

1090

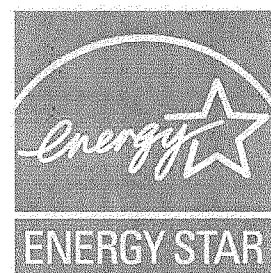
Redline

Webb

P&D JOB # 1090
THE WEBB RESIDENCE
UNION COUNTY, OH
APPROX. 2314 SQFT LIVING SPACE



59 Greif Parkway, Suite 100
Delaware, OH 43015
Tel (740) 201-8079 Fax (740) 201-8084
www.pndbuilders.com



FINAL DRIVEWAY DESIGN PER LANDSCAPE CONTRACTOR

SLOPE GRADING AWAY FROM HOUSE
MIN 6" FALL IN FIRST 10' RUN

PROVIDE EROSION CONTROL (SILT FENCE OR EQUIV)
AROUND CONSTRUCTION AREAS & NEAREST PROP LINES

BUILDER TO MAINTAIN EROSION PROTECTION THROUGHOUT BUILDING PROCESS, &
FIELD MODIFICATIONS MAY BE NECESSARY TO LOCATION SHOWN AS CONDITIONS REQUIRE

SITE PLAN & ELEVATIONS ARE SUBJECT TO REVIEW BY DEVELOPER &
BUILDING DEPT'S AND MAY REQUIRE ALTERATIONS FOR PERMIT APPROVALS

GRADE CONTOUR LINES ARE BASED ON DEVELOPER'S
ENGINEERING & ORIGINAL SITE ELEVATIONS AS PROVIDED

MAILBOX & LIGHT POST TO BE LOCATED PER
SUBDIVISION OR JURISDICTION

FLOOD HAZARD ZONE "X" (OUTSIDE OF 100 YR FLOODPLAIN)
ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY F.I.R.M. MAP
COMMUNITY PANEL #39159C0385D EFFECTIVE DECEMBER 16, 2008

BASIS OF ELEVATIONS (BENCHMARK)
CORNER OF BROWN ROAD (COUNTY 92) AND SMART COLE ROAD (COUNTY 93)

NOTE: SPOT ELEVATIONS ARE ESTIMATES FROM THE GRADE INFORMATION
PROVIDED BY THE DEVELOPER & ENGINEER. NOTE THAT ALL
FINAL GRADE ELEVATIONS REFLECT POST-CONSTRUCTION HEIGHTS

THIS SITE PLAN IS DRAWN PER THE ORIGINAL/APPROVED SUBDIVISION PLANS BY
GUIDER SURVEYING, INC. OF DELAWARE, OH (740) 666-8902

CALCULATING SQUARE FOOTAGE (LIVING SPACE) OF A SINGLE-FAMILY RESIDENCE

SQUARE FOOTAGE IS MEASURED FROM THE EXTERIOR SIDE OF THE FRAMING & SHEATHING ALONG
THE PERIMETER OF THE HEATED/FINISHED AREAS OF THE LIVING SPACE. STAIRS ARE COUNTED ONLY
ONCE (USUALLY ON THE GROUND FLOOR). TWO-STORY VOLUMES ARE COUNTED ONLY ONCE (ALWAYS
ON THE LOWEST LEVEL). CHIMNEY AREAS ARE GENERALLY NOT COUNTED. AREAS IN BASEMENTS THAT
ARE FINISHED (DRYWALLED & PAINTED & SERVICED BY HVAC) ARE COUNTED. EXTERIOR PORCHES,
GARAGES, CRAWL SPACES, ATTICS, DECKS AND OTHER NON-HABITABLE AREAS ARE NOT COUNTED AS
LIVING SPACE, BUT MAY BE LISTED SEPARATELY.

SITE PLAN

SCALE: 1"=30'
14291 SMART COLE ROAD (COUNTY 93)
PARCEL #2500030281060
MILLCREEK TOWNSHIP
OSTRANDER, UNION COUNTY, OH 43061
THIS SITE PLAN IS DRAWN PER THE ORIGINAL/APPROVED SUBDIVISION PLANS BY
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PER APPROVED PLAT:
MIN SIDE YARDS = 35 FT
MIN REAR YARD = 60 FT

INDEX OF DRAWINGS	
1	COVER SHEET w/ SITE PLAN & DISCLAIMERS
2	FOUNDATION/BASEMENT PLAN
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	EXTERIOR ELEVATIONS & DETAILS
6	ROOF PLAN & MJSC
7	BUILDING SECTIONS
8	BUILDING & STAIR SECTIONS & STRUCTURAL INFO

REVISION DATES/DESCRIPTIONS		
REV.	DATE	DESCRIPTION OF CHANGES
01	10/04/13	PRELIMINARY PLANS DRAFT-UP
02	10/14/13	SIGNOFF TO GO TO CD'S
03	11/22/13	PRE-ENGINEERED CD'S
04		
05		
06		
07		
08		
09		



SITE LOCATION MAP
NOT TO SCALE

FRAMING NOTES

ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF
WOOD FRAMING LENGTHS AND/OR FENESTRATION

EXTERIOR WALLS MEASURE 5.5" / INTERIOR WALLS MEASURE 3.5" UNLESS NOTED OTHERWISE
WALL BRACING: PER P.A. GUIDELINES. EXTERIOR SHEATHING OF STRUCTURE TO BE MIN.
4"x8" 7/16" O.S.B. SHEATHING OVERLAPPING BAND BOARDS AND NAILED PER GUIDELINES.
SEE STRUCTURAL SHEET FOR NARROW-WALL & SHEATHING/NAILING DETAILS.

ALL FLOOR JOISTS AND STRUCTURAL LUMBER MINIMUM #2 CANADIAN SPECIES SPRUCE-PINE-FIR

ALL HEADERS IN EXTERIOR WALLS TO BE MINIMUM 2-2x6 OR AS NOTED ON FLOOR PLAN.

ALL LUMBER IS TO BE GRADED AND MARKED WITH THE APPROPRIATE GRADE STAMP

PROVIDE 1x2 "X" BRACING AT MIDSPAN OF ALL FLOOR JOIST SPANS OVER 10'-0"

ALL INTERIOR NON-BEARING HEADERS ARE 2x4 STUD (FLAT)

PROVIDE MINIMUM 2-2x4 STUDS AT ALL BEARING POINTS UNLESS NOTED OTHERWISE

ALL MULTIPLE MEMBER BEAMS ARE TO BE NAILED TOGETHER WITH 2 ROWS OF 16P
NAILS (TOP AND BOTTOM) SPACED EVER 12" ON CENTER

PROVIDE SOLID BLOCKING BELOW ALL BEARING POINTS (CRUSH ZONES)

ROOF TRUSSES MANUFACTURED BEAMS, AND ALL OTHER PRE-CONSTRUCTED MATERIALS
ARE DESIGNED AND ENGINEERED BY THE MANUFACTURER

AVOID FLOOR JOISTS DIRECTLY BELOW PLUMBING DRAINS

USE OF METAL HANGERS MUST BE IN CONFORMANCE WITH MANUFACTURERS RECOMMENDATIONS

CONTRACTORS SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH
THE PLANS TO THE JOB SUPERVISOR OR AUTHOR OF THE PLANS IMMEDIATELY

USE OF AF&PA SPAN TABLES FOR GRADES & SPECIES NOT LISTED IN CODEBOOK

SHEAR WALL & NARROW WALL BRACING DESIGN SHOWN ON PG66

BUILDING CODE NOTES

THESE PLANS WERE DESIGNED AND ENGINEERED TO COMPLY WITH
ALL APPLICABLE BUILDING CODES TO THE BEST KNOWLEDGE OF THE
AUTHOR. THESE CODES INCLUDE:

2013 RESIDENTIAL CODE OF OHIO
B.O.C.A./'92 C.A.B.O./'95 C.A.B.O.
NATIONAL ELECTRICAL CODE
LOCAL BUILDING & ZONING AMENDMENTS

Call Before You Dig



1-800-362-2764
www.oups.org
CODE COMPLIANCE NOTES

DESIGN LOADS:

LIVING SPACES = 40 PSF LIVE LOAD / 12 PSF DEAD LOAD
DECKS & BALCONIES = 50 PSF TOTAL LOAD (+50 PSF IF HOT TUB)
ROOF w/CEILING LOADS = 20# SNOW LOAD + 30 PSF ROOF LOAD = 50 PSF TOTAL LOAD
ROOFS w/o CEILING LOADS = 20# SNOW LOAD + 20 PSF ROOF LOAD = 40 PSF TOTAL LOAD
TRUSSES & RAFTER CONSTRUCTION DESIGNED TO WITHSTAND 90 MPH (20.7 PSF) WIND LOAD

FROST DEPTH MIN 36"
SEISMIC ZONE = 1 (CAT. A)
WEATHERING = SEVERE
AIR FREEZING INDEX = 1500
MEAN ACTUAL TEMP = 50.1° F

SUBJECT TO TERMITE DAMAGE CONDITIONS = YES
SUBJECT TO DECAY CONDITIONS = YES
WINTER DESIGN TEMP = 3° F
ICE SHIELD REQUIRED = YES
FLOOD HAZ (A) 7/16/79 & (B) 4/22/97

FOUNDATION WALL REINFORCEMENT MUST COMPLY WITH SECTION 404

FOUNDATION WATERPROOFING MUST COMPLY WITH SECTION 405 & 406

ALL ELECTRICAL EQUIPMENT AND INSTALLATION SHALL COMPLY WITH THE
N.E.C. WHICH IS IN EFFECT AT THE TIME OF IT'S INSTALLATION

SMOKE DETECTORS MUST BE LOCATED AND INSTALLED IN ACCORDANCE
WITH SECTION 313

ALL HANDRAILS AND GUARDRAILS MUST COMPLY WITH SECTION 311.5.6 & 312.1

STAIR CONSTRUCTION MUST COMPLY WITH SECTION 311.5

BATHROOM VENTILATION MUST COMPLY WITH SECTION 303.3

ALL DOORS AND HALLWAYS SHALL COMPLY WITH SECTION 408

CRAWL SPACE VENTILATION MUST COMPLY WITH SECTION 408

ALL GLAZING SHALL COMPLY WITH SECTION 308.4

ATTIC ACCESS MUST COMPLY WITH SECTION 806 & 807.1

GARAGE SEPARATION MUST COMPLY WITH SECTION 309.2

AT LEAST ONE (1) WINDOW IN EACH BEDROOM SHALL COMPLY WITH THE REQUIREMENTS OF
SECTION 310.1 OF 2013 RESIDENTIAL CODE OF OHIO (EXCEPTION IF A MIN. 2668 DOOR IS
LOCATED IN A BEDROOM WHICH LEADS DIRECTLY TO THE EXTERIOR OF THE BUILDING AT
GROUND LEVEL).

