



PLAN 2



Single-Story



2,811 Sq Ft



3 - 4 Bedrooms



3.5 Bathrooms



4-Car Garage

**Optional Office*

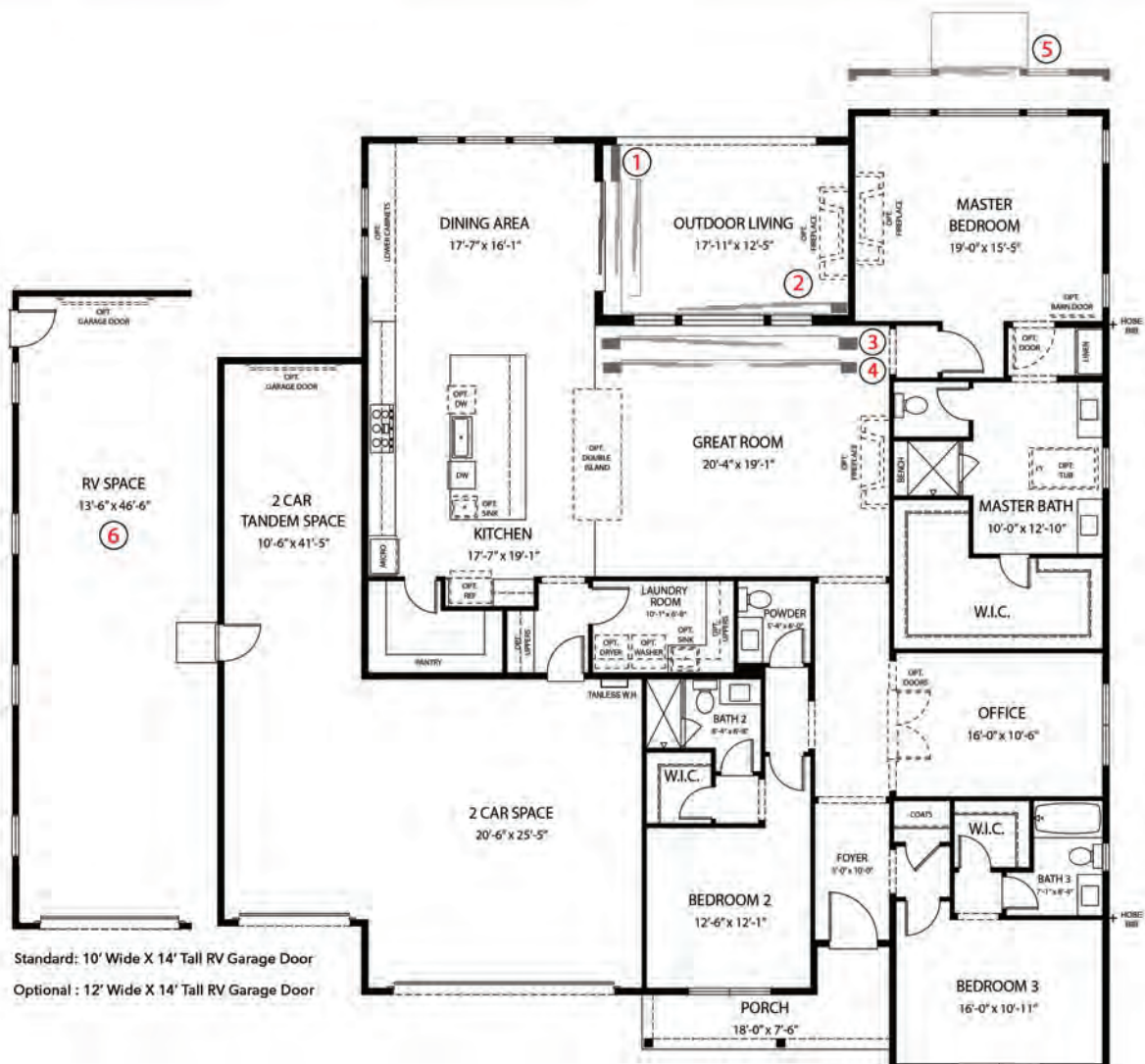
**Optional RV Garage Extension*

Contact Information

775-971-4204 | ShadowHills@RyderHomes.com | RyderHomes.com/ShadowHills
Sales Office Located at 11687 Sugarloaf Peak Drive, Sparks, NV 89441



2,811 Square Feet | 3 - 4 Bedrooms | 3.5 Bathrooms | 4-Car Garage

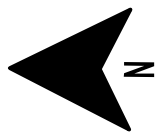
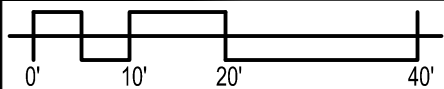


