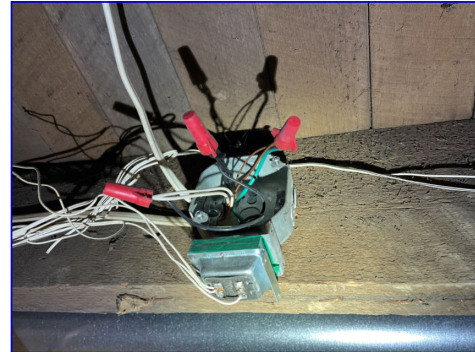
IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials: Copper**Observations:**

- **Repair:** Wiring exposed on exterior should be protected by a rigid conduit (near driveway).
- **Safety Issue:** All junction boxes should be fitted with cover plates, in order to protect the wire connections (Basement).



Wiring exposed on exterior should be protected by a rigid conduit (near driveway).



All junction boxes should be fitted with cover plates, in order to protect the wire connections (Basement).

Service grounding observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Copper

- Ground rod connection not visible

Outlets / Switches / Fixtures observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Grounded

- Bathrooms
- Exterior
- Kitchen

Observations:

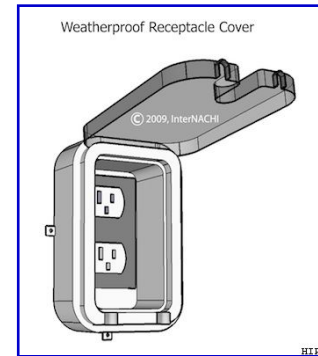
- **Repair/Replace:** A ground fault circuit interrupter (**GFCI**) outlet is inoperative. This circuit should be repaired. (Exterior by driveway).
- **Repair/Replace:** Missing weather covers on exterior outlets should be replaced to help prevent moisture in outlets.(Front porch)
- **Repair/Replace:** Repair inoperative lights where needed. If bulbs aren't burned out then further evaluation will be needed for circuit (kitchen, Master bathroom, second-floor loft ceiling fan light, Second-floor hallway bathroom light,porch lights)
- **Repair/Replace:** The damaged light fixture should be repaired or replaced at (Rear floodlight).
- **Repair:** Ceiling fans were inoperable(East bedroom)



The damaged light fixture should be repaired or replaced at (Rear floodlight).



Missing weather covers on exterior outlets should be replaced to help prevent moisture in outlets. (Front porch)



Smoke/Carbon Monoxide detectors observations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Present

Observations:

- **Improve, Safety Issue: Recommend installing carbon monoxide detector. Detectors should not be installed on ceilings, one unit on each level of the home is recommended.**
- **Improve: Smoke detectors are recommended to be in each sleeping area, hall outside of sleeping area and on each floor.**
- **Improve, Safety Issue: Smoke detectors should be replaced every 10 years. The detectors present should be investigated to determine if they need replaced.**

Electrical limitations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- **Generator not part of inspection**



Generator not part of inspection

Heating system

LIMITATIONS OF HEATING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- The adequacy of heat supply or distribution balance is not inspected.
- The interior of flues or chimneys which are not readily accessible are not inspected.
- The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.
- Solar heating equipment/systems are not inspected.
- The inspector is not required to activate heating equipment when ambient temperatures or other circumstances are not conducive to safe operation or may cause damage to equipment
- The inspector will not light or ignite manual pilot flames

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Heating system observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

System type Manufacturer: Trane Date of Manufacture:1995

- Forced Air Furnace
- Thermostat location(s) Dining room

Fuel source Natural Gas

Observations:

- Model number and serial number

• **Maintenance Item:** Even though the HVAC system was working at the time of inspection the inspector was unable to locate HVAC service records which would indicate a complete service and functional evaluation of the HVAC system. This should be a yearly maintenance item to assure safe and reliable function of the system. Furthermore, due to age and no recent service records we can not predict with any certainty when repairs will be needed or breakdowns may occur.

• **Deferred Cost Item:** Given the age of the furnace(27), it may be near the end of its useful life. You should reserve funds to be ready to purchase a new furnace.

• **Repair:** The heating system requires servicing (did not respond to operating controls). This should be a regular maintenance item to assure safe, operation.

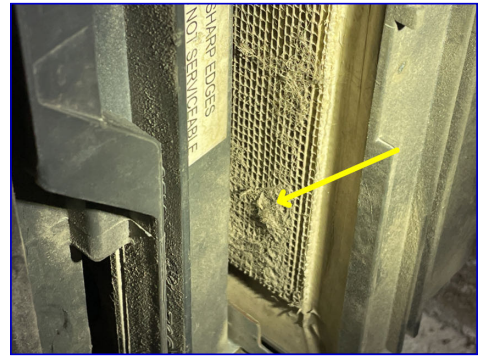
- **Repair:** The dirty air filter should be replaced.