FOUNDATION NOTES

SOIL BEARING CAPACITY INFORMATION

ALL CONCRETE FOUNDATION WALLS, FOOTERS, AND POST PADS ARE DESIGNED TO
THE FOLLOWING SOIL BEARING CAPACITIES BASED UPON ENGINEERING REPORTS
RECEIVED FROM DELAWARE COUNTY OR DEVELOPMENT ENGINEERS

[] 1500 PSF R.C.O. 2013 MINIMUM ASSUMED
[] 2000 PSF PER GEOTECHNICAL REPORT (ATTACHED)
[] 2500 PSF PER GEOTECHNICAL REPORT (ATTACHED)
[] 3000 PSF PER GEOTECHNICAL REPORT (ATTACHED)

SEE FOUNDATION DETAILS PAGE 06-09C BY SHEPHERD EXCAVATING
(WILLIAM PIZZINO, PE) DATED 6/21/06 FOR REINFORCEMENT (IF NECESSARY)

ALL FOOTINGS ARE 16" WIDE BY 8" DEEP UNLESS NOTED OTHERWISE

TO TIE FOOTINGS OF DIFFERENT LEVELS TOGETHER, HOLD HIGH FOOTINGS
BACK FROM LOWER LEVELS. USE POURED LINEITS TO BRIDGE & TIE

ALL FOOTING DESIGNS ARE BASED ON MIN. 1500 PSI SOIL BEARING PER R410.41
UNLESS ACTUAL SITE ENGINEERING CONDITIONS ARE PROVIDED

HORIZONTAL CONCRETE SLABS (FLATWORK) ARE TO BE AIR-ENTRAINED 4" THICK
POURED CONCRETE (3500 PSI COMPRESSIVE STRENGTH) ON MIN 4" GRAVEL FILL

ALL FOOTINGS ARE TO BE PLACED ON UNDISTURBED SOIL LOCATED BELOW THE
FROST LINE DICTATED BY THE CONSTRUCTION LOCATION

DELAWARE COUNTY, OH = 36"
UNION COUNTY, OH = 34"
FRANKLIN COUNTY, OH = 32"
LICKING COUNTY, OH = 32"
MADISON COUNTY, OH = 30"
KNOX COUNTY, OH = 30"

MAX UNBALANCED FILL FOR STANDARD 8'-0" HIGH x 8" WIDE CONCRETE WALL
(UNREINFORCED) IS 7'-0" ABOVE CONCRETE SLAB

WATERPROOF/DAMPPOOF PER LOCAL CODE

GRADE IS TO BE 8" MIN OR MORE BELOW TOP OF FOUNDATION SLOPING AWAY
FROM THE HOUSE MIN. 6" FALL IN FIRST 10'-0"

BASEMENT FOUNDATION WALLS ARE TO BE 8'-0" HIGH x 8" THICK POURED
CONCRETE (MIN 3000 PSI COMPRESSIVE STRENGTH) OR BETTER UNLESS NOTED
OTHERWISE

SEE REINFORCEMENT NOTES ON FOUNDATION PLAN (IF NECESSARY)

COVER/SITE PLAN



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P&D JOB #

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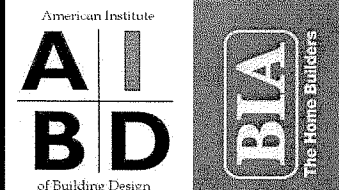
JOB LOCATION:

COUNTRY LOT
OSTRANDER, OH

A New Wood-Framed Singel-Family Construction

The Webb Residence

Millcreek Twp - Union County OH



Revisions

Date:	By:
10/4/13	HLB
10/14/13	HLB
11/22/13	TLB
1/7/14	TLB
1/14/14	pNd

SCALE:

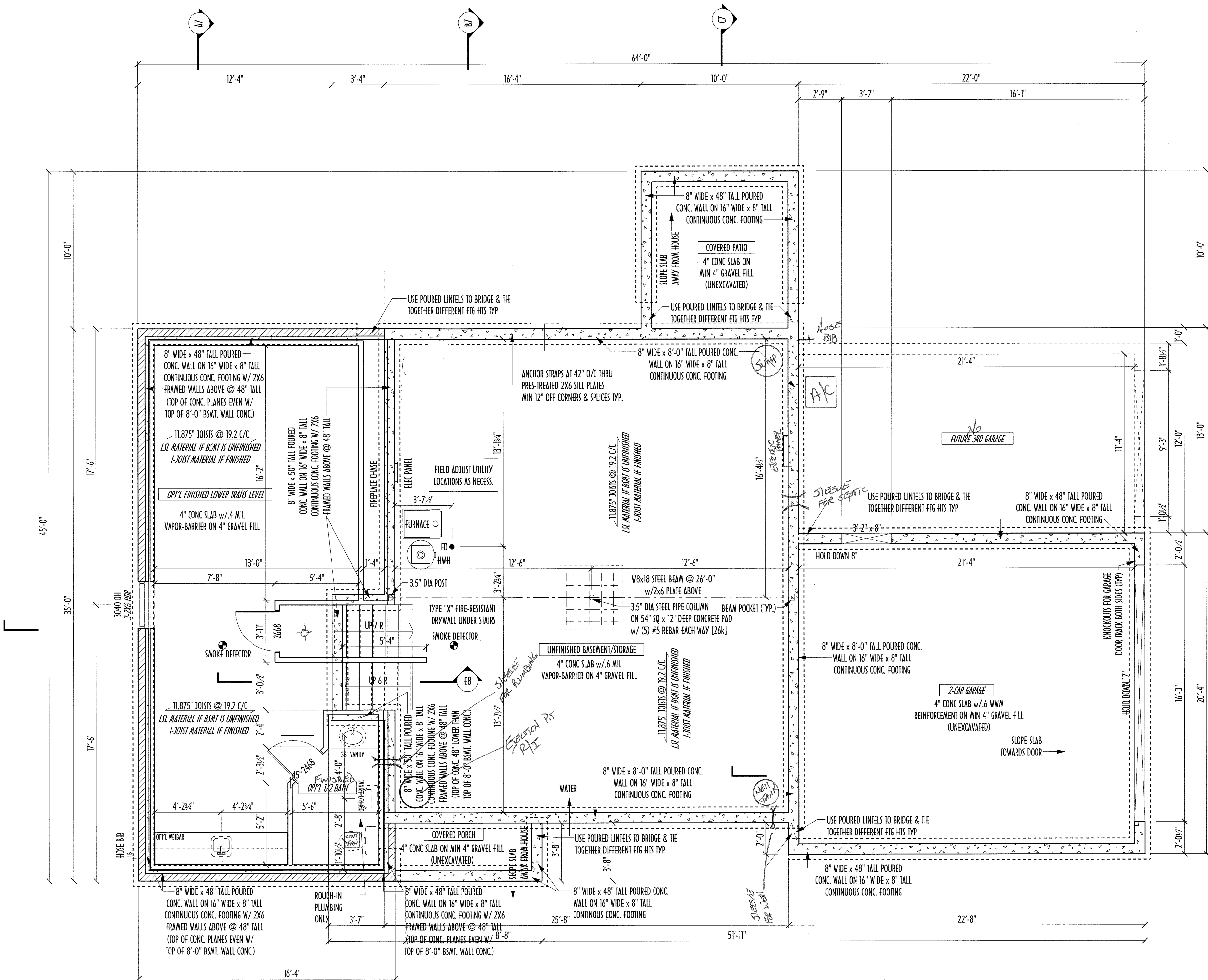
1" = 30'-0"

DESIGNED BY:

P&D/TB

PAGE:

1 OF 8



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"
BASEMENT SLAB: 772 SQFT
LOWER TRANS SLAB: 483 SQFT
GARAGE SLAB: 405 SQFT
COVERED PORCH SLAB: 34 SQFT
COVERED PATIO SLAB: 100 SQFT

OPT'L 3RD GARAGE BAY SLAB: 256 SQFT
OPT'L FIN LOWER TRANS AREA: 444 SQFT

STEP DOWN FOOTING AS NECESSARY
TO MAINTAIN MIN. 36" BELOW GRADE

USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE
EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE

FOUNDATION WALL ENGINEERING & REINFORCEMENT
PER SHEPHERD EXCAVATING DESIGN-DETAIL RC-1G

FINAL/INSTALLED INSULATION VALUES SHOULD MATCH
REM-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN
ON THESE PLANS ARE PRELIMINARY / REFERENCE ONLY)

INSTALL ALL LVL & LSL BEAMS WITH
LABELS VISIBLE FOR BLDG INSPECTION

MAX. UNBALANCED FILL FOR 8" THICK POURED CONC. WALL
OR C.M.U. BLOCK WALL = 7'-0" ABOVE SLAB

WATERPROOFING / DAMPROOFING PER CODE

ALL STRUCTURAL LUMBER IS MIN. CANADIAN SPECIES
#2 SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE

CONTRACTORS SITE VERIFY ALL DIMENSIONS AND REPORT
ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF

BASEMENT ELECTRICAL LAYOUT FOR REFERENCE ONLY - CONSULT WITH
HOMEOWNER PRIOR TO INSTALLATION FOR EXACT LOCATIONS

ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO
CONFORM TO 2013 RCO AND APPLICABLE LOCAL CODES

GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY FOR PROPER DRAINAGE

AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS AND TRAPS

BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES) WITH APPROPRIATE 2X FILL

JOISTS DESIGNED & ENGINEERED BY MANUFACTURER OR USE SPAN TABLES FROM LUMBER SUPPLIER

SEE COVER SHEET FOR GENERAL FOUNDATION NOTES

AREA SCHEDULE	
NAME	AREA
FIRST FLOOR AREA	1375.9 sq. ft.
SECOND FLOOR AREA	937.9 sq. ft.
TOTAL AREA*	2313.8 sq. ft.
OPT'L FIN LOWER TRANS AREA	444.4 sq. ft.
OPT'L BONUS ROOM	260.2 sq. ft.
OPT'L 2ND BONUS ROOM	147.5 sq. ft.

*SQUARE FOOTAGE CALCULATIONS AND DIMENSIONS ON PRELIMINARY PLANS
ARE APPROXIMATE AND ARE SUBJECT TO FINAL DESIGN REQUIREMENTS AND
CALCULATIONS GENERATED UPON COMPLETION OF FINAL ENGINEERING.

OPTIONS TAKEN			
ROUGH IN	YES*	NO	OPTION
		X	FINISHED LOWER TRANS LEVEL
X			WEIBAR
	X		1/2 BATH
		X	WINE CLOSET
		X	3RD GARAGE BAY

*ANY AREA SELECTED TO BE FINISHED GETS 11.875" 1-JOISTS @ 19.2" C.C.

