

P&D Builders - Job # 1609



FRONT ELEVATION
SCALE : 1/4" = 1'-0"



BACK ELEVATION
SCALE : 1/4" = 1'-0"

P & D
BUILDERS
EST. 1962

DIMENSIONAL SHINGLES PER SPECS
15# BUILDING FELT
7/16" OSB SHEATHING W/ 1" CLIPS

RAISED TRUSS ROOF
2ND FLR CEILING HGT
2ND FLR WINDOW HGT
7'-6"
9'-1 1/2"
SECOND FLOOR
FIRST FLR CEILING HGT
FIRST FLR WINDOW HGT
8'-0"
10'-1 1/2"
FIRST FLOOR
TOP OF FOUNDATION
GRADE LINE (APPROX)

FINAL WINDOW DESIGN PER PROVIDER, ALL FRAMING ROUGH-
OPENINGS TO BE BASED ON FINAL LAYOUT ONLY
EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS)
MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER
GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY

HARDIE ARCHITECTURAL PANELS I.B.D.
DIMENSIONAL SHINGLES
FALX STONE VENER
HORIZ. LAP SIDING

ELEVATIONS 1



P&D Builders Ltd.
59 Great Parkway Suite
100
Delaware, Ohio 43015
(740) 201-8079
Fax (740) 201-8084
www.pandbuilders.com

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1609

NOT FOR CONSTRUCTION

STATE OF OHIO
RONALD W. DANNE
1717085
REGISTERED ARCHITECT

RONALD W. DANNE, LICENSE #177085
EXPIRATION DATE 12/31/2023

Danne
Residential Design & Drafting
614.207.6266 danne.drd@gmail.com

REVISION DATE	BY:	FILED
1/31/23 & 2/1/23	jam	concept
2/6/23 & 2/15/23	rwd	concept rev
2/22/23 & 3/1/23	rwd	prelim
3/6/23 & 3/23/23	jam	prelim rev
3/26/23	rwd	prelim rev/q
3/29/23	j/r	prelim rev
4/3/23 & 4/14/23	rwd	prelim rev/q
4/18/23	jam	prelim rev
5/18/23 & 5/22/23	rwd	HOA rev
-	-	panel cds
-	-	-

10'-SCALE WHEN PRINTED 24"X - TYPICAL SEE "P"
HELP-DESK DRAWING - DO NOT SCALE FROM

FIRST FLR LIVING SP =	2,132 SQ.FT.
SECOND FLR LIVING SP =	1, 640 SQ.FT.
TOTAL FLR LIVING SP =	3,772 SQ.FT.
OPT. FINISHED BSMT =	1,413 SQ.FT.

P&D / rwd

5 of 10

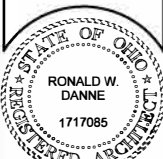


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PRELIMINARY DESIGN - NOT FOR CONSTRUCTION



RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2025

Danne
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REVISION DATE	BY	REV
1/31/23 & 2/1/23	jam	concept
2/6/23 & 2/15/23	rwd	concept rev
2/22/23 & 3/1/23	rwd	prelim
3/6/23 & 3/2/23	jam	prelim rev
3/26/23	rwd	prelim rev/fig
3/29/23	YF	prelim rev
4/3/23 & 4/14/23	rwd	prelim rev/fig
4/16/23	jam	prelim rev
5/16/23 & 5/22/23	rwd	HOA rev
		panel cbs



