

PLAN 3X



Two-Stories | 2,785 - 2,923 Square Feet | 4-5 Bedrooms | Multi-Gen Living Space Loft | 3.5 Bathroom | 122 Sq. Ft. Covered Outdoor Living | 2-3 Car Garage



FIRST FLOOR

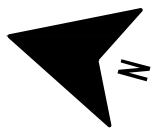
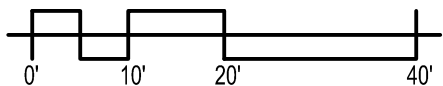


Opt. Ext. Deck

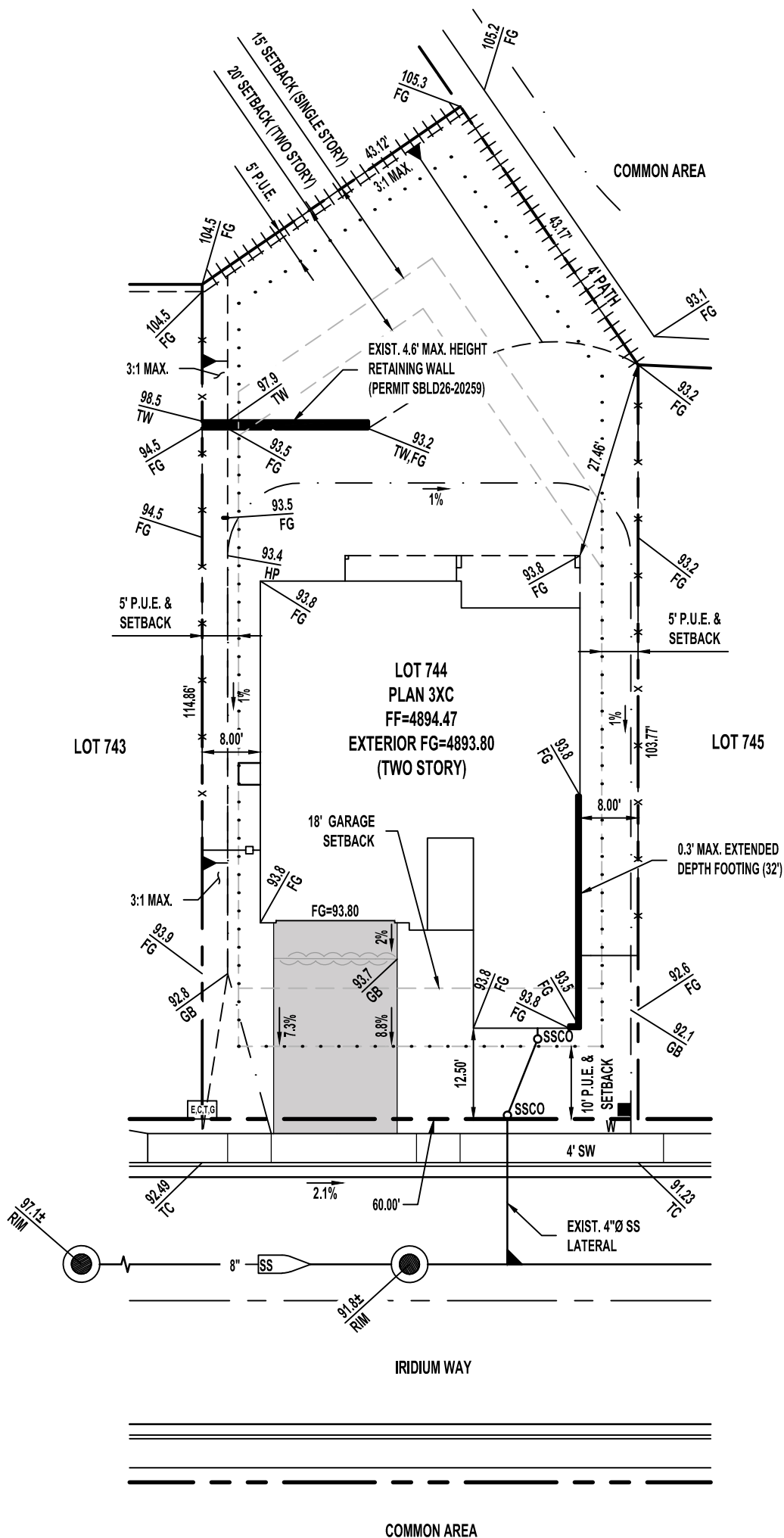
Opt. FS Tub

SECOND FLOOR

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|----------|---------------------------------------|----------|---|----------|--|----------|--|----------|--|
| A | Laundry
11'-4" x 9'-8" | F | 2 Car Garage
23' x 20'6" | K | Multi-Gen Bathroom 3
14'-1" x 5' | P | Primary Bathroom
12'-4" x 13'-4" | T | Multi-Gen WIC
4'-6" x 8'-10" |
| B | Dining Area
15'-4" x 11'-4" | G | Foyer
6'-4" x 11' | L | Mutli-Gen Living
14'x 15'-8" | Q | Bedroom 3
12' x 11' | U | Tandem Garage
11'6" x 16' |
| C | Loggia
17' x 7'-2" | H | Porch
6'-4" x 10'-8" | M | Primary Bedroom
15'x 16'-4" | R | Bathroom 2
11'-4" x 5' | | |
| D | Great Room
16' x 16'-6" | I | Powder Room
5' x 5' | N | Loft
11'-8" x 13'-4" | S | Bedroom 2
11'-8" x 11'-4" | | |
| E | Kitchen
15'-8" x 12'-8" | J | Multi-Gen Bedroom
15'-8" x 12'-8" | O | Deck
17' x 7'-2" | | | | |