FOUNDATION PLAN



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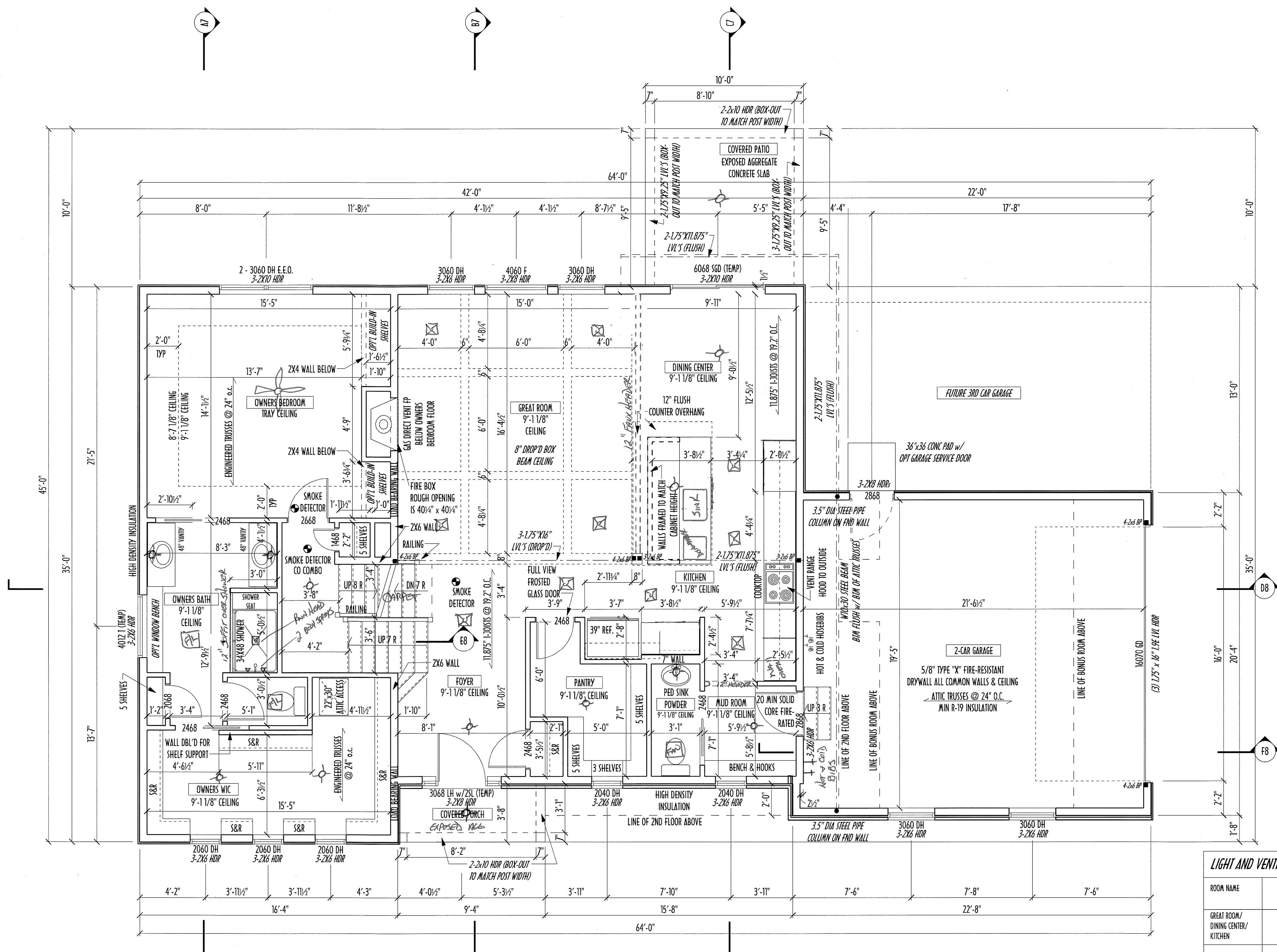
JOB LOCATION:

COUNTRY LOT
OSTRANDER, OH

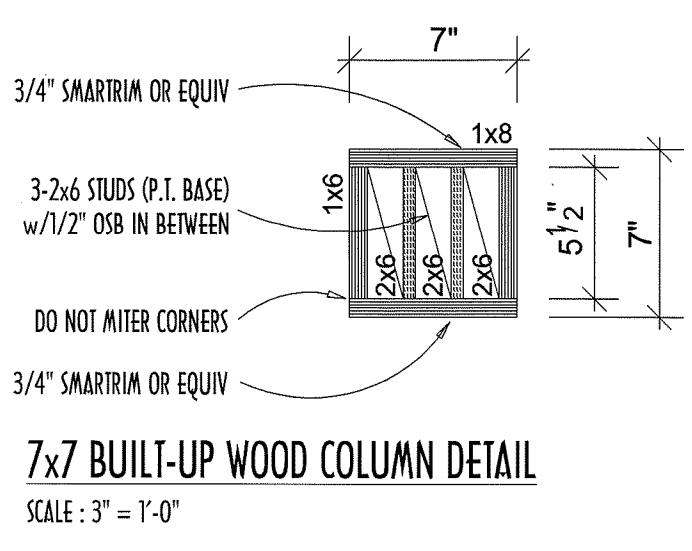
A New Wood-Framed Single-Family Construction

The Webb Residence

Millicreek Twp - Union County OH



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



AREA SCHEDULE	
NAME	AREA
FIRST FLOOR AREA	1375.9 sq. ft.
SECOND FLOOR AREA	937.9 sq. ft.
TOTAL AREA*	2313.8 sq. ft.
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OPT'L BONUS ROOM	260.2 sq. ft.
OPT'L 2ND BONUS ROOM	147.5 sq. ft.

*SQUARE FOOTAGE CALCULATIONS AND DIMENSIONS ON PRELIMINARY PLANS ARE APPROXIMATE AND ARE SUBJECT TO FINAL DESIGN REQUIREMENTS AND CALCULATIONS GENERATED UPON COMPLETION OF FINAL ENGINEERING.

FIRST FLOOR CEILINGS AT 9'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOW HEADERS AT 7'-6" UNLESS NOTED OTHERWISE

CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDROOMS 30 PSF)

ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO CONFORM TO 2013 R.C.O. AND/OR APPLICABLE LOCAL CODES

WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HEIGHTS w/MANUFACTURER OR SUPPLIER
CONFIRM FLOORING & FINISH MATERIALS w/JOB SUPERVISOR (PER CONTRACT)

ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF WOOD FRAMING LENGTHS AND/OR PENETRATION

AVOID FLOOR JOISTS LOCATED DIRECTLY BELOW STRUCTURAL POINTS (CRUSH ZONES) BRACE FLOOR JOISTS AT MIDSPAN PER CODE

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED

CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER AND ADJUST FRAMING DIMENSIONS AS NECESSARY

DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY

FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REIN-RATE SHEETS FROM INCOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)

INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLOG INSPECTION

FINAL KITCHEN CABINET & APPLIANCE LAYOUT BY OTHERS. APPLIANCES PER SPECS.

KITCHEN HOOD TYPE	
CLASSIC SERIES	
DESIGNER SERIES	
CRAFTSMAN SERIES	
HERITAGE SERIES	
ESTATE SERIES	

FIRST FLOOR OPTIONS		
OPTION	YES	NO
GREAT ROOM BUILT-INS		X
OWNER'S BATH WINDOW SEAT		X
GREAT ROOM BOX BEAM CEILING	X	

LIGHT AND VENTILATION SCHEDULE									
ROOM NAME	ROOM SQ. FT.	WINDOW TYPE	REQUIRED GLAZING SQ. FT.	ACTUAL GLAZING SQ. FT.	REQUIRED VENT SQ. FT.	ACTUAL VENT SQ. FT.	TEMPERED GLAZING	BEDROOM EGRESS SQ. FT.	BEDROOM EGRESS DIA.
GREAT ROOM/ DINING CENTER/ KITCHEN	547	DOUBLE HUNG/ FIXED/ SLID GLASS DOOR	43.76	79.42	21.88	32.81	32.1	N/A	N/A
MUD ROOM	33	DOUBLE HUNG	2.64	4.7	1.32	2.3	N/A	N/A	N/A
OWNER'S BEDROOM	209	DOUBLE HUNG	16.72	25.8	8.36	12.8	N/A	12.8	30.94"x30.06"
OWNER'S BATH	89	FIXED	7.12	3.06	3.56	N/A	3.06	N/A	N/A
* BEDROOM #2	146	DOUBLE HUNG	11.68	10.5	5.84	5.1	N/A	5.1	30.94"x24.06"
* BEDROOM #3	168	DOUBLE HUNG	13.44	10.5	6.72	5.1	N/A	5.1	30.94"x24.06"
BEDROOM #4	142	DOUBLE HUNG	11.36	21.0	5.68	10.2	N/A	10.2	30.94"x24.06"
LAUNDRY	75	DOUBLE HUNG	6.0	8.0	3.0	3.8	N/A	N/A	N/A
*3B3 BATH	51	NONE	4.08	N/A	2.04	N/A	N/A	N/A	N/A
*3/4 BATH	49	NONE	3.92	N/A	1.96	N/A	N/A	N/A	N/A

*MECHANICAL VENTILATION CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR WILL BE PROVIDED AND PERMANENT ARTIFICIAL LIGHTING CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.

FIRST FLOOR

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P&D JOB #

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JOB LOCATION:
COUNTRY LOT
OSTRANDER, OH

A New Wood-Framed Single-Family Construction

The Webb Residence

Millcreek Twp - Union County OH

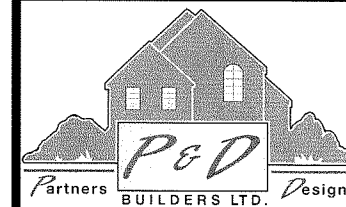
Revisions

Date:	By:
10/4/13	HLB
10/14/13	HLB
11/22/13	TB
1/7/14	TB
1/14/14	pht

SCALE:
1/4" = 1'-0"

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PAGE:
3 OF 8



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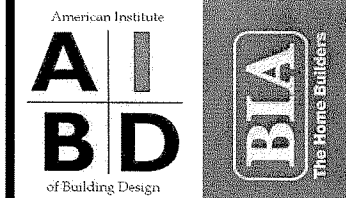
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A New Wood-Framed Single-Family Construction

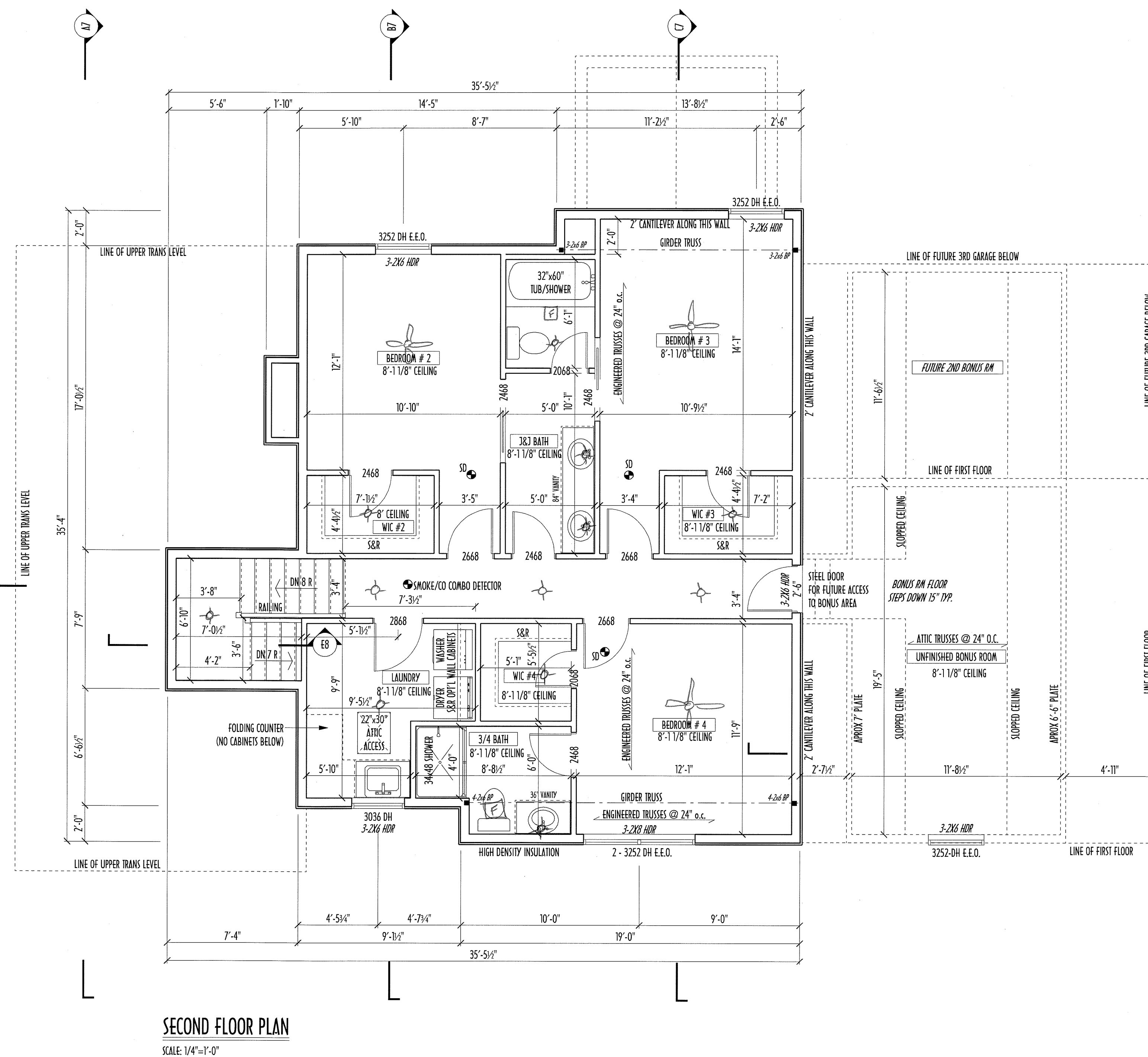
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SCALE:
1/4" = 1'-0"DESIGNED BY:
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4 OF 8

