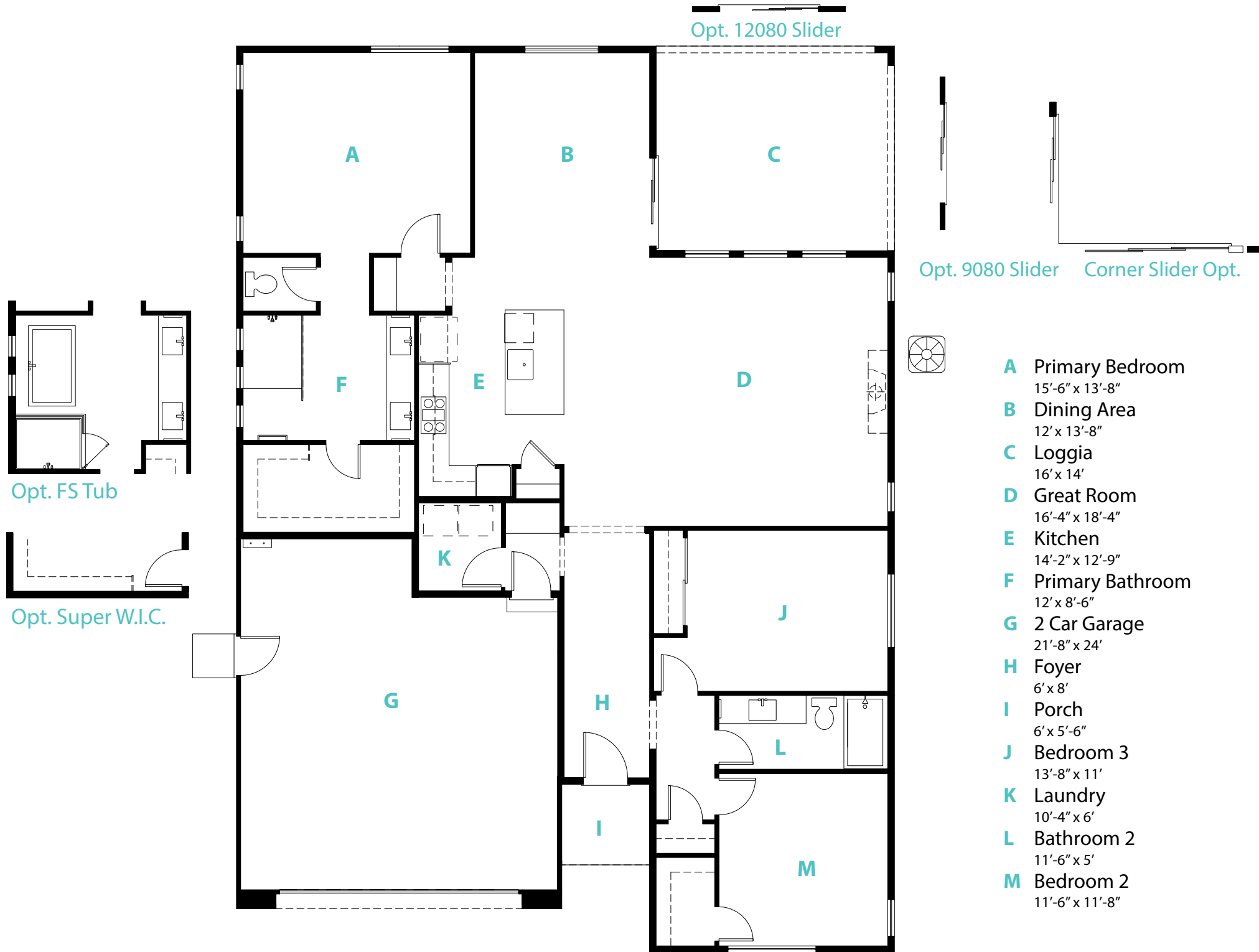
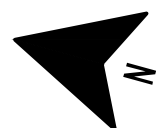


PLAN 1



Single Story | 1,908 - 1,956 Square Feet | 3 Bedrooms | 2 Bathrooms | 229 Sq. Ft. Covered Outdoor Living | 2-Car Garage





COMMON AREA

3:1 MAX.

93.1 FG

4' PATH

60.06'

5' P.U.E.

15' SETBACK (SINGLE STORY)

20' SETBACK (TWO STORY)

92.0 FG

92.0 FG

92.0 FG

92.6 FG

92.6 FG

5' P.U.E. & SETBACK

LOT 745
PLAN 1A
FF=4893.27
EXTERIOR FG=4892.60
(SINGLE STORY)

LOT 744

3:1 MAX.