OPTIONAL CONFIGURATIONS

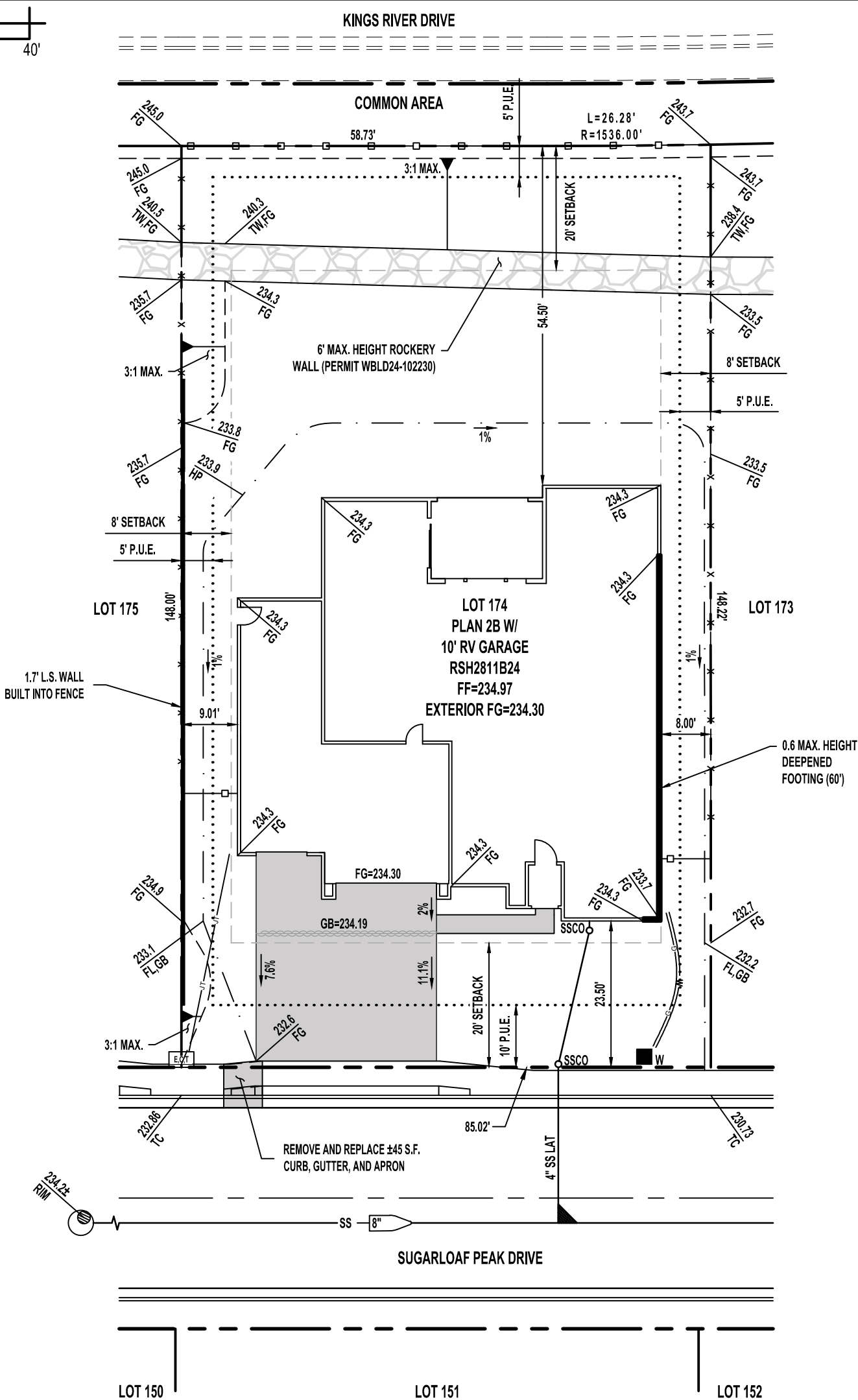
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|---|------------------------------------|
| ① 9ft Stacking Doors At Dining | ⑤ 6ft Sliding Glass Door at Master |
| ② 9ft & 16ft Corner Stacking Doors | ⑥ Extended RV Garage |
| ③ 16ft Stacking Door At Great Room | ⑦ Bedroom 4 |
| ④ 4 Panel 16ft Sliding Glass Door At Great Room | |

Scan the QR Code to visit our Interactive Floor Plan, where you can browse the available builder options and elevation styles for the Shadow Hills Plan 2 Homes.