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

SECOND FLOOR CEILINGS AT 8'-1 1/8" ROUGH UNLESS NOTED OTHERWISE
SECOND FLOOR WINDOW HEADERS AT 6'-10" UNLESS NOTED OTHERWISEEXTERIOR WALLS ARE SHOWN 6" WIDE (2X6 STUDS @ 16" O.C.) UNLESS NOTED OTHERWISE
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2X4 STUDS @ 16" O.C.) UNLESS NOTED OTHERWISE

SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDROOMS 30 PSF)

WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED OTHERWISE

IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY
EGRESS REQUIREMENTS (MIN. 20" WIDE x 24" TALL & 5.7 SQFT.) PER R.C.O. 310FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCO 314 & 315
(-75 PSR, <450 SDR PER ASTM E84)CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER
AND ADJUST FRAMING DIMENSIONS AS NECESSARYDIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS
OF LESS THAN 1/8" TYPICALLYFINAL/INSTALLED INSULATION VALUES SHOULD MATCH
R-VALUE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON
THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)

INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION

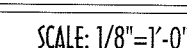
SECOND FLOOR OPTIONS

OPTION	YES	NO
LAUNDRY CABINETS	X	
LAUNDRY TUB & CABINET	X	
BONUS ROOM OVER 2-CAR GARAGE	R/E	X
2ND BONUS ROOM (3RD GARAGE BAY REQ'D)		X

AREA SCHEDULE	
NAME	AREA
FIRST FLOOR AREA	1375.9 sq. ft.
SECOND FLOOR AREA	937.9 sq. ft.
TOTAL AREA*	2313.8 sq. ft.
OPT'L FIN LOWER TRANS AREA	444.4 sq. ft.
OPT'L BONUS ROOM	260.2 sq. ft.
OPT'L 2ND BONUS ROOM	147.5 sq. ft.

*SQUARE FOOTAGE CALCULATIONS AND DIMENSIONS ON PRELIMINARY PLANS
ARE APPROXIMATE AND ARE SUBJECT TO FINAL DESIGN REQUIREMENTS AND
CALCULATIONS GENERATED UPON COMPLETION OF FINAL ENGINEERING.

SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE



A New Wood-Framed Singel-Family Construction

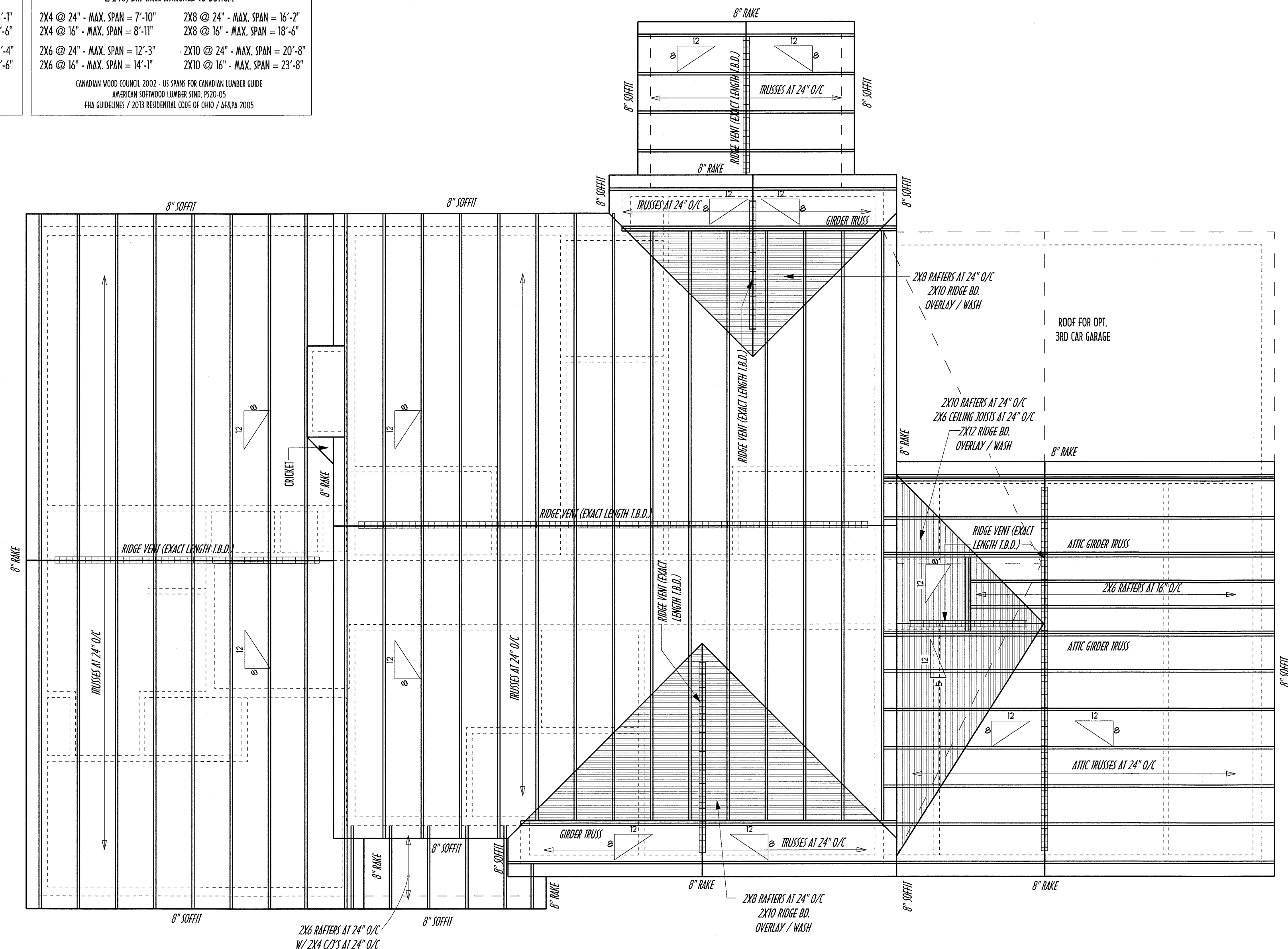
The Webb Residence

Millcreek Twp - Union County OH

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MAX. ALLOWABLE SPANS	
ROOF RAFTERS (NORTHERN HEM-FIR #2)	
EXTREME FIBER STRESS IN BENDING "FB" = 1100+PSI MODULUS OF ELASTICITY "E" = 1.6 MIL PSI MED. ROOF COVERING, DRYWALL, NO ATTIC SPACE, 3:12 PITCH OR HIGHER L/240, 30# LIVE LOADING (SNOW), 20# DEAD LOAD	
2X6 @ 24" - MAX. SPAN = 9'-0"	2X10 @ 24" - MAX. SPAN = 15'-1"
2X6 @ 16" - MAX. SPAN = 11'-0"	2X10 @ 16" - MAX. SPAN = 18'-6"
2X8 @ 24" - MAX. SPAN = 11'-10"	2X12 @ 24" - MAX. SPAN = 18'-4"
2X8 @ 16" - MAX. SPAN = 14'-6"	2X12 @ 16" - MAX. SPAN = 22'-6"
CANADIAN WOOD COUNCIL 2002 - US SPANS FOR CANADIAN LUMBER GUIDE AMERICAN SPOWWOOD LUMBER 1980, P520-65 FHA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO / IRCSPA 2005	

MAX. ALLOWABLE SPANS	
CEILING JOISTS (NORTHERN HEM-FIR #2)	
EXTREME FIBER STRESS IN BENDING "FB" = 1100+PSI MODULUS OF ELASTICITY "E" = 1.6 MIL PSI NO FUTURE ROOMS / LIMITED ATTIC STORAGE L/240, DRYWALL ATTACHED TO BOTTOM	
2X4 @ 24" - MAX. SPAN = 7'-10"	2X8 @ 24" - MAX. SPAN = 12'-2"
2X4 @ 16" - MAX. SPAN = 8'-11"	2X8 @ 16" - MAX. SPAN = 18'-6"
2X6 @ 24" - MAX. SPAN = 12'-3"	2X10 @ 24" - MAX. SPAN = 20'-8"
2X6 @ 16" - MAX. SPAN = 14'-1"	2X10 @ 16" - MAX. SPAN = 23'-8"
CANADIAN WOOD COUNCIL 2002 - US SPANS FOR CANADIAN LUMBER GUIDE AMERICAN SPOWWOOD LUMBER 1980, P520-65 FHA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO / IRCSPA 2005	



PRELIMINARY ROOF PLAN

SCALE: 1/4" = 1'-0"

SOFFITS EXTEND 8" PAST FRAMING OR BRICK L.I.M.O.
RAKES EXTEND 8" PAST FRAMING L.I.M.O.