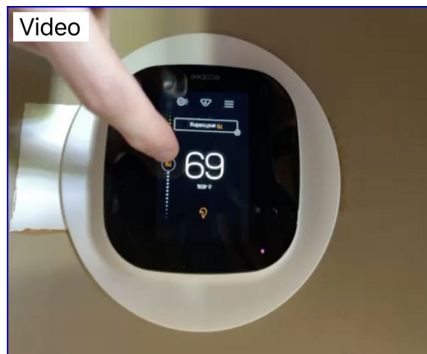
1995 Trane furnace



Model number and serial number



The dirty air filter should be replaced.



The heating system requires servicing (did not respond to operating controls).

Ductwork and Exhaust observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Non-Insulated
- Plastic

Observations:

- Improve: Duct cleaning is recommended.

Cooling system

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Window mounted air conditioning units are not inspected.
- The cooling supply adequacy or distribution balance are not inspected.
- The air conditioning system may not be fully tested if the outdoor temperature is at or below 65 degrees F.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Cooling system observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

System type Manufacturer Trane Date of Manufacture: 1995
• Central Air Conditioner

Fuel source Electric

Observations:

- **Model number and serial number**

• **Deferred Cost Item: As is not uncommon for homes of this age and location, the air conditioning system is old(27). It will require a higher level of maintenance, and may be more prone unanticipated breakdowns. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible. You should anticipate replacement in the near future.**

- **Good temperature differential(16 degree difference observed from supply and return air registers)**

• **Repair: Damaged and or missing insulation on refrigerant lines should be repaired. These outside lines should be insulated all the way to the compressor unit to prevent loss of temperature in the lines.**

- **Repair: The outdoor unit of the air conditioning system requires cleaning.**



1995 Trane AC unit



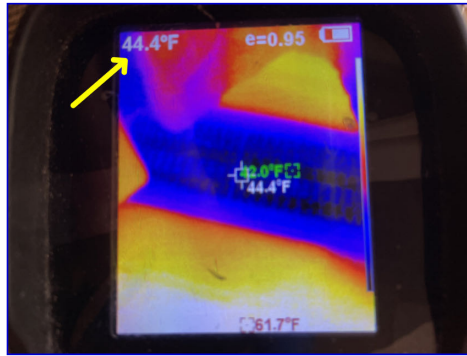
Model number and serial number



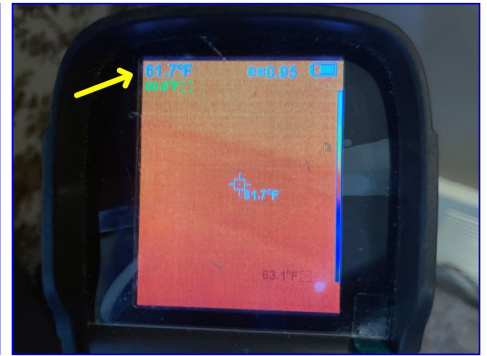
The outdoor unit of the air conditioning system requires cleaning.



Damaged and or missing insulation on refrigerant lines should be repaired.



AC supply air temperature



AC return air temperature

Insulation/Ventilation

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.
- Any estimates of insulation R values or depths are rough average values.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Exterior Wall Insulation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Unknown

Basement / Crawlspace observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Fiberglass Batts

Observations:

- **Improve: The moisture (vapor) barrier in the crawl space floor should be adjusted to cover all areas of exposed soil.**



The moisture (vapor) barrier in the crawl space floor should be adjusted to cover all areas of exposed soil.

Attic observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials:

- Fiberglass Batts
- Attic Access Location: (loft closet)

Observations:

- **Typical insulation levels**
- **Improve: Consider wrapping shower vent duct in insulation to help prevent condensation forming in extreme cold temperatures.**
- **Repair: Attic hatch cover was missing.**



Attic hatch cover was missing.



Insulation observation



Consider wrapping shower vent duct in insulation to help prevent condensation forming in extreme cold temperatures.

Ventilation observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Vent type Gable vent

- Bathroom
- Dryer

Observations:

- **Monitor:** Every effort is made to view and inspect dryer vent piping, however, vent piping may be inaccessible due to attic insulation, wall coverings, etc.

Attic limitations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Limitations

- The inspector was unable to visually see any item or component under attic insulation, such as bottom of truss or ceiling joist at drywall, electric and exhaust vents.