SCALE: 1" = 20'



GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND EXISTING GRADES PRIOR TO START OF CONSTRUCTION.
- ALL DIMENSIONS SHOWN FROM PROPERTY LINE TO HOUSE ARE TO OUTSIDE FACE OF STEM WALL.
- DRAINAGE SWALES SHALL SLOPE A MINIMUM OF 1%.
- MAXIMUM ALLOWED DRIVEWAY SLOPE IS 14.0%.
- LEAD WALKS PER LANDSCAPE DESIGNER.
- SETBACKS FOR THIS LOT ARE AS FOLLOWS:
FRONT YARD - 20', GARAGE - 20',
SIDE - 8', REAR - 20'
- PUBLIC UTILITY EASEMENTS FOR THIS LOT ARE AS FOLLOWS:
FRONT YARD - 10', SIDE YARD - 5', REAR YARD - 5'
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND ENTIRE LOT INCLUDING ALL DOOR STOOPS TO ENSURE THAT THE ENTIRE LOT DRAINS FREELY WITH NO INTERFERENCE. REF. ARCHITECTURAL PLANS FOR ALL LOCATIONS AND SIZES OF ALL STOOPS.
- A GRADING AND DRAINAGE CERTIFICATION IS REQUIRED UPON COMPLETION OF THE LOT BY A LICENSED SURVEYOR OR ENGINEER.
- THIS PLAN IS INTENDED FOR GRADING ONLY.
- NO RETAINING WALL CONSTRUCTION ALLOWED UNDER THIS PERMIT.
- DEEPEINED FOOTINGS AND/OR LOWER GARAGE FINISH FLOORS MAY BE REQUIRED. REF. THIS PLAN FOR GRADING INFORMATION.
- DRY UTILITY INFORMATION (E,C,T,G) ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY IN THE FIELD THE EXACT LOCATION OF EACH SERVICE PRIOR TO THE START OF CONSTRUCTION.
- ADD 4400 TO ALL SPOT ELEVATIONS.
- BACKWATER VALVE IS NOT REQUIRED ON THIS LOT.
- LOT SQUARE FOOTAGE = 12,584 ± S.F.

LEGEND:

	P.C.C. FLATWORK
	6' SOLID FENCE (GOOD NEIGHBOR)
	6' SOLID FENCE (PERIMETER)
	OPEN VIEW FENCE
	DRAINAGE SWALE
	PUBLIC UTILITY EASEMENT (P.U.E.)
	SETBACK LINE
	SLOPE AND DIRECTION (3:1 MAX.)
	SEWER 2-WAY CLEANOUT / MANHOLE
	WATER METER
	APPROX. LOCATION OF ELECTRIC, CABLE, TELEPHONE, AND GAS
	RETAINING/LANDSCAPE WALL
	GRADE BREAK



07.15.2026

RYDER HOMES
985 DAMONTE RANCH PKWY #140
RENO, NV 89521
775-823-3788

HARRIS RANCH VILLAGE 2-B
LOT 174 - PLOT PLAN
APN: 538-395-07
11644 SUGARLOAF PEAK DRIVE
WASHOE COUNTY, NV

DRAWN BY: K.A.
DATE: 07.15.2026
PROJECT NO: 22-260

JKAE
architecture + interiors + engineering



RYDER HOMES

INVENTORY HOMES ALL OPTIONS SHEET

As of Change order: CO_01

Community:	Shadow Hills	Print Date:	August 21, 2026
Job No.:	NOR2B174	Floor Plan:	Shadow Hills, Plan 2
Lot:	174	Garage Direction:	LH
Property Address:	11644 Sugarloaf Peak Dr. Sparks, NV 89441		

Option Description	Option Origin	QTY
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Appliances

Kitchen Packages

NOR911709 - KITCHENAID Upgrade Package #1 <i>KitchenAid 36" 5-Burner Gas Cooktop #KCGS956ESS; 36" Wall-Mount 3-Speed Canopy Hood #KWC736SSS; 30" Combination Microwave Wall Oven #KOE530SPS; KitchenAid 41 dBA Dishwasher w/3rd Level Utensil #KDTS324SPS. CABINET ABOVE RANGE IS OMITTED Please Note: Model Numbers Subject To Change</i> -	CO_1	1.00
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INVENTORY HOMES ALL OPTIONS SHEET