ROOF TRUSSES DESIGNED AND ENGINEERED BY MANUFACTURER PER BUILDING CODE REQUIREMENTS

ALL EXTERIOR WALLS CAN BE CONSIDERED LOADBEARING. DO NOT DESIGN TRUSSES
TO BEAR ON INTERIOR WALLS UNLESS NOTED AS "LOADBEARING" ON PLANS

LAYOUT SHOWN IS FOR REFERENCE ONLY - FINAL STRUCTURAL LAYOUT DESIGNED BY TRUSS COMPANY

ALL STRUCTURAL LUMBER MINIMUM #2 S-P-F UNLESS NOTED

HAT VENTS / RIDGE VENTS / GABLE VENTS SHOWN ON ELEVATIONS

PROVIDE FLASHING FOR ROOF / WALL INTERSECTIONS

FRAMING CONTRACTOR IS TO PROVIDE ENG'RG CUT SHEETS FOR ALL TRUSSES
AND PRE-MANUFACTURED BEAMS (LVL'S) TO DEL-CD BLDG REG'S AT FRAMING INSPECTION

PROVIDE APPROPRIATE FIRE-STOPPING IN ALL CONCEALED HORIZONTAL & VERTICAL
DRAFT SPACES TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN EACH STORY AND ROOF

ROOF VENTILATION CALC'S

HORIZONTAL AREA OF ATTIC SPACES = 2560 SQ.FT.

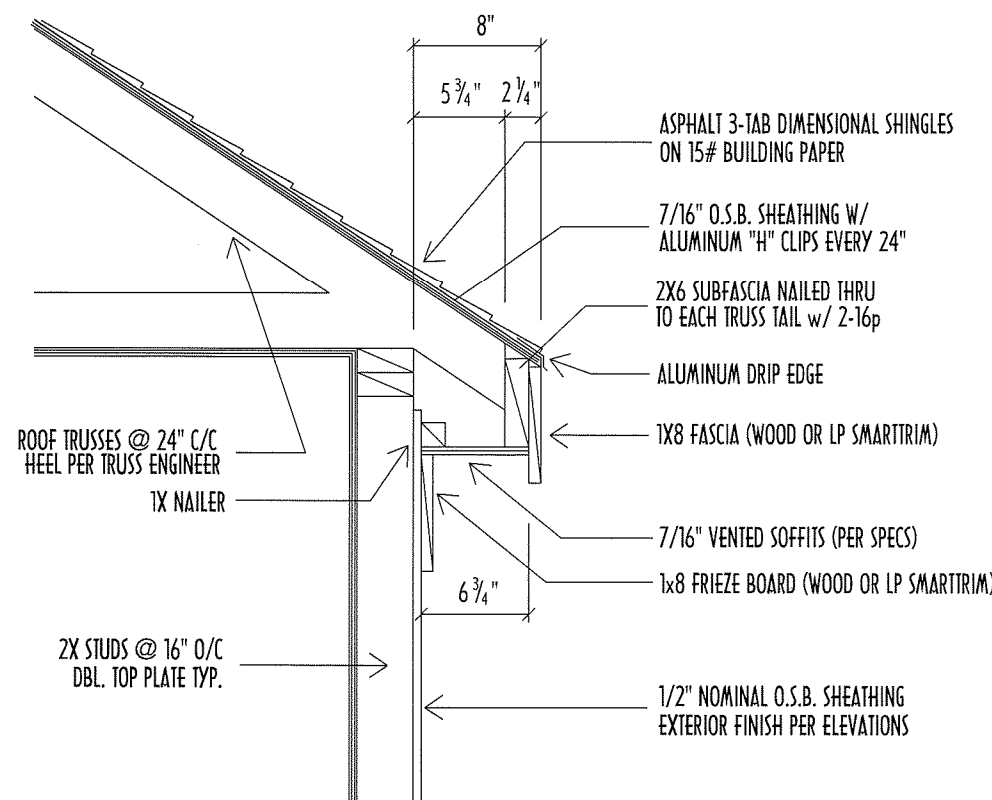
DIVIDE HORIZ. AREA BY 300 (USING BOTH RIDGE & SOFFIT VENTS)
REQUIRED SQ.FT. OF VENT OPENINGS = 8.53 SQ.FT.

ACTUAL LENGTH OF RIDGE VENT (54) = 54 LF X .11 SQFT PER = 5.94 SQ.FT.
ACTUAL SQ.FT. OF SOFFIT VENT (MIN 24) = (24) X .2 SQFT EACH = 4.8 SQ.FT.
ACTUAL TOTAL SQ.FT. OF VENTS = 10.74 SQ.FT.

PROVIDE ICE-DAM PROTECTION AT EAVES USING 2 LAYERS OF OVERLAPPED UNDERLAYMENT
CEMENTED TOGETHER UNDER SHINGLES EXTENDING IN MIN. 24" FROM OUTSIDE OF WALL BELOW

NOTE: ROOF SLOPES LESS THAN 4 IN 12 SHALL HAVE MIN. (2) LAYERS
OF #15 FELT PARALLEL TO EAVES, WITH MIN. 19" LAP AT TOP
AND MIN. 12" END LAP, WITH MIN. 72" BETWEEN ROWS OF END LAPS

-OR- INSTALLED PER SHINGLE MANUFACTURER'S SPECIFICATIONS
FOR COLD-WEATHER LOW-SLOPE CONDITIONS



8" SOFFIT / EAVE DETAIL

SCALE: 1" = 1'-0"

PRELIMINARY LAYOUT ONLY
SEE ROOF TRUSS ENGINEERING LAYOUT
FOR FINAL FRAMING PLAN

⊕ = BEARING POINT AT WALL BELOW

CONVENTIONALLY FRAMED AREAS SHOWN SHADED
INFILL & OVERLAY FRAMING
2X6 RAFTERS AT 24" O/C
2X8 RIDGE BOARDS (OR LVL) PER FRAMING PACKAGE
BLOCK DOWN TO BEARING WALLS BELOW
W/ 2-2X4 PURLINS AT 48" O/C WHEREVER POSSIBLE

ALL RIDGE BEAMS AND HIP RAFTER DEPTHS ARE TO BE
NOT LESS THAN DEPTH OF END CUT OF RAFTER

ALL RAFTERS & OTHER CONVENTIONAL ROOF FRAMING
LUMBER IS TO COMPLY WITH SPAN TABLE ABOVE

MIN. 2X6 VALLEY PLATE ON ROOF SHEATHING
NAIL THRU TO RAFTERS / TRUSSES BELOW

FOR ROOF AREAS UNABLE TO BE TRUSSED, FOLLOW
CONVENTIONAL SPAN TABLES ABOVE
(RIDGE BD. DEPTHS MUST EXCEED RAFTER CUTS)

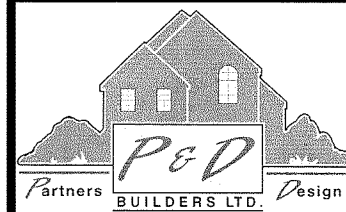
TRUSS DESIGNER TO CONTRACT P&D BUILDERS
WITH DESIGN QUESTIONS (740) 201-8079 X216 ATTN. HEATHER

AVOID PLACING GIRDER & CARRIER TRUSSES
ABOVE OPENINGS WHENEVER POSSIBLE

TRUSS DESIGNER TO COORDINATE TRUSS TOP-CHORD DESIGN
TO SUPPORT CONVENTIONAL FRAMING WHERE NECESSARY

2-2X4 BLOCKING / PURLINS EVERY 48" C/C
DOWN TO WALLS BELOW WHERE POSSIBLE

ROOF PLAN



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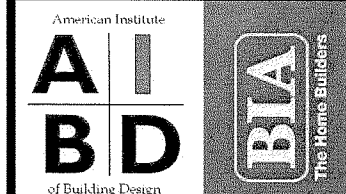
JOB LOCATION

COUNTRY LOT
OSTRANDER, OH

A New Wood-Frame Singel-Family Construction

The Webb Residence

Millcreek Twp - Union County OH



Revisions

Date:	By:
10/4/13	HLB
10/14/13	HLB
11/22/13	TB
1/7/14	TB
1/14/14	pnd

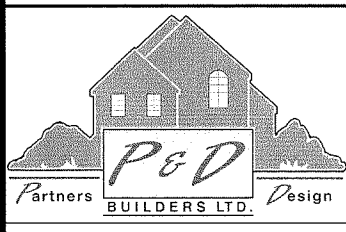
SCALE:
1/4" = 1'-0"

DESIGNED BY:

P&D/TB

PAGE:

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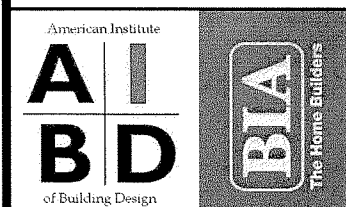


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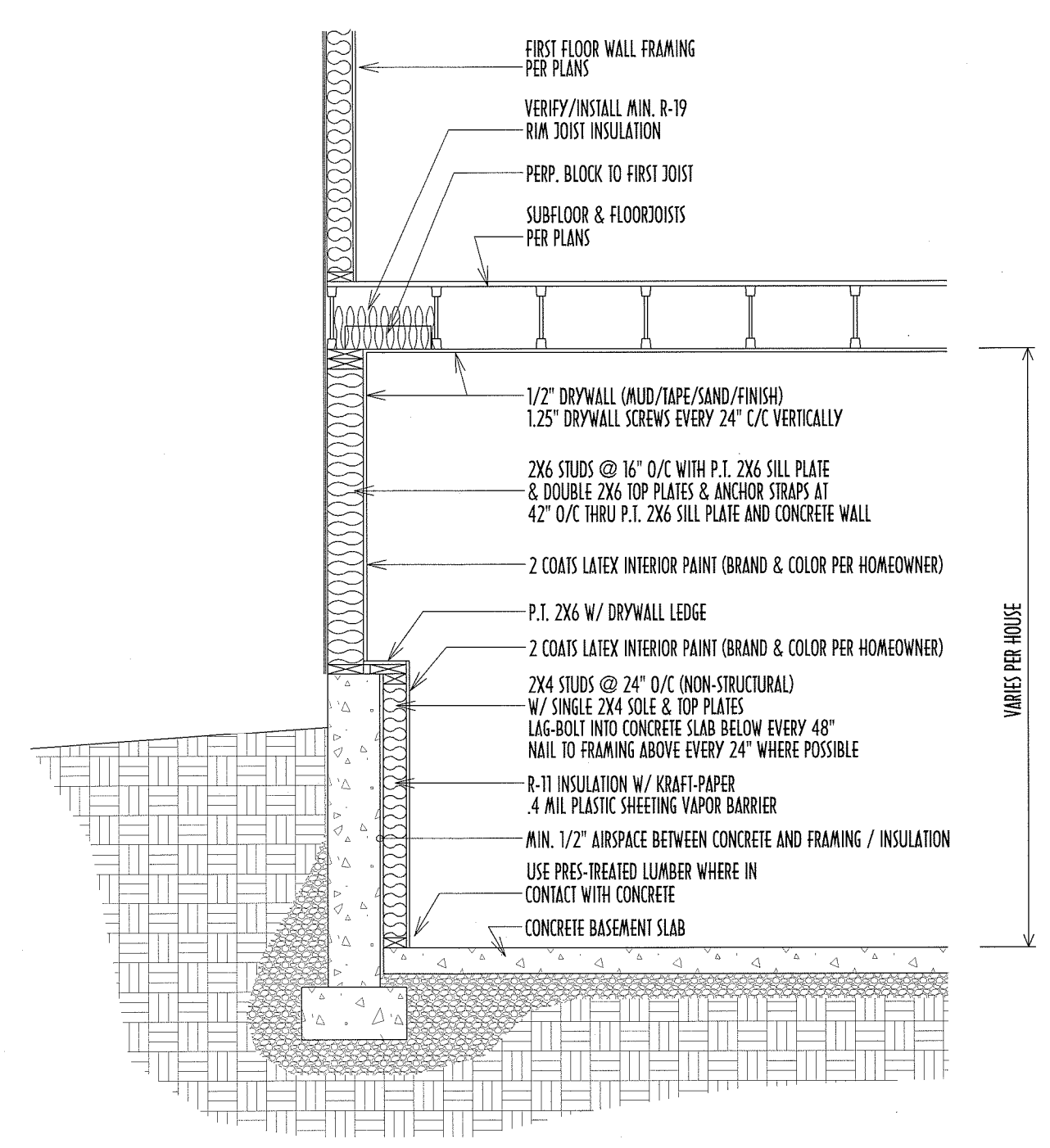
P&D JOB #
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JOB LOCATION:
COUNTRY LOT
OSTRANDER, OH