Plumbing

LIMITATIONS OF PLUMBING INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions:

- Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected. Sealed access panels may not be opened if damage could occur.
- The inspector is not required to determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply.
- Clothes washing machine connections are not inspected.
- Interiors of flues or chimneys which are not readily accessible are not inspected.
- Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.
- Bathtubs and showers are not tested with the benefit of a person standing in the fixture. Leaks may arise that were not visible at the time of inspection. These fixtures are not tested for leakage or overflow protection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Supply Plumbing

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Water Supply Info Water supply source - Private Water Supply reported by Residential Property Disclosure (RPD)

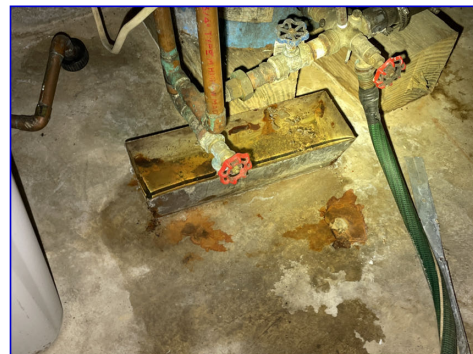
- Service pipe to house Steel
- Main water location -side wall of basement
- Interior supply piping - Copper

Observations:

- **Repair/Replace: The supply piping is leaking (near well equipment) and should be repaired.**
- **Repair/Replace: Water did not flow when fixtures were operated. (Second floor hallway bathtub hot water, Master bath/shower hot and cold water)**



Main water shut off valve



The supply piping is leaking (near well equipment) and should be repaired.

Waste System observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Waste info Private Sewage System- Reported By: Disclosure

- **DWV** Piping **PVC**

Observations:

- **Monitor:** No clean out for the main drain was found. Clean outs are useful when attempting to remove obstructions within the drainage piping. It may be prudent to have a clean out installed now, or verify its location with the existing owner.



Main waste pipe observation

Water Heater observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Water heater info

- **Manufacturer** Vaughn **Date of Manufacture:**1995
- **Water Heater Capacity :**115
- **Electric**
- **Rental Unit**

Observations:

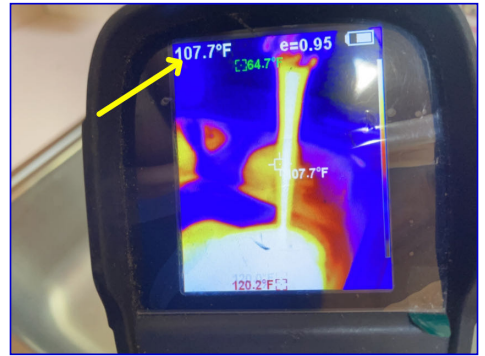
- **Model number and serial number**
- **Water heater was working and no visible evidence of leaks at time of inspection.**
- **Deferred Cost Item:** The water heater is an old unit (27)that may be approaching the end of its useful life. It would be wise to budget for a new unit. One cannot predict with certainty when replacement will become necessary.
- **Maintenance Item:** It is recommended that the water heater be serviced. This is recommended by the manufacturer to help ensure safe, reliable operation of the appliance.
- **Water heater was rented. Recommend contacting the company it was rented through.**
- **Repair:** Wiring serving the electric water heater should be protected by a conduit.



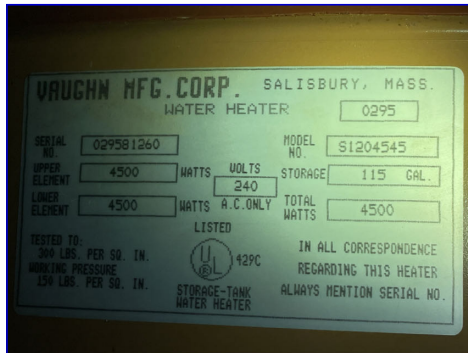
Water heater observation



Wiring serving the electric water heater should be protected by a conduit.



Water heater was working



Model number and serial number



No signs of leaking at water heater

Fuel Storage and Distribution observation

IN	NI	NA	NP	RE
✓				

Fuel storage Natural Gas Main Valve At meter outside south wall

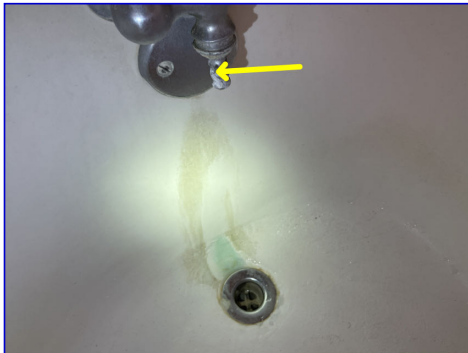
Gas meter observation

Plumbing Fixtures

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

- **Monitor:** The majority of plumbing fixtures are old.
- **Improve:** The Second-floor hallway bathtub spout is leaky.
- **Repair:** The (Second-floor hallway bathroom) sink was clogged.
- **Repair:** The toilet is loose at (master). Loose toilets should be uninstalled, pipe connection and floor area checked for leaks and the wax ring replaced prior to re-installing. Loose toilets can cause small leaks that go undetected causing hidden damage. The home inspection may not be able to detect small leaks or hidden damage.