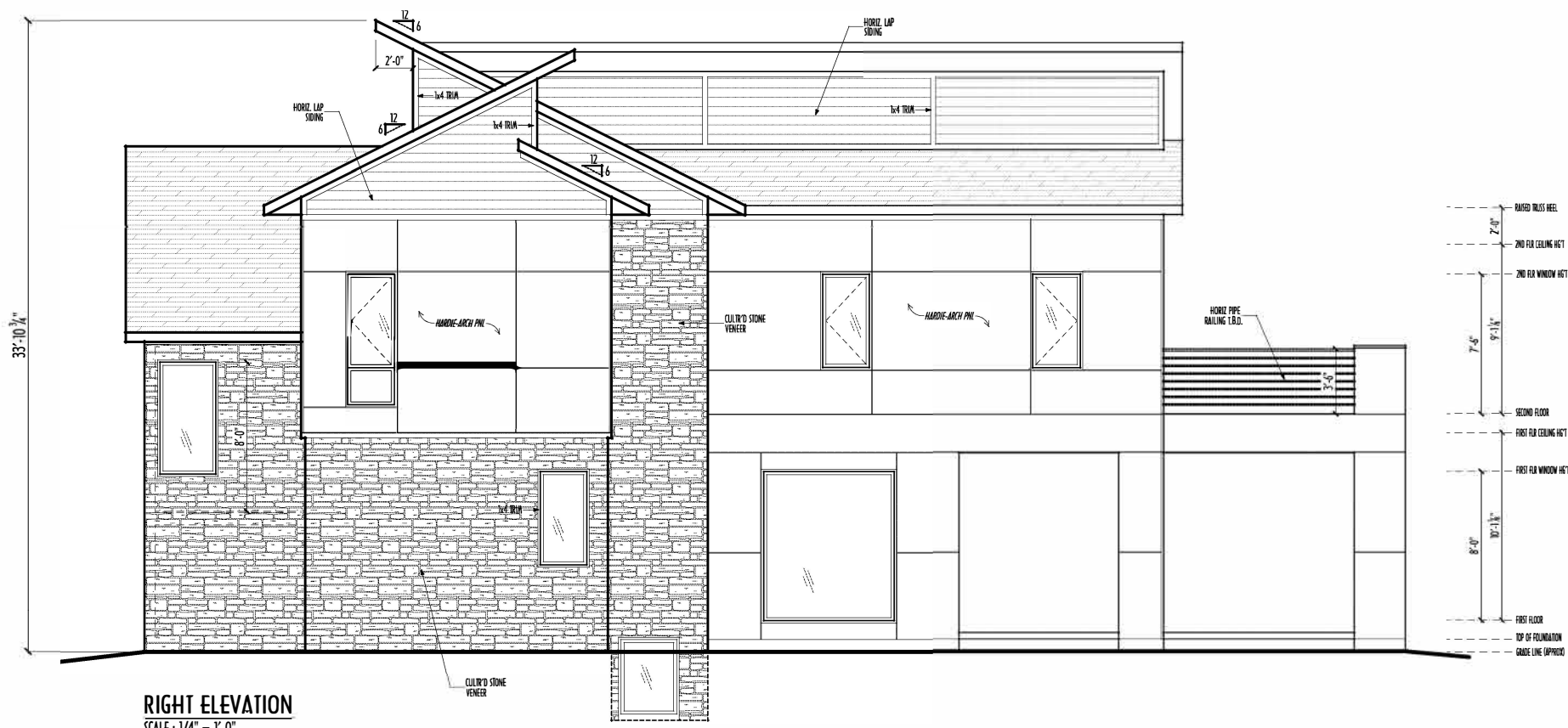
DESIGNED BY P&D / rwd

FIRST FLOOR CEILINGS @ 10'-11/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOW HEADERS @ 8'-0" UNLESS NOTED OTHERWISE
SECOND FLOOR CEILINGS @ 9'-1 1/8" UNLESS NOTED OTHERWISE
SECOND FLOOR WINDOW HEADERS @ 7'-6" UNLESS NOTED OTHERWISE
EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS
SEE ROOF PLAN FOR SD FIT & RAKE SIZES
RUN BRICK VENEER 1" PAST FRAMING CORNERS
CULTURED STONE VENEER WRAPS FRONT CORNERS MIN 6"
INTO TAG WOOD TRIM UNLESS NOTED
FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A
A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT
WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
CONFORM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER
RUN STUCCO, STONE & BRICK VENEER TO GRADE UNLESS NOTED
WEEP SCREEDS FOR STUCCO EXTERIORS SHALL COMPLY WITH R-703.6.2.1
(#26 GALV CORROSION-RESISTANT SCREED AT/ABV FOUNDATION PLATE (CL5) FLANGE)
PLACED AT MIN 4" ABV EARTH / 2" ABV PAVING, ALLOWING TRAP'D WATER TO DRAIN
SLOPES GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