A New Wood-Framed Single-Family Construction
The Webb Residence
Millcreek Twp - Union County OH

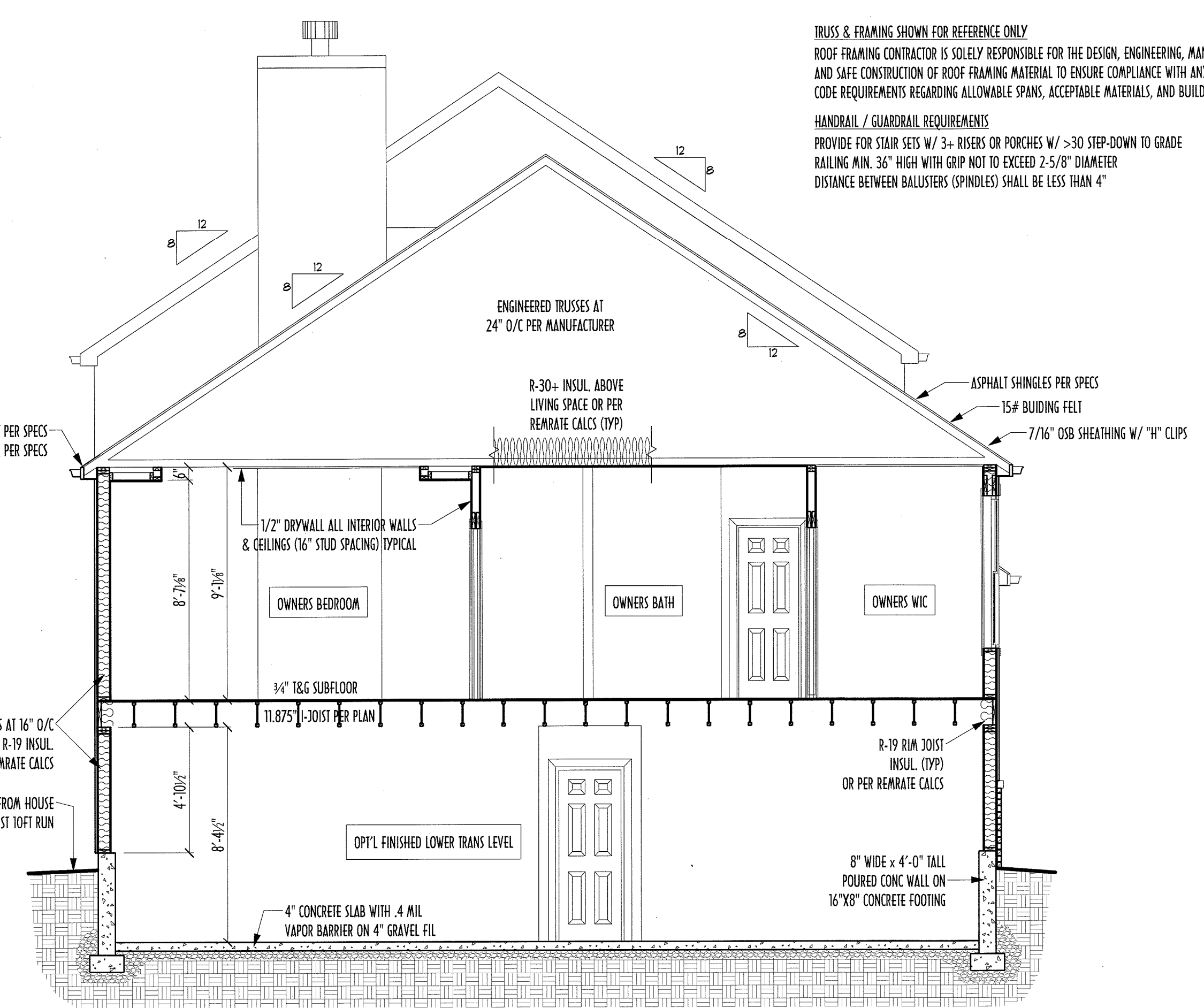


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1/7/14	TB
1/14/14	pNd

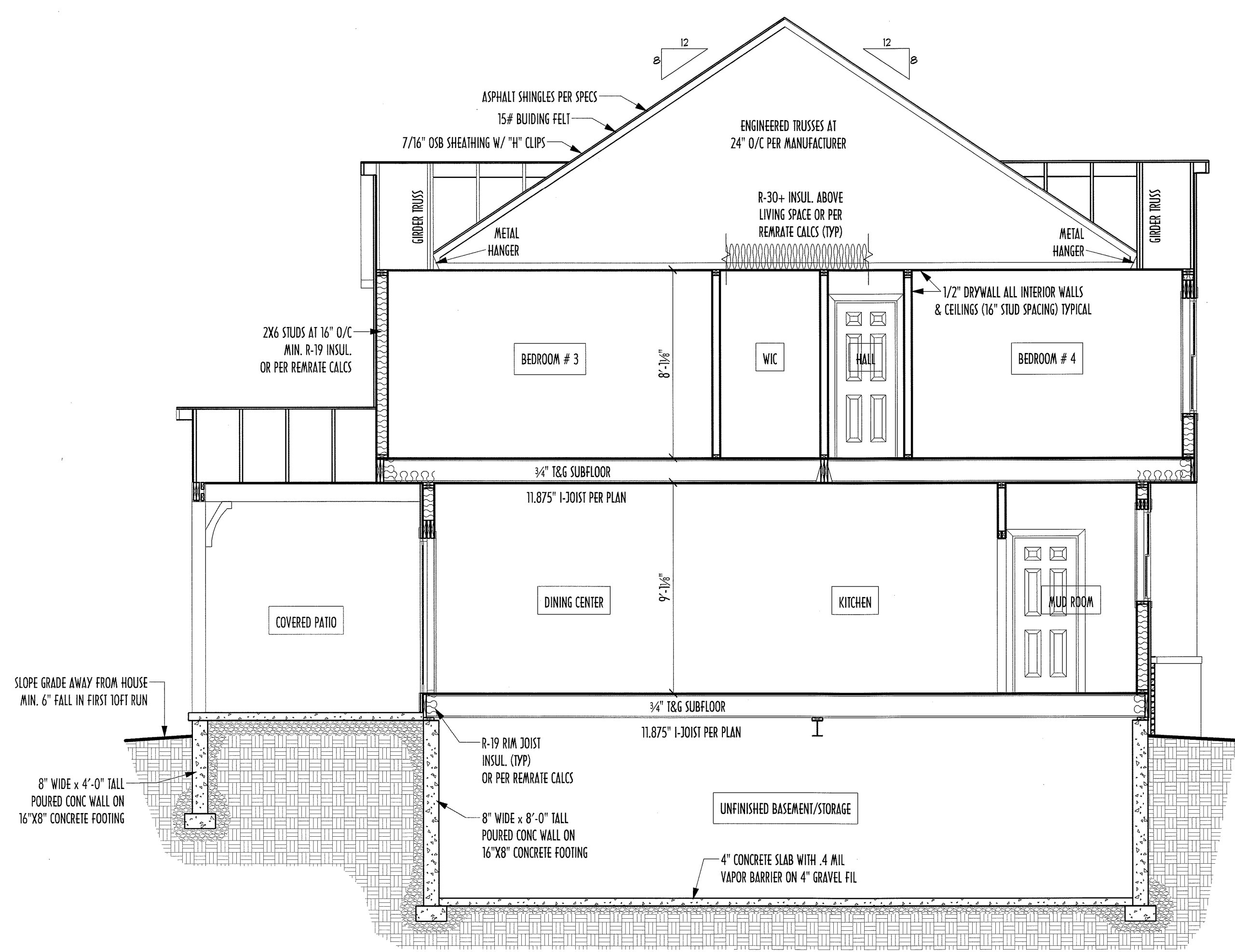
SCALE:
1/4" = 1'-0"
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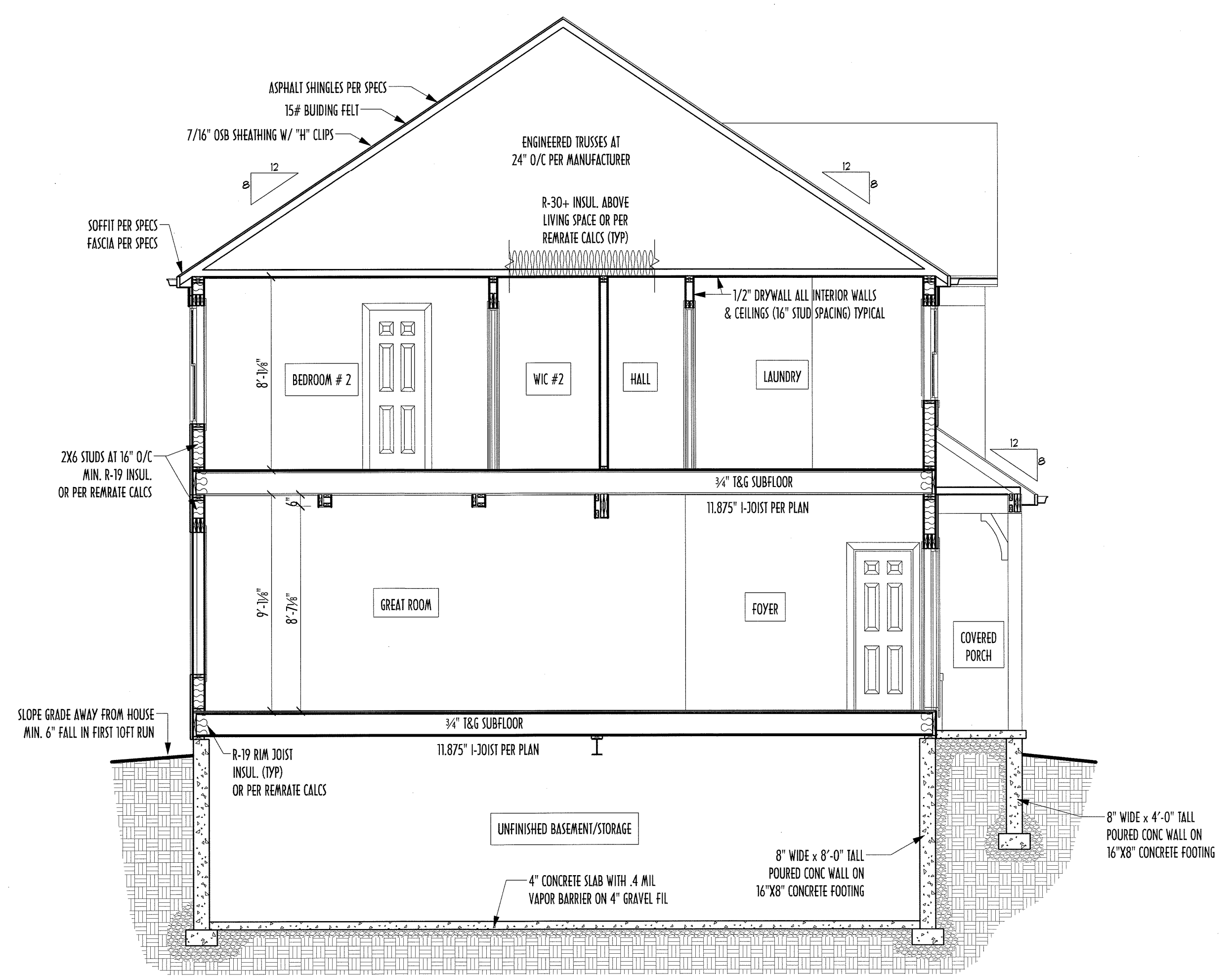
OPT'L FINISHED LOWEL TRANS LEVEL WALL DETAIL
SCALE: 1/2" = 1'-0"
SEE BUILDER'S SPECS & APPROVED PERMITS FOR CHANGES