As of Change order: CO_01

Community: Shadow Hills Job No.: NOR2B174 Lot: 174 Property Address: 11644 Sugarloaf Peak Dr. Sparks, NV 89441	Print Date: August 21, 2026 Floor Plan: Shadow Hills, Plan 2 Garage Direction: LH
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Option Description	Option Origin	QTY
Cabinets		
Built-In Cabinets		
NOR212312 - Cabinets: Full Height Stacked Cabinets in KITCHEN <i>Glass at the doors and lighting, as shown in the models, are not included and must be purchased separately.</i>	CO_1	1.00
*** PAINT = IRISH CREME *** -		
NOR212426 - Cabinets: LAUNDRY ROOM Uppers - Cabinet Upgrade #4 *** <i>PAINT = IRISH CREME *** -</i>	CO_1	1.00
NOR911312 - Cabinets: Drawers Below COOKTOP <i>Cabinet configuration to match the PLAN 3 model. The top drawer will be a non-operating false drawer, and the middle drawer will be shortened to allow space for the gas hook-up. OPTION ONLY AVAILABLE WITH COOKTOP OPTION.</i>	CO_1	1.00
*** PAINT = IRISH CREME *** -		
Cabinet Options		
NOR212295 - Cabinet Upgrade #1 - Door Style: 3" SHAKER - Stained <i>Soft-close doors & drawers not included and purchased separately.</i>	CO_1	1.00
*** PAINT = IRISH CREME *** -		
NOR212299 - Cabinet Upgrade #4 - PAINTED THROUGHOUT - Any Door Style <i>*** PAINT = IRISH CREME *** -</i>	CO_1	1.00
NOR212314 - Cabinets: Full Overlay Doors/Fronts <i>FULL HOUSE DOORS AND DRAWERS</i>	CO_1	1.00
*** PAINT = IRISH CREME *** -		
NOR212317 - Cabinets: Soft Closed Drawers & Doors <i>FULL HOUSE DOORS AND DRAWERS -</i>	CO_1	1.00
Knobs/Pulls		
NOR212310 - Cabinet Hardware #2 - SUTTON Cabinet Pull & BLACKROCK Knob <i>Jeffrey Alexander Sutton #635-160 - 6" Cabinet Pull. Amerock Blackrock Knob #BP55272</i>	CO_1	1.00
*** FINISH = SATIN NICKEL *** -		

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Option Description	Option Origin	QTY
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Color Schemes

Color Schemes

NORCS0008 - Shadow Hills - Color Scheme 8 <i>Color schemes (5 through 8) are exclusively available with B ELEVATIONS, as specified in the Bassenian Lagoni Color Matrix document, dated 08.22.24.</i> -	Spec Option	1.00
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Electrical/Lighting

Outlets/Switches

GLO916011 - Dedicated 110v Outlet on 20 Amp *** <i>locate at the garage at 48", see diagram # 1</i> *** -	CO_1	1.00
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GLO916013 - Additional Exterior 110v Outlet *** <i>locate on left rear of home at 18", see diagram # 1</i> *** -	CO_1	1.00
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GLO916014 - Additional Switch *** <i>Locate in the dining room to control chandelier prewire; see diagram # 1</i> *** -	CO_1	1.00
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GLO916016 - Additional Dimmer Switch *** <i>locate on the island to control pendant prewires; see diagram # 1</i> *** -	CO_1	1.00
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Pre-Wiring Options

GLO915990 - Ceiling Fan Prewire (1) <i>in the master bedroom. (1) In the great room.</i> *** <i>see diagram # 1</i> *** -	CO_1	2.00
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GLO916021 - Prewire for Pendant *** <i>locate all (4) centered over the island 24" in from the edge; see diagram # 1</i> *** -	CO_1	4.00
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GLO916022 - Prewire for Future Chandelier <i>Center in the dining room; see diagram # 1</i> *** -	CO_1	1.00
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GLO916054 - Prewire for Wall Mounted TV at Std. Cable Location <i>Includes smurf tube and TV outlet</i> *** <i>Located in the master bedroom at 72"; see diagram # 1</i> *** -	CO_1	1.00
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Elevations

Elevations

NOR200010 - Elevation B - Modern Farmhouse -	Spec Option	1.00
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Fireplaces

Indoor Fireplaces

NOR203380 - GREAT ROOM Linear Style Fireplace <i>Heat-N-Glo 48" MEZZO Linear Fireplace (MEZZO48-C) with Passive Heat Kit to disperse heat and reduce surface temperatures for TV installation above. Features a black interior glass liner, black clean-face front, and touchscreen remote. Fire bed options include Scarlet, Crystal, Ebony, Amber, Iced Fog, or Cobalt Blue.</i> -	Spec Option	1.00
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Framing/Doors