FINAL WINDOW DESIGN PER PROVIDER. ALL FRAMING ROUGH-
OPENINGS TO BE BASED ON FINAL LAYOUT ONLY
EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS)
MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER
GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

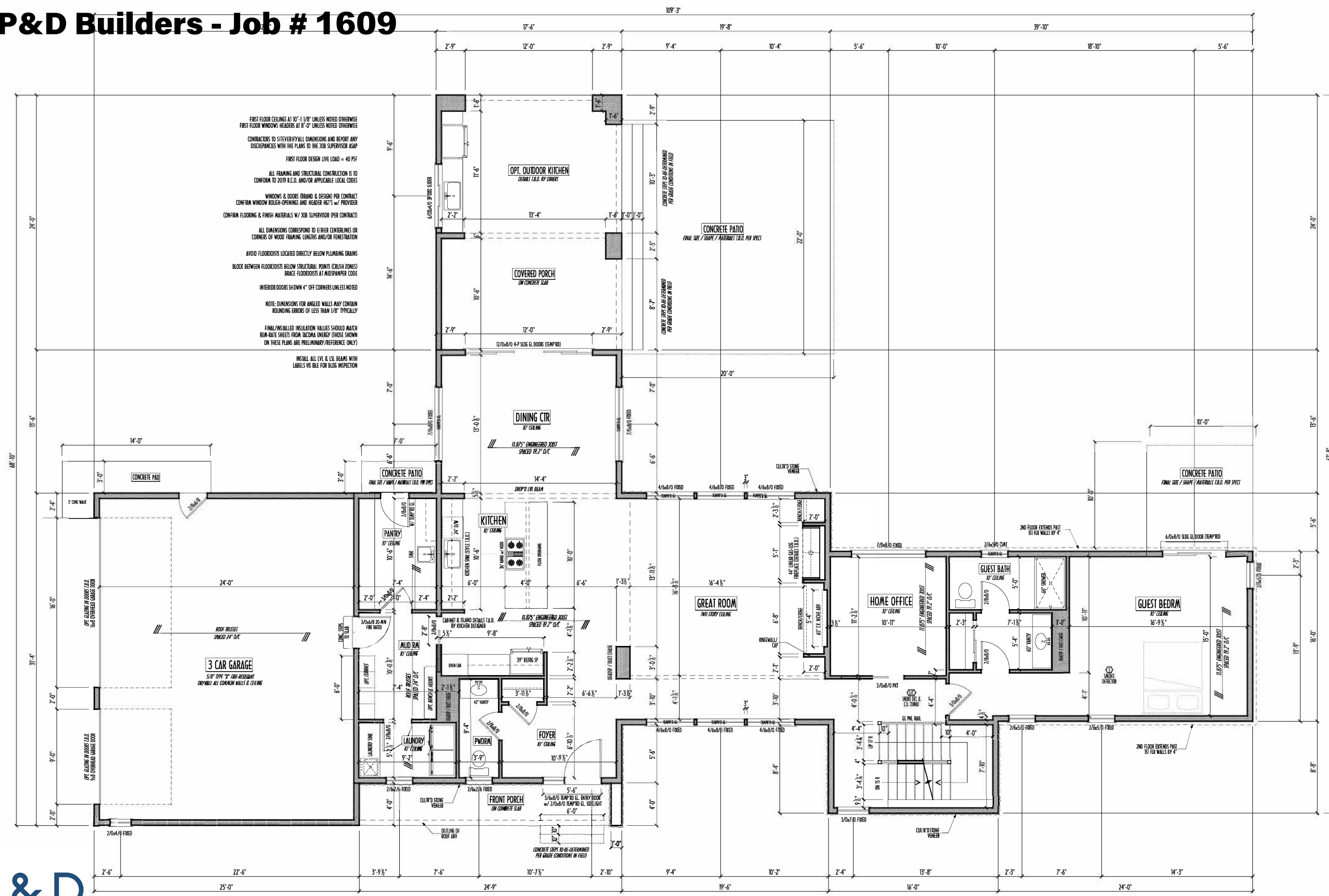


RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

- HARDIE ARCHITECTURAL PANELS T.B.D.
- DIMENSIONAL SHINGLES
- CULTURED STONE VENEER
- HORIZ LAP SIDING

FIRST FLR LIVING SP =	2,132 SQ.FT.
SECOND FLR LIVING SP =	1,640 SQ.FT.
TOTAL FLR LIVING SP =	3,772 SQ.FT.
OPT. FINISHED BSMT =	1,413 SQ.FT.