A SECTION THRU HOUSE
SCALE: 1/4" = 1'-0"



C SECTION THRU HOUSE / REAR PORCH
SCALE: 1/4" = 1'-0"



B SECTION THRU HOUSE
SCALE: 1/4" = 1'-0"



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JOB LOCATION

COUNTRY LOT
OSTRANDER, OH

A New Wood-Framed Single-Family Construction

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HANDRAIL GRIP REQUIREMENTS:

TYPE I

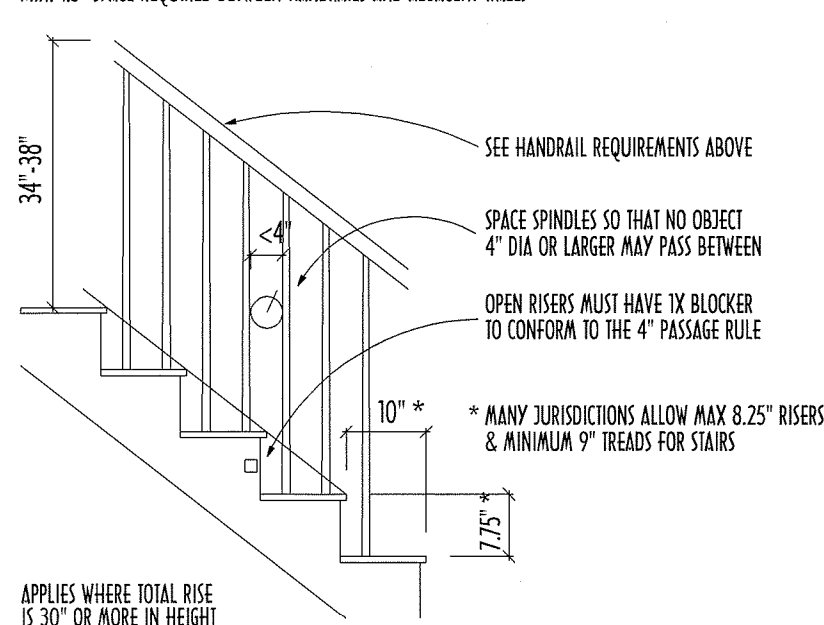
FOR CIRCULAR CROSS SECTIONS: MIN 1.25" DIAMETER & MAX 2" DIAMETER
NON-CIRCULAR CROSS SECTIONS: MIN PERIMETER 4" MAX 6.25", MAX CROSS SECTION 2.25"

TYPE II

FOR PERIMETERS GREATER THAN 6.25" PROVIDE GRADUABLE FINGER RECESSES EACH SIDE
BEGINNING 3/4" VERTICALLY FROM TALLEST POINT & BEING 5/16" DEEP WITHIN 7/8" OF WIDEST PART
AND CONTINUING MIN 3/8" TO A LEVEL NOT LESS THAN 1.75" FROM TALLEST PART
MIN WIDTH OF RAIL ABOVE RECESS IS 1.25" & MAX 2.75". MAX EDGE RADIUS 0.01"

HANDRAILS ARE TO BE CONTINUOUS FOR FULL LENGTH OF FLIGHT, FROM A
POINT DIRECTLY ABOVE THE TOP RISE TO A POINT DIRECTLY ABOVE THE LOWEST
RISE, AND TERMINATE INTO A NEWELL POST OR BE RETURNED INTO WALL

MIN. 1.5" SPACE REQUIRED BETWEEN HANDRAILS AND ADJACENT WALLS



MINIMUM CLEAR WIDTH BETWEEN STAIR WALLS IS 36" (37" FRAMING + DRYWALL)

MINIMUM CLEAR WITH BETWEEN HANDRAILS IS 27" IF TWO RAILS, OR 31.5" IF ONE RAIL

RISE HEIGHTS MAY NOT VARY MORE THAN 3/8" BETWEEN TALLEST & SHORTEST

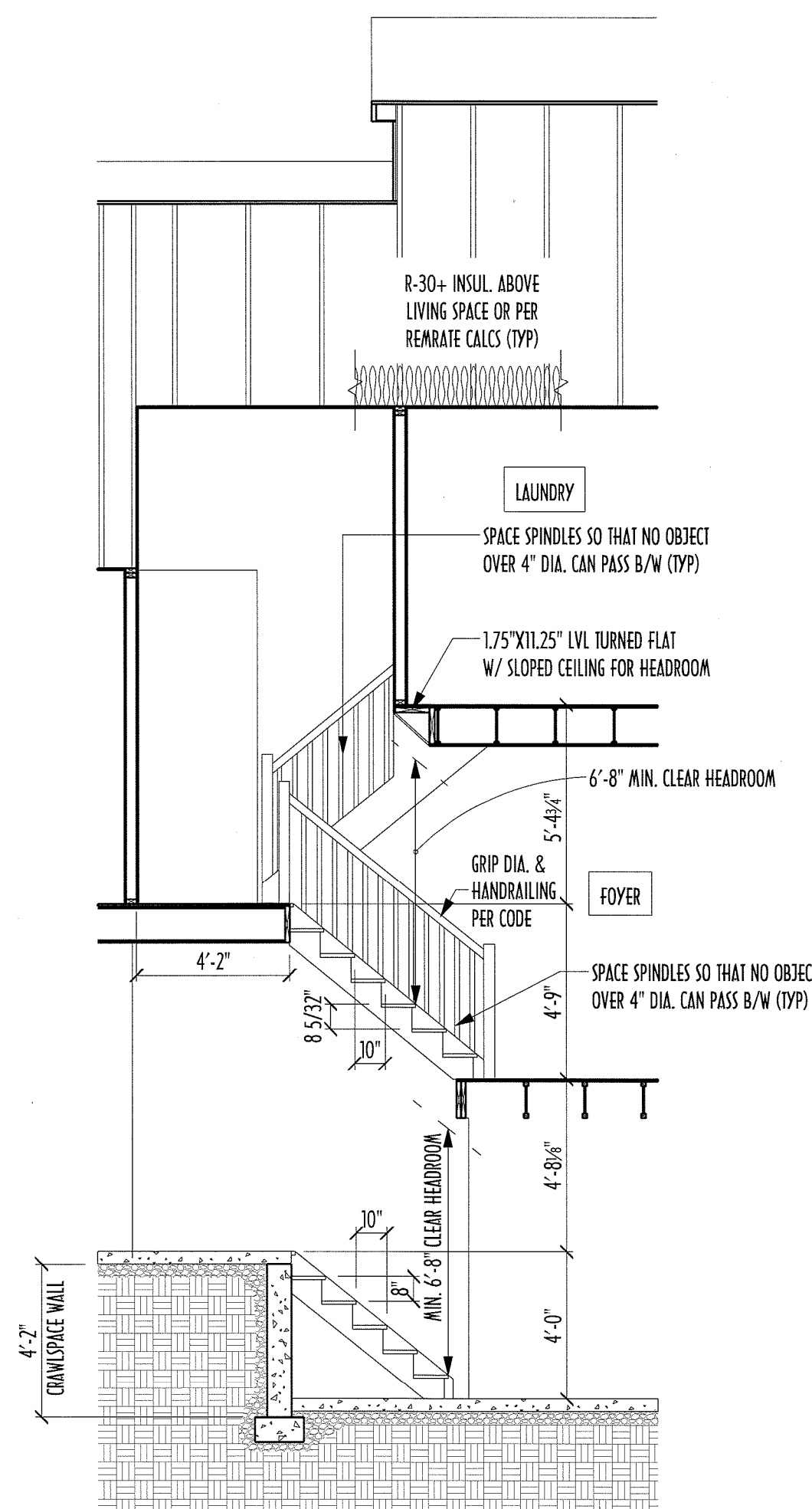
HEADROOM CLEARANCE MINIMUM 6'-8" (MEASURED VERTICALLY FROM NOSING)

LANDINGS OR FLOORS ARE REQUIRED AT TOP & BOTTOM OF ALL STAIR FLIGHTS
THE MINIMUM WIDTH/DEPTH OF LANDINGS NOT LESS THAN 36" (OR = STAIR WIDTH)