Door Options

NOR201120 - Interior Double French Door @ OFFICE - Clear Glass -	Spec Option	1.00
NOR208047 - Sliding Patio Door at MASTER BEDROOM to Stoop -	Spec Option	1.00
NOR208056 - Milgard Trinsic 4-Panel Slider at GREAT ROOM to Outdoor Living -	Spec Option	1.00

Garage Doors

GLO900200 - Standard GARAGE DOORS - Flush Panel Steel Back Insulated Door <i>Includes Liftmaster Wall Mounted Garage Door Opener #8500W on Double and Single Garage Doors including Battery Back Up.</i> -	Spec Option	1.00
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Room Configurations

NOR203011 - OPT. 1 Elevation B - RV/EXPANDED GARAGE in lieu of Std. Garage <i>The garage door opening is increased to 10' x 14' section garage door. Includes flushed panel garage door. Upgraded garage doors must be purchased separately</i> -	Spec Option	1.00
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Interior Finishes		
Drywall/Insulation		
NOR209235 - Finished RV/EXPANDED GARAGE - Insulation, Medium Texture Drywall & Paint <i>Insulate walls & ceilings, drywall texture & semi-gloss paint - Paint color will match interior walls</i> -	CO_1	1.00
Mirror Options		
NOR200621 - FRAMED MIRRORS - Jasper Black Flat Frame #445482 - Group 1 <i>Larson Juhl contemporary style frame measuring 2-1/2" with flat profile. Finish: Painted gesso primed black finish. Similar mirror style featured in Plan 4 Model</i> -	CO_1	1.00
Paint Options		
GLO900201 - Standard INTERIOR PAINT - Whitest White at Walls, Trim & Ceilings -	CO_1	1.00
Landscaping		
Fencing		
GLO902810 - Additional Side Yard Gate *** <i>locate on the opposite side of the front yard from the stand one</i> *** -	CO_1	1.00
Landscaping		
NOR202920 - FRONT YARD only Gutter Downspout Connect to Drain System to Street <i>Install 4" drain pipe for all front yard down spouts directing water the street.</i> -	CO_1	1.00

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ALL OPTIONS SHEET

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Plumbing		
Fixture Packages		
NOR212509 - Moen ALIGN Satin/Brushed Nickel Package <i>All finishes may not match exactly. Includes Interior Door NORdware, Bathroom Accessories, Bath Plumbing Fixtures, Shower Enclosure. DOES NOT INCLUDE kitchen faucet, upgraded faucets, light fixtures or NORdware, entry door NORdware, sliding glass door, optional French door or opt. Western slider.</i> -	CO_1	1.00
Gas/Hose Bib		
GLO915400 - Additional Gas Stub Out *** <i>locate on rear of home; see diagram # 2</i> *** -	CO_1	1.00
Kitchen Faucets		
GLO915415 - Kitchen Faucet - Moen NIO One-handle High Arc Pulldown - Spot Resistant Stainless S75005SRS <i>ILO Standard Genta Faucet</i> -	CO_1	1.00
Kitchen Sinks		
GLO915449 - Kitchen Sink - STRIVE Undermount, Single-Bowl - Stainless Steel - K-5285-NA <i>ILO Standard Sterling McAllister Sink. Includes Stainless Steel sink rack.</i> -	CO_1	1.00
Laundry Faucets		
GLO915425 - Upgrade Laundry Sink Faucet - Moen ALIGN - Spot Resistant Stainless - #5965SRS <i>ILO Sleek Chrome Laundry Sink Faucet included in the Laundry Sink Option</i> -	CO_1	1.00
Laundry Sinks		
GLO915650 - Optional LAUNDRY SINK - White Cast Iron <i>Sink: Kohler GLEN FALLS White Cast Iron Undermount Sink - #K-19017-1-0; Faucet: Moen Pull Down - Chrome</i> -	Spec Option	1.00
Shower/Tub Options		
GLO900667 - Upgrade Roman Tub Faucet to Moen ALIGN - Brushed Nickel TS393BN <i>Select to match Moen ALIGN Satin/Brushed Nickel fixture package</i> -	CO_1	1.00
NOR203000 - LUXURY MASTER Bath with Freestanding Tub <i>Includes Maax LOUNGE Freestanding Tub (#105798); Roman Tub Spout & Handles to be installed on Tub Deck - Moen GENTA - Chrome Two-Handle Roman Tub Faucet - (#T908)</i> -	Spec Option	1.00
NOR915662 - MASTER SHOWER - TILED Pan ilo of FIBERGLASS Pan <i>Standard Master shower includes fiberglass pan and tiled walls. This option upgrades fiberglass pan to tiled pan. Color selection and/or upgraded tile will be determined at Design Center Appointment.</i> -	CO_1	1.00

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