SCALE: 1" = 20'

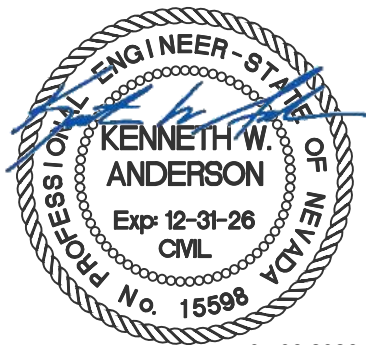


GENERAL NOTES:

- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND EXISTING GRADES PRIOR TO START OF CONSTRUCTION.
- ALL DIMENSIONS SHOWN FROM PROPERTY LINE TO HOUSE ARE TO OUTSIDE FACE OF STEM WALL.
- DRAINAGE SWALES SHALL SLOPE A MINIMUM OF 1%.
- MAXIMUM ALLOWED DRIVEWAY SLOPE IS 12.0%.
- LEAD WALKS PER LANDSCAPE DESIGNER.
- SETBACKS FOR THIS LOT ARE AS FOLLOWS:
FRONT YARD - 10', GARAGE - 18' WITH 20' DRIVEWAY,
SIDE - 5' WITH COMBINED TOTAL OF 15',
EXTERIOR SIDE - 15'
REAR - 15' SINGLE STORY / 20' TWO STORY
- PUBLIC UTILITY EASEMENTS FOR THIS LOT ARE AS FOLLOWS:
FRONT YARD - 10', SIDE YARD - 5', REAR YARD - 5'
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND ENTIRE LOT INCLUDING ALL DOOR STOOPS TO ENSURE THAT THE ENTIRE LOT DRAINS FREELY WITH NO INTERFERENCE. REF. ARCHITECTURAL PLANS FOR ALL LOCATIONS AND SIZES OF ALL STOOPS.
- A GRADING AND DRAINAGE CERTIFICATION IS REQUIRED UPON COMPLETION OF THE LOT BY A LICENSED SURVEYOR OR ENGINEER.
- THIS PLAN IS INTENDED FOR GRADING ONLY.
- NO RETAINING WALL CONSTRUCTION ALLOWED UNDER THIS PERMIT.
- DEEPEENED FOOTINGS AND/OR LOWER GARAGE FINISH FLOORS MAY BE REQUIRED. REF. THIS PLAN FOR GRADING INFORMATION.
- DRY UTILITY INFORMATION (E,C,T,G) ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY IN THE FIELD THE EXACT LOCATION OF EACH SERVICE PRIOR TO THE START OF CONSTRUCTION.
- ADD 4800 TO ALL SPOT ELEVATIONS.
- BACKWATER VALVE IS NOT REQUIRED ON THIS LOT.
- LOT SQUARE FOOTAGE = 7,490± S.F.

LEGEND:

	P.C.C. FLATWORK
	6' SOLID FENCE (GOOD NEIGHBOR)
	6' SOLID FENCE (PERIMETER)
	OPEN VIEW FENCE
	DRAINAGE SWALE
	PUBLIC UTILITY EASEMENT (P.U.E.)
	SETBACK LINE
	SLOPE AND DIRECTION (3:1 MAX.)
	SEWER 2-WAY CLEANOUT / MANHOLE
	WATER METER
	APPROX. LOCATION OF ELECTRIC, CABLE, TELEPHONE, AND GAS
	RETAINING/LANDSCAPE WALL
	GRADE BREAK



07.08.2026

RYDER HOMES
985 DAMONTE RANCH PKWY #140
RENO, NV 89521
775-823-3788

DRAWN BY: K.A.
DATE: 07.08.2026
PROJECT NO: 23-605

MIRAMONTE PHASE 7
LOT 744 - PLOT PLAN
APN: 512-311-06
3169 IRIDIUM WAY

SPARKS, NV

JKAE
architecture + interiors + engineering



RYDER HOMES

INVENTORY HOMES ALL OPTIONS SHEET

As of Change order:

Community:	The Heights, Phase 7	Print Date:	September 01, 2026
Job No.:	CAN00744	Floor Plan:	The Heights P7, Plan 3X
Lot:	744	Garage Direction:	LH
Property Address:	3169 Iridium Way Sparks, NV 89436		

Option Description	Option Origin	QTY
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Color Schemes

Color Schemes

MIRCS0009 - The Heights - Color Scheme 9 <i>Color schemes (7, 8, 9, 12) are exclusively available with C ELEVATIONS, as specified in the KTG Y Group Color Matrix #2019-0390 document, dated 01.23.24. -</i>	Spec Option	1.00
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Fireplaces

Indoor Fireplaces

MIR603382 - GREAT ROOM Linear Style Fireplace <i>Heat & Glo Cosmo 42" Linear Fireplace Includes Black Clean Face, Black Gas Interior Media, Logs Blower and Remote. Tile Surround on 4-sides of fireplace. -</i>	Spec Option	1.00
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Framing/Doors

Door Options

MIR608054 - Western Multi-Slide Door @ GREAT ROOM to LOGGIA <i>Western 600 Series - 15080 Multi-Slide Door. Frame Color: Warmtone. Slider & window frame colors not exact color pairings. Brushed Nickel flush handle on both sides -</i>	Spec Option	1.00
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Garage Doors

GLO907251 - CONTEMPORARY Garage Doors (1 Window per Panel) - 2 Car Garage <i>This option applies to 2-Car Garage Only. 1 Frosted Window per Panel Option -</i>	Spec Option	1.00
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Room Configurations

MIR600020 - Elevation C - Desert Contemporary -	Spec Option	1.00
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