93.2 FG

22.35'

103.77'

8.50'

1%

5' P.U.E. & SETBACK

18' GARAGE SETBACK

FG=92.60

92.6 FG

92.4 GB

4%

7.8%

10.8%

19.00'

SSCO

10' P.U.E. & SETBACK

W

4' SW

91.23 TC

2.1%

60.00'

EXIST. 4" Ø SS LATERAL

91.4 FG

90.9 GB

0.5' MAX. EXTENDED DEPTH FOOTING (52')

LOT 746

101.00'

6.50'

1%

92.6 FG

92.6 FG

57.13'

92.6 FG

SSCO

8" SS

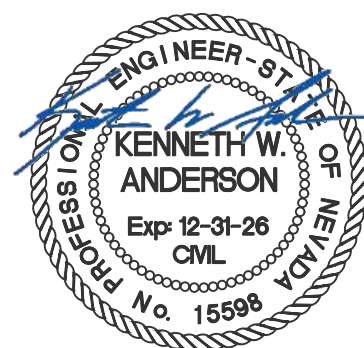
IRIDIUM WAY

COMMON AREA

LOT 770

1. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND EXISTING GRADES PRIOR TO START OF CONSTRUCTION.
2. ALL DIMENSIONS SHOWN FROM PROPERTY LINE TO HOUSE ARE TO OUTSIDE FACE OF STEM WALL.
3. DRAINAGE SWALES SHALL SLOPE A MINIMUM OF 1%.
4. MAXIMUM ALLOWED DRIVEWAY SLOPE IS 12.0%.
5. LEAD WALKS PER LANDSCAPE DESIGNER.
6. SETBACKS FOR THIS LOT ARE AS FOLLOWS:
 - FRONT YARD - 10', GARAGE - 18' WITH 20' DRIVEWAY,
 - SIDE - 5' WITH COMBINED TOTAL OF 15',
 - EXTERIOR SIDE - 15'
 - REAR - 15' SINGLE STORY / 20' TWO STORY
7. PUBLIC UTILITY EASEMENTS FOR THIS LOT ARE AS FOLLOWS:
 - FRONT YARD - 10', SIDE YARD - 5', REAR YARD - 5'
8. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND ENTIRE LOT INCLUDING ALL DOOR STOOPS TO ENSURE THAT THE ENTIRE LOT DRAINS FREELY WITH NO INTERFERENCE. REF. ARCHITECTURAL PLANS FOR ALL LOCATIONS AND SIZES OF ALL STOOPS.
9. A GRADING AND DRAINAGE CERTIFICATION IS REQUIRED UPON COMPLETION OF THE LOT BY A LICENSED SURVEYOR OR ENGINEER.
10. THIS PLAN IS INTENDED FOR GRADING ONLY.
11. NO RETAINING WALL CONSTRUCTION ALLOWED UNDER THIS PERMIT.
12. DEEPEENED FOOTINGS AND/OR LOWER GARAGE FINISH FLOORS MAY BE REQUIRED. REF. THIS PLAN FOR GRADING INFORMATION.
13. DRY UTILITY INFORMATION (E,C,T,G) ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY IN THE FIELD THE EXACT LOCATION OF EACH SERVICE PRIOR TO THE START OF CONSTRUCTION.
14. ADD 4800 TO ALL SPOT ELEVATIONS.
15. BACKWATER VALVE IS NOT REQUIRED ON THIS LOT.
16. LOT SQUARE FOOTAGE = 6,143± S.F.

	P.C.C. FLATWORK
	6' SOLID FENCE (GOOD NEIGHBOR)
	6' SOLID FENCE (PERIMETER)
	OPEN VIEW FENCE
	DRAINAGE SWALE
	PUBLIC UTILITY EASEMENT (P.U.E.)
	SETBACK LINE
	SLOPE AND DIRECTION (3:1 MAX.)
	SEWER 2-WAY CLEANOUT / MANHOLE
	WATER METER
	RETAINING/LANDSCAPE WALL
	GRADE BREAK



07.08.2026

MIRAMONTE PHASE 7
LOT 745 - PLOT PLAN

APN: 512-311-07
3159 IRIDIUM WAY

DRAWN BY: K.A.
DATE: 07.08.2026
PROJECT NO: 23-605

SPARKS, NV

JKAE
architecture + interiors + engineering



RYDER HOMES

INVENTORY HOMES ALL OPTIONS SHEET

As of Change order:

Community:	The Heights, Phase 7	Print Date:	August 13, 2026
Job No.:	CAN00745	Floor Plan:	The Heights P7, Plan 1
Lot:	745	Garage Direction:	LH
Property Address:	3159 Iridium Way Sparks, NV 89436		

Option Description	Option Origin	QTY
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Color Schemes

Color Schemes

MIRCS0001 - The Heights - Color Scheme 1 <i>Color schemes (1, 2, 3, 10) are exclusively available with A ELEVATIONS, as specified in the KTG Y Group Color Matrix #2019-0390 document, dated 01.23.24. -</i>	Spec Option	1.00
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Fireplaces

Indoor Fireplaces

MIR103382 - GREAT ROOM Linear Style Fireplace <i>Heat & Glo Cosmo 42" Linear Fireplace Includes Black Clean Face, Black Gas Interior Media, Logs Blower and Remote. Tile Surround on 4-sides of fireplace. -</i>	Spec Option	1.00
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Framing/Doors

Door Options

MIR108054 - Western Corner Slider @ GREAT ROOM & DINING ROOM to LOGGIA <i>Western 600 Series - 12080 & 9080 Multi-Slide Doors ILO Sliding Glass Door and standard windows. Frame Color: Warmtone. Slider & window frame colors not exact color pairings. Brushed Nickel flush handle on both sides -</i>	Spec Option	1.00
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Room Configurations

MIR100005 - Elevation A - Farmhouse Contemporary -	Spec Option	1.00
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