

P & D
BUILDERS
— EST. 1962 —

[illegible]

Diagram illustrating the front elevation of the building, showing the roof structure, siding, and trim details. The roof is labeled with a pitch of 12/7. A note specifies: "OBL. LAYER FELT/ICE GUARD ANY ROOF PITCH BELOW 3/12". The drawing also indicates "LAP SIDING" and "5/4x4 TRIM" around the door and windows. A note at the bottom states: "6x6 WOOD POSTS STYLE T.B.O. BY OWNER".

Architectural drawing of the left elevation of a house. The drawing shows a two-story structure with a gabled roof. Key features include a garage on the left, a central door, and a window on the right. Annotations specify materials like "5/8" S/L WOOD POST TRIM & FINISH T.B.O." and "5/8" S/L TRIM". Roof pitches are indicated as 12/7. The drawing is labeled "LEFT ELEVATION" and includes a scale of 1/8" = 1'-0".

Diagram illustrating Staggered Shingle Siding (Type I.B.D. per Builder). The diagram shows a grid of rectangular shingles arranged in a staggered pattern, with horizontal joints offset between adjacent courses.

EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS

SEE ROOF PLAN FOR SOFFIT & RAKE SIZES

FLASH & CALK ELEVATIONS AS NECESSARY TO PROVIDE A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM

WINDOW TYPE & MANUFACTURER: VINYL SINGLE-HUNG & PICT (AFTER TO BE DETERMINED)

WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
CONFIRM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER

SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

ALL EXTERIOR WOOD TRIM TO BE EITHER CEMENT-BOARD OR WOOD COMPOSITE (EX. LP SMARTTRIM)

LOWER LVL LIVING SPACE =	1,204 SQ.FT.
UPPER LVL LIVING SPACE =	1,743 SQ.FT.
TOTAL LIVING SPACE =	2,947 SQ.FT.

Revisions	Due
1/30/20 & 2/3/20	rwf
2/14/20	jam
2/27/20	jam
3/3/20 & 3/10/20	j/r
3/17/20 & 3/23/20	j/r
3/31/20 & 4/24/20	j/r

Designed By: rwd	Date: 1/16/20	Page: 5 of 9
---------------------	------------------	-----------------

P&D Builders Job # 1447

EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O/C UNLESS NOTED)
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)

CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF

ALL CONSTRUCTION IS TO CONFORM TO THE APPROPRIATE BUILDING CODE FOR THE LOCATION OF CONSTRUCTION.

WINDOW TYPE/MANUFACTURER : VINYL SINGLE/DBL-HUNG & PICT PER PLAN

CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HGT'S W/ MANUFACTURER OR SUPPLIER

ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF WOOD FRAMING LENGTHS (OUTSIDE OF SHEATHING) OR OPENINGS TYP.

AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS OR FLUES

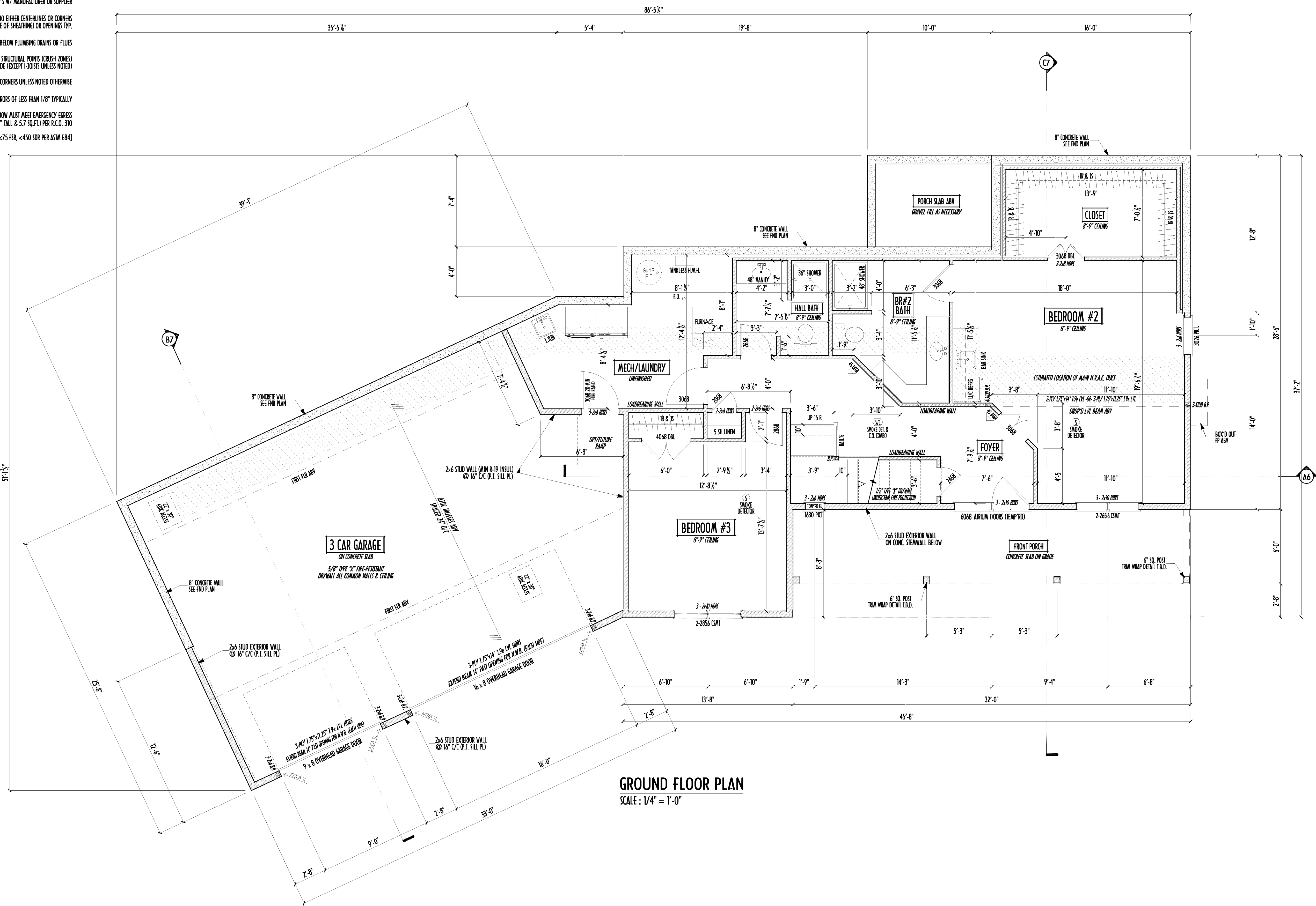
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT JOUSPAN PER CODE (EXCEPT I-JOISTS UNLESS NOTED)

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED OTHERWISE

NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY

IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS REQUIREMENTS (MIN. 20" WIDE X 24" TALL & 5.7 SQ.FT.) PER R.C.O. 310

FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCD 314 & 315 (<75 PSR, <450 SDR PER ASTM E64)



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"



LOWER LVL LIVING SPACE =	1,204 SQ.FT.
UPPER LVL LIVING SPACE =	1,743 SQ.FT.
TOTAL LIVING SPACE =	2,947 SQ.FT.

GROUND FLR

39 Leafy Knoll Way
Johnstown, Ohio 43031
(614) 207-6266
e-mail: damnednd@gmail.com

© Copyright - Danne Residential Design LLC

Danne
Residential Design & Drafting

RONALD W. DANNE
1717085

RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2023

Revisions	By	Date	Page
1/19/2018	rwd	2/1/20	1
2/1/20	jam	2/27/20	1
3/1/20	jam	3/1/20	1
3/1/20	jam	3/1/20	1
3/1/20	jam	3/1/20	1

Designed By: rwd Date: 1/16/20 Page: 3 of 9

Revisions	Day
1/30/20 & 2/1/20	wd
2/1/20	jam
2/27/20	jam
3/3/20 & 3/10/20	f/r
3/17/20 & 3/25/20	f/r
3/31/20 & 4/2/20	f/r