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FIRST FLOOR CEILINGS AT 10'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOWS HEADERS AT 8'-0" UNLESS NOTED OTHERWISE
CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP
FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO CONFORM TO 2019 I.C.C. AND/OR APPLICABLE LOCAL CODES
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT
CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HGT'S w/ PROVIDER
CONFIRM FLOORING & FINISH MATERIALS w/ JOB SUPERVISOR (PER CONTRACT)
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF WOOD FRAMING LENGTHS AND/OR PENETRATION
AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT MIDSPAN PER CODE
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REAR-SHEET SHEETS FROM ILLINOIS ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)
INSTALL ALL LVL & LSL BEAMS WITH LABELS VIS. BLE FOR BLDG INSPECTION

P & D

BUILDERS

EST. 1962

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST FLR LIVING SP =	2,132 SQ.FT.
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OPT. FINI. SHED BSM T =	1,413 SQ.FT.

1ST FLR

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RESIDENTIAL DESIGN & DRAFTING

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REVISION DATE:	BY:	FILED
1/3/23 & 2/1/23	jam	concept
2/8/23 & 2/15/23	rwd	concept
2/22/23 & 3/1/23	rwd	prelim
3/8/23 & 3/23/23	jam	prelim
3/26/23	rwd	prelim
3/29/23	j/c	prelim
4/3/23 & 4/14/23	rwd	prelim
4/18/23	jam	prelim
5/16/23 & 5/22/23	rwd	HCA
-	-	print
-	-	print

10'-SCALE WHEN PRINTED 24"X36" - 1/4" = 1'-0"

1/4" = 1'-0"

P&D / rwd

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2ND FLR

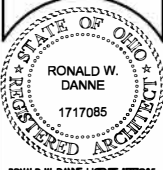


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EXPIRATION DATE 12/31/2023



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REVISION	DATE	BY	DESCRIPTION
1/3/23	2/1/23	jam	concept
2/8/23	2/15/23	rwd	concept rev
2/22/23	3/1/23	rwd	prelim
3/8/23	3/23/23	jam	prelim rev
3/26/23		rwd	prelim rev
3/29/23		jvt	prelim rev
4/3/23	4/14/23	rwd	prelim rev
4/18/23		jam	prelim rev
5/16/23	5/22/23	rwd	HCA rev
			panel ctds

TO SCALE WHEN PRINTED 24x36 - TYPED SIZE 11"