The Second-floor hallway bathtub spout is leaky.



The (Second-floor hallway bathroom) sink was clogged.

Plumbing limitations

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- **Septic was not inspected**
- **Well was not inspected**
- **Water softener / conditioning system not part of inspection**

Interior

LIMITATIONS OF INTERIOR INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.
- Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.
- The inspection is visual and non-invasive, the inspector will not take any action that may result in damage to an item or component in the building.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Wall and ceiling observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Plaster

Observations:

- **Monitor:** An apparent water staining was noted (East bedroom,dining room). The area was dry at the time of the inspection. Recommend consulting with the current owners for additional information prior to closing. If the leak is still active, we recommend repair/replace as needed to remedy the leak.
- **Monitor:** Damage to the interior finish was observed.
- **Monitor:** Typical flaws were observed.



An apparent water staining was noted (East bedroom).



An apparent water staining was noted (dining room).



Damage to the interior finish was observed

Floor observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials: Carpet

- Wood
- Concrete

Observations:

- **Monitor:** Floor slopes are apparent.



Floor slopes are apparent.

Window observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Window type

- Double/Single Hung

Observations:

- **Monitor:** Water staining was observed around the skylight windows. No active leaking found. Monitor.
- **Monitor:** It may be desirable to replace window screens where missing. The owner should be consulted regarding any screens that may be in storage.
- **Repair/Replace:** The windows are relatively old. They are in a state of mild disrepair. Trimming and/or adjustment, hardware improvements, and weatherproofing improvements could be undertaken. In practice, improvements are performed on an as needed basis. Installing replacement windows may be the best long term approach. In the interim, it is important that the window exteriors be well-maintained to avoid rot or water infiltration.
- **Repair/Replace:** Damaged screens were noted.



Water staining was observed around the skylight windows. No active leaking found. Monitor.



Water staining was observed around the skylight windows. No active leaking found. Monitor.



Damaged screen

Doors observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Door type Wood

Observations:

- **Improve:** Doors should be trimmed or adjusted as necessary to work and seal properly.

Kitchen cabinets & Counters observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

- **Repair/Replace:** The kitchen and master bathroom countertops are damaged.



The kitchen countertop was damaged.



The master bathroom countertop was damaged.

Stairs observation

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Interior limitations

IN	NI	NA	NP	RE
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- **Moderate volume of belongings (throughout), prevented a full inspection of this area.**

Appliances

LIMITATIONS OF APPLIANCES INSPECTION

As we have discussed and as described in your inspection contract, this is a visual inspection limited in scope by (but not restricted to) the following conditions

- Thermostats, timers and other specialized features and controls are not tested.
- The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

Appliances Tested:

Electric Range Kenmore

- Dishwasher Frigidare
- Waste disposal
- Refrigerator Kenmore
- Kitchen Exhaust Hood NuTone
- Appliances are not tested through complete cycles. Limited testing is performed to ensure the appliance is operating.
- The majority of the appliances are older. While they may be functional at the time of inspection, their remaining service life cannot be predicted.

Range / Stove

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

- All burners and oven heating element were operational at time of inspection.

- **Safety Issue: The range / stove is missing the anti tip device. This is a device that will prevent unit from tipping forward from small child or older adult putting additional weight on door when open.**



Range observation



All burners and oven heating element were operational at time of inspection.

Refrigerator

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The refrigerator was functioning at the time of inspection.



Refrigerator observation



The refrigerator was functioning at the time of inspection.

Waste Disposer

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The waste disposal was functional at the time of inspection.



Disposal observation

Kitchen Exhaust

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The kitchen exhaust hood operated



Kitchen exhaust observation



The kitchen exhaust hood operated

Dishwasher

IN	NI	NA	NP	RE
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- The dishwasher was tested through a rinse cycle at time of inspection. The dishwasher operated no leaks were observed at time of inspection. Please note that not all functions and cycles are tested during inspection.



Dishwasher observation



Dishwasher observation