Designed By:	Date:	Page:
rwd	1/16/20	4 of 9



UPPER FLOOR CEILINGS AT 8'-1 1/8" R/8" ROUNDED UNLESS NOTED
UPPER FLOOR FLOORS/HEADERS AT 6'-10" UNLESS NOTED

EXTERIOR WALLS ARE SHOWN 6" WIDE C26 STUDS @ 16" O/C UNLESS NOTED
INTERIOR WALLS ARE SHOWN 3 1/2" WIDE C24 STUDS @ 16" O/C UNLESS NOTED

CONTRACTORS TO SHOW VERY ALL DIMENSIONS AND REPORT ANY
DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LINE (LWD) - 400 - PSF

ALL CONSTRUCTION IS TO CONFORM TO THE APPROPRIATE BUILDING
CODE FOR THE LOCATION OF CONSTRUCTION.

WINDOW TYPE/MANUFACTURER: VINYL SINGLE/DUAL-HUNG & PICT PER PLAN

CONFINA WINDOW ROUNDO-OPENINGS AND HEADER HIGHS W/ MANUFACTURER OR

ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS
OF WOOD FRAMING MEMBERS (OUTSIDE OF SHEATHING OR OPENINGS TYPE

AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS OR FLUES

BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)

BRACE FLOORJOISTS AT 40' SPAN PER CODE (EXCEPT 1 JOISTS UNLESS NOTED)

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED OTHERWISE:

NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LES

IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS
REQUIREMENTS (MIN. 20" WIDE BY 24" TALL & 5.7 SQ.FT. PER R.C.D. 310

FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCD 314 & 315 (-75 PSF,

LOWER LVL LIVING SPACE =	1,204 SQ.FT.
UPPER LVL LIVING SPACE =	1,743 SQ.FT.
TOTAL LIVING SPACE =	2,947 SQ.FT.

MAX. UNBALANCED FILL FOR 8" THICK POURED CONC. WALL OR C.M.U. BLOCK WALL = 7'-0" ABOVE SLAB

WATERPROOFING / DAMPROOFING PER LOCAL CODE

ALL STRUCTURAL LUMBER IS MIN. CANADIAN SPECIES #2 SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE

CONTRACTORS SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF

BASEMENT ELECTRICAL LAYOUT FOR REFERENCE ONLY - CONSULT WITH HOMEOWNER PRIOR TO INSTALLATION FOR EXACT LOCATIONS

STEP DOWN FOOTING AS NECESSARY PER SITE CONDITIONS TO REMAIN BELOW LOCAL FROST LINE (MIN 36")

ALL POST PADS DESIGNED USING AN ASSUMED MIN SOIL BEARING CAPACITY OF 1500 PSF. VERIFY WITH SITE CONDITIONS AS REQUIRED

GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY MIN. 6" FALL IN FIRST 10' OF RUN

AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS & TRAPS

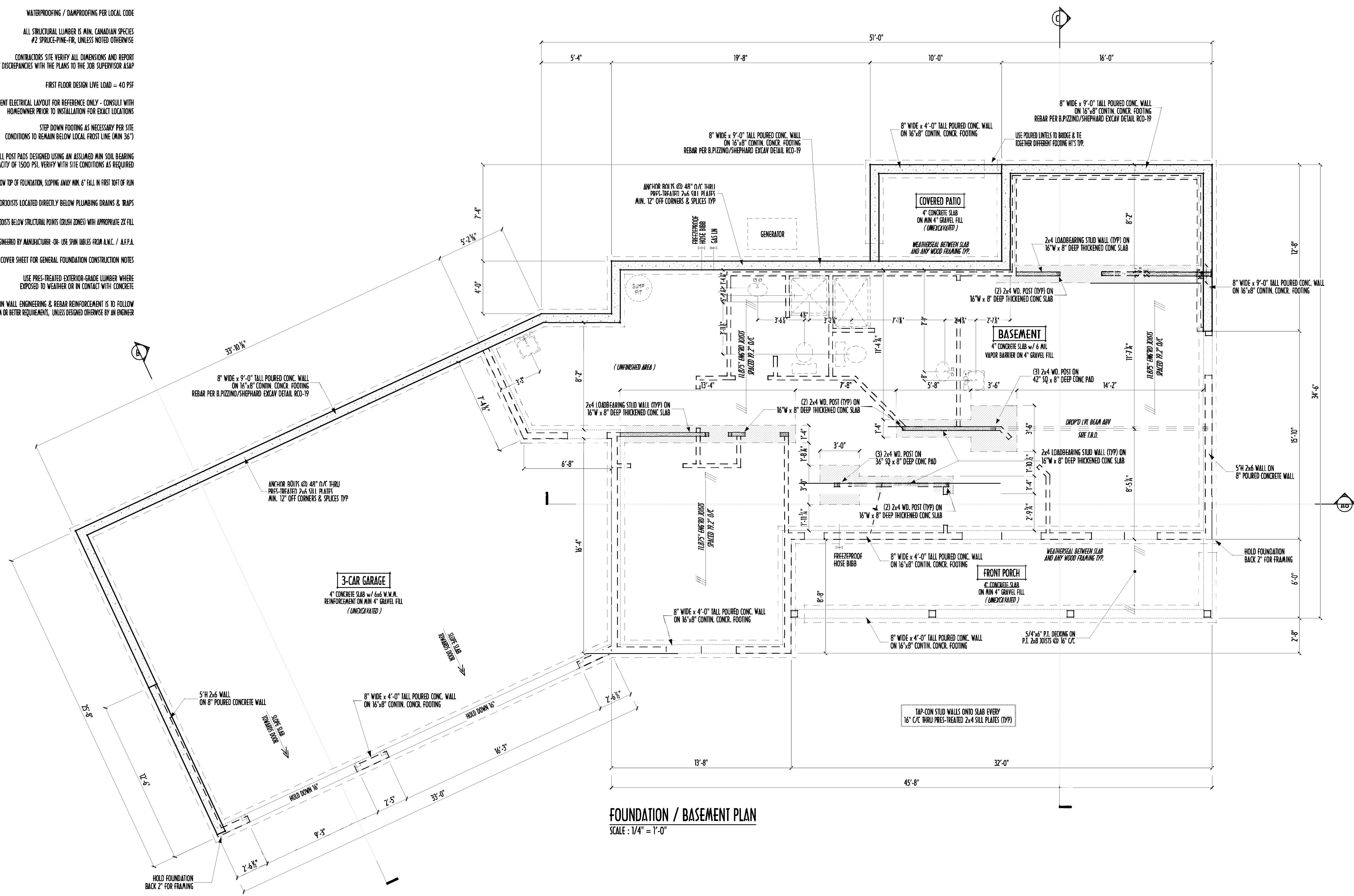
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES) WITH APPROPRIATE 2X FILL

JOIST SIZE & SPACING TO BE ENGINEERED BY MANUFACTURER - OR USE SPAN TABLES FROM A.I.C. / A.E.P.A.

SEE COVER SHEET FOR GENERAL FOUNDATION CONSTRUCTION NOTES

USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE

ALL FOUNDATION WALL ENGINEERING & REBAR REINFORCEMENT IS TO FOLLOW CODE-MINIMUM OR BETTER REQUIREMENTS, UNLESS DESIGNED OTHERWISE BY AN ENGINEER



FOUNDATION / BASEMENT PLAN
SCALE: 1/4" = 1'-0"

BASEMENT SLAB =	1,162 SQ. FT.
FRONT PORCH =	192 SQ. FT.
GARAGE SLAB =	873 SQ. FT.
BACK PORCH SLAB =	74 SQ. FT.

LOWER LVL LIVING SPACE =	1,204 SQ. FT.
UPPER LVL LIVING SPACE =	1,743 SQ. FT.
TOTAL LIVING SPACE =	2,947 SQ. FT.

Revisions	By	Date
1/16/2018	rwd	1/16/20
2/14/20	jam	2/14/20
2/27/20	jam	2/27/20
3/3/2018	j/r	3/3/20
3/17/2018	j/r	3/17/20
3/31/2018	j/r	3/31/20

Designed By:	Date:	Page:
rwd	1/16/20	2 of 9