EXCEPTION: INTERIOR & ENCLOSED GARAGE STAIRS AS LONG AS NO DOOR SWINGS OUT OVER STAIRS

STAIR CODE DETAILS

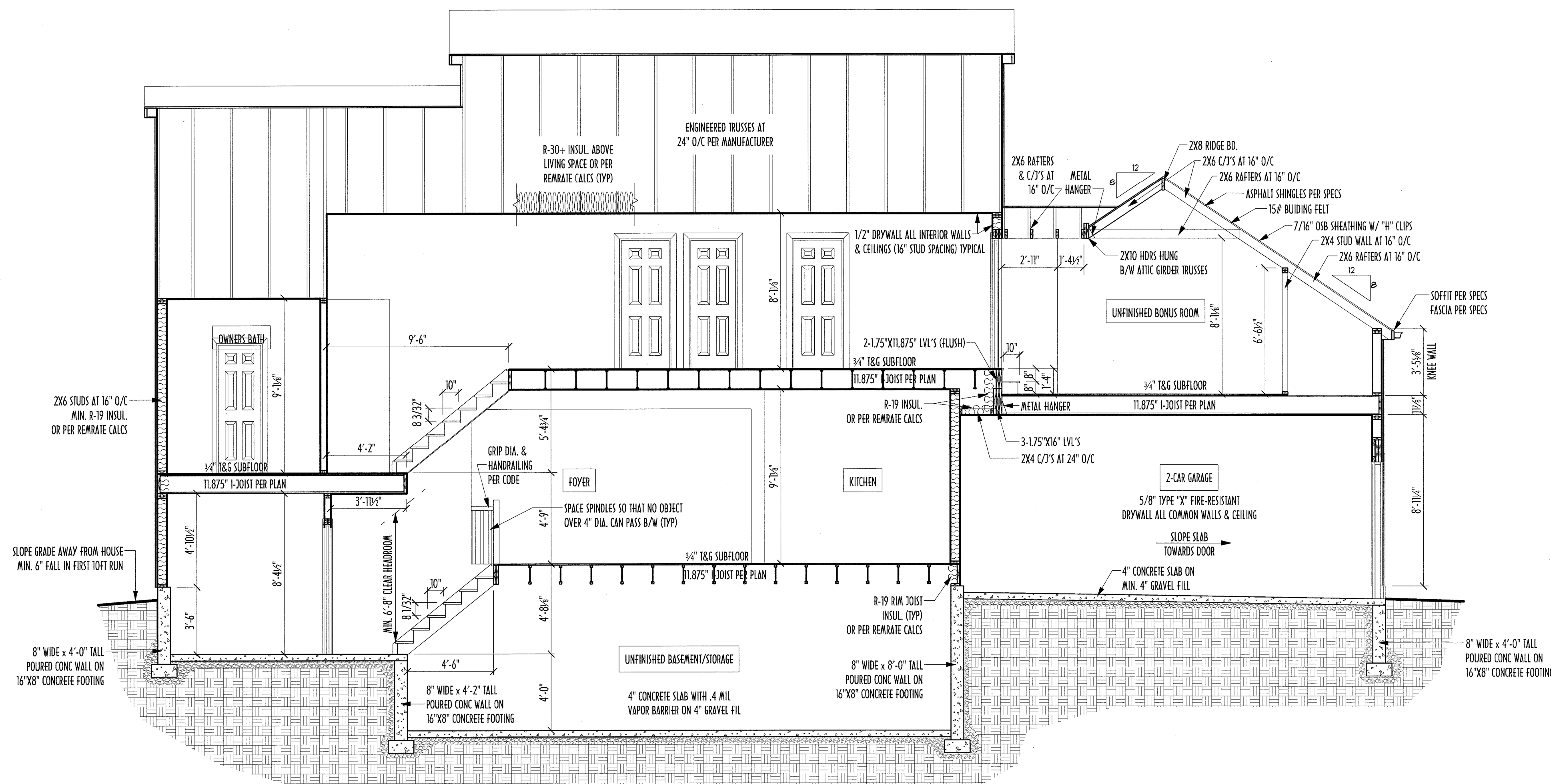
SCALE: 1/2" = 1'-0"



E SECTION THRU STAIRS

SCALE: 1/4" = 1'-0"

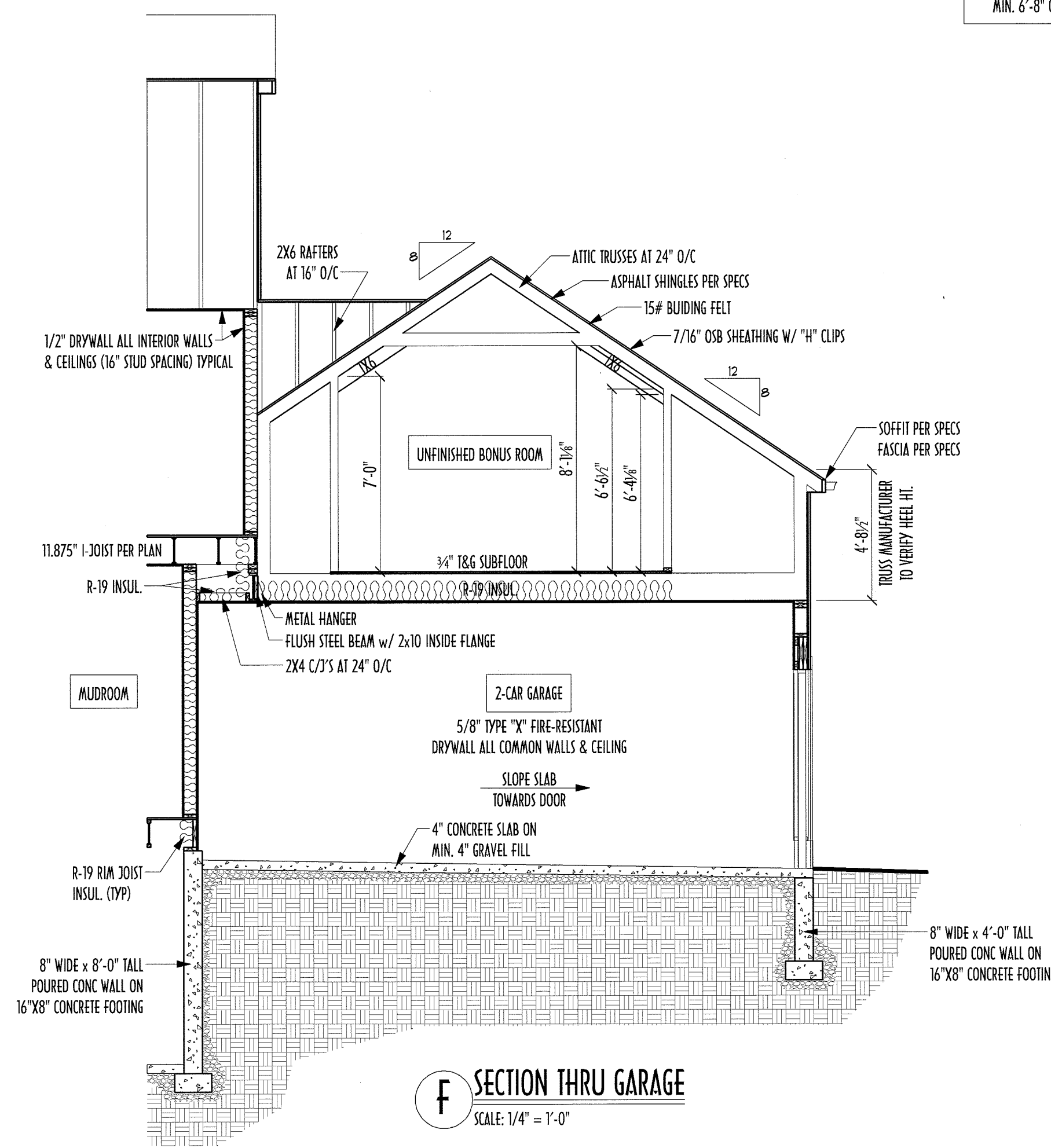
MINIMUM ALLOWABLE STAIR CRITERIA
MAX. 8-3/4" RISERS
MIN. 9" TREADS
MIN. 6'-8" CLEAR HEADROOM



D SECTION THRU HOUSE / STAIRS / GARAGE

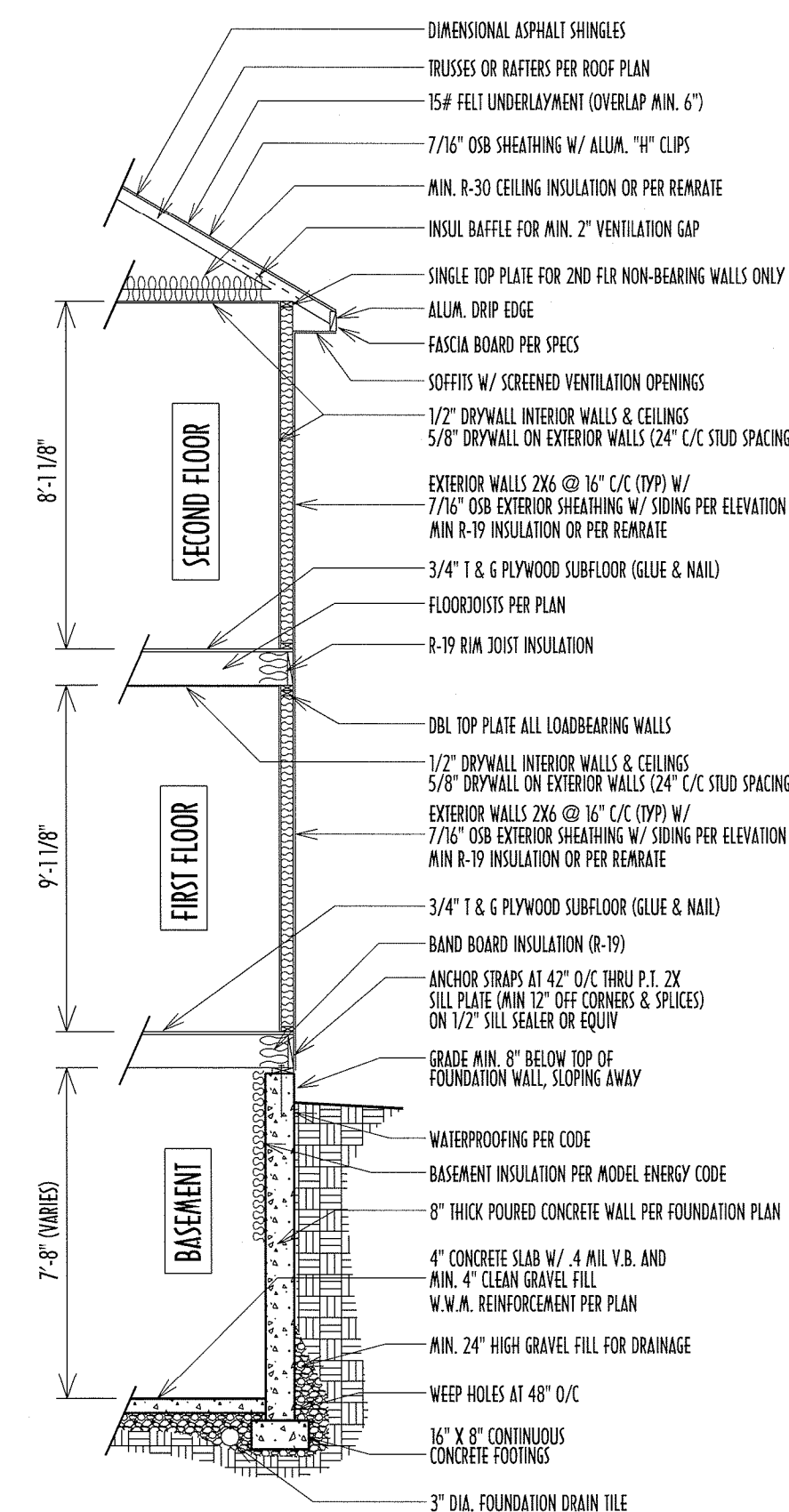
SCALE: 1/4" = 1'-0"

MINIMUM ALLOWABLE STAIR CRITERIA
MAX. 8-3/4" RISERS
MIN. 9" TREADS
MIN. 6'-8" CLEAR HEADROOM



F SECTION THRU GARAGE

SCALE: 1/4" = 1'-0"



TYPICAL WALL SECTION

NOT TO SCALE

THIS IS A GENERIC WALL SECTION DESCRIBING THE TYPICAL CONSTRUCTION MATERIALS &
METHODS UTILIZED FOR THIS TYPE OF SINGLE-FAMILY WOOD FRAME RESIDENCE
SPECIFICATIONS, BUILDING CODE REQUIREMENTS, AND PLAN SPECIFIC SECTIONS OVERRIDE THIS DETAIL

Approved by
AI
of Building Design

Revisions

Date:	By:
10/4/13	HLB
10/14/13	HLB
11/22/13	TB
1/7/14	TB
1/14/14	pnd

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