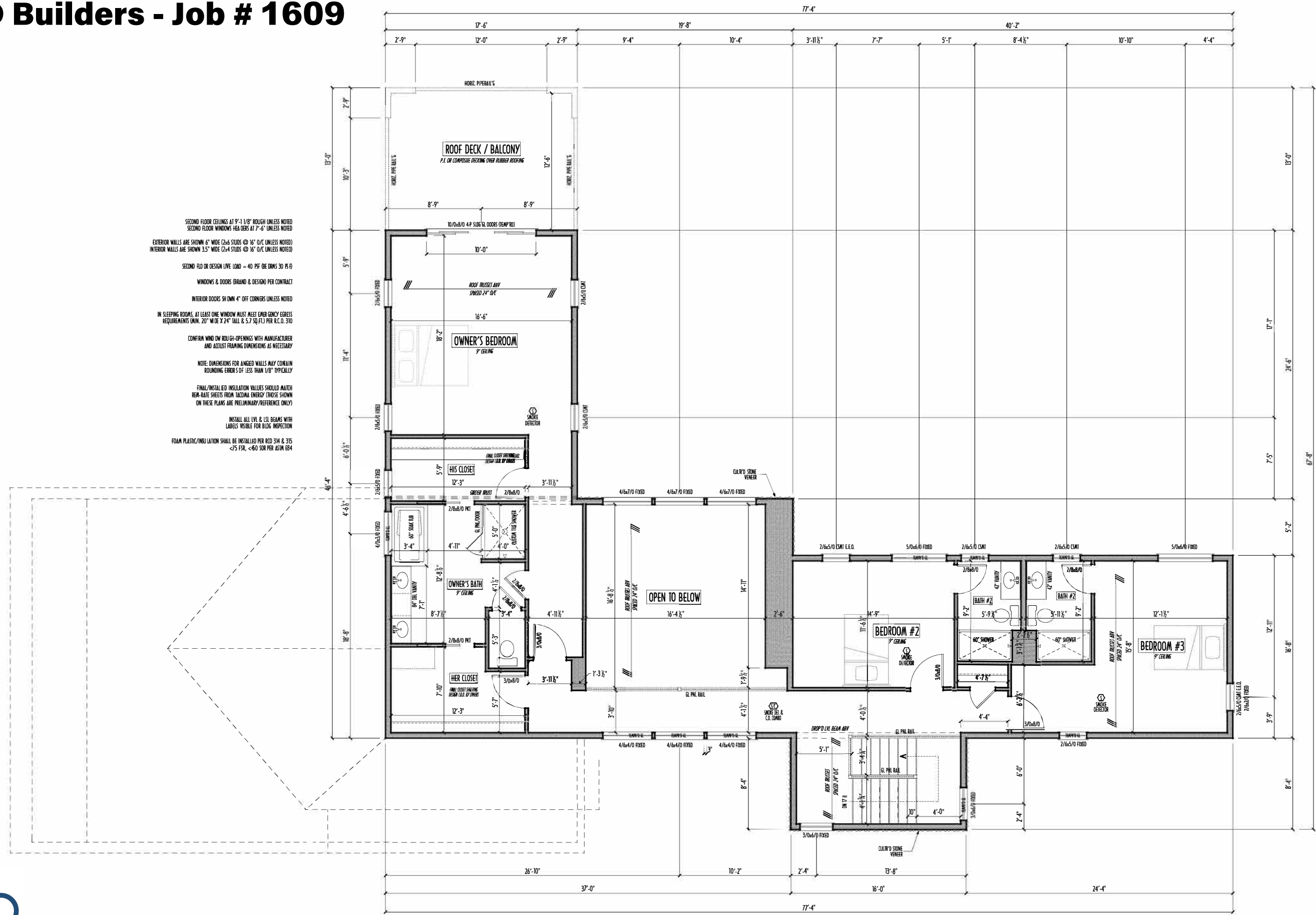


DESIGNED BY

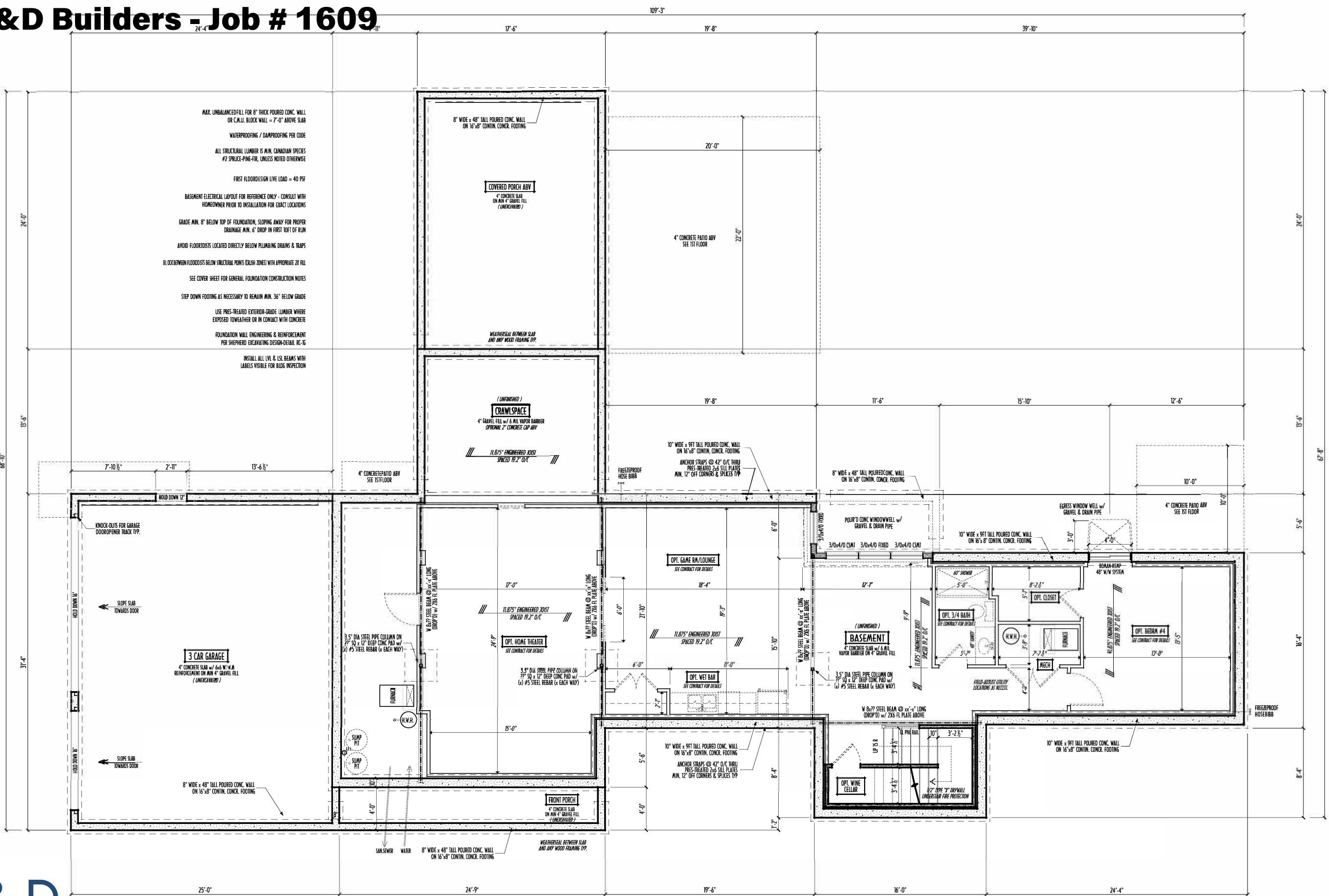
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P&D Builders - Job # 1609



FOUNDATION / BASEMENT PLAN
SCALE: 1/4" = 1'-0"

FIRST FLR LIVING SP =	2,132 S Q.FT.
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FND/BSMT

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1/3/23	2/1/23	jam	concept
2/6/23	2/15/23	rwd	concept rev
2/22/23	3/1/23	rwd	prelim
3/8/23	3/23/23	jam	prelim rev
3/26/23		rwd	prelim rev/typ
3/29/23		1/1	prelim rev
4/3/23	4/14/23	rwd	prelim rev/typ
4/18/23		jam	prelim rev
5/16/23	5/22/23	rwd	HCA rev
			panel cds

10'-SCALE WHEN PRINTED 24x36 - THREE EYE 12"

12"=1'-0" (1/4"=1'-0")

1

P&D / rwd

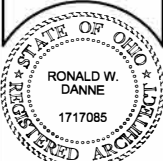
2 of 10



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EXPIRATION DATE 12/31/2020

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REVISION DATE	BY	CHKD
1/3/23	2/1/23	jam
2/8/23	2/15/23	rwd
2/22/23	3/1/23	rwd
3/8/23	3/23/23	jam
3/26/23		rwd
3/29/23		jam
4/3/23	4/14/23	rwd
4/18/23		jam
5/16/23	5/22/23	rwd
		jam



P&D / rwd

MAX. ALLOWABLE SPANS	
RAFTERS	
CEILING APPLIED DIRECTLY TO BOTTOM / REPETITIVE USE	
SOUTHERN YELLOW PINE #2 SPRUCE/PINE/FIR #2	
2x4 @ 16" - MAX. SPAN = 6'-1"	2x4 @ 15" - MAX. SPAN = 6'-6"
2x4 @ 24" - MAX. SPAN = 7'-5"	2x4 @ 24" - MAX. SPAN = 6'-11"
2x6 @ 16" - MAX. SPAN = 13'-0"	2x6 @ 15" - MAX. SPAN = 12'-5"
2x6 @ 24" - MAX. SPAN = 10'-0"	2x6 @ 24" - MAX. SPAN = 10'-2"
2x8 @ 16" - MAX. SPAN = 15'-10"	2x8 @ 15" - MAX. SPAN = 15'-4"
2x8 @ 24" - MAX. SPAN = 15'-4"	2x8 @ 24" - MAX. SPAN = 12'-10"
2x10 @ 16" - MAX. SPAN = 20'-1"	2x10 @ 15" - MAX. SPAN = 19'-5"
2x10 @ 24" - MAX. SPAN = 15'-5"	2x10 @ 24" - MAX. SPAN = 15'-5"
2x12 @ 16" - MAX. SPAN = 23'-7"	2x12 @ 15" - MAX. SPAN = 22'-4"
2x12 @ 24" - MAX. SPAN = 18'-3"	2x12 @ 24" - MAX. SPAN = 18'-3"

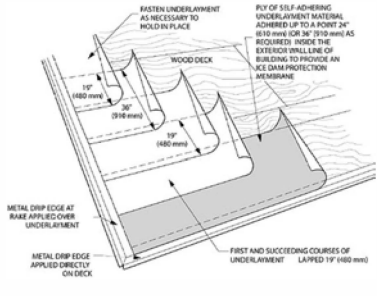
CHANGING WOOD GRAIN - SEE SPANS FOR CHANGING WOOD GRAIN
MINIMUM SPACING: 12" ON CENTER
MIN. GABLES / 20% MINIMUM GABLES

MAX. ALLOWABLE SPANS	
CEILING JOISTS	
SPRUCE/PINE/FIR #2 OR BETTER (REPETITIVE USE)	
EXTREME FIBER STRESS IN BENDING $F_b = 1100$ PSI MODULUS OF ELASTICITY $E = 1.4$ MIL. PSI	
NO STORAGE ALLOWED:	LIMITED ATTIC STORAGE:
2x4 @ 16" - MAX. SPAN = 10'-4"	2x4 @ 15" - MAX. SPAN = 6'-1"
2x4 @ 24" - MAX. SPAN = 9'-10"	2x4 @ 24" - MAX. SPAN = 7'-8"
2x6 @ 16" - MAX. SPAN = 15'-11"	2x6 @ 15" - MAX. SPAN = 15'-4"
2x6 @ 24" - MAX. SPAN = 15'-4"	2x6 @ 24" - MAX. SPAN = 11'-0"
2x8 @ 16" - MAX. SPAN = 22'-4"	2x8 @ 15" - MAX. SPAN = 17'-5"
2x8 @ 24" - MAX. SPAN = 20'-1"	2x8 @ 24" - MAX. SPAN = 14'-2"
2x10 @ 16" - MAX. SPAN = 26'-1"	2x10 @ 15" - MAX. SPAN = 21'-5"
2x10 @ 24" - MAX. SPAN = 25'-11"	2x10 @ 24" - MAX. SPAN = 19'-11"

CHANGING WOOD GRAIN - SEE SPANS FOR CHANGING WOOD GRAIN
MINIMUM SPACING: 12" ON CENTER
MIN. GABLES / 20% MINIMUM GABLES

ROOF VENTILATION CALC'S	
HORIZONTAL AREA OF ATTIC SPACES = XXXX SQ. FT.	
DIVIDE HORIZ. AREA BY 300 (ROUND BOTH RIDGE & SOFFIT VENTS)	
REQUIRED SQ. FT. OF VENT OPENINGS = XXXX SQ. FT.	
ACTUAL LINEAR FT. OF RIDGE VENT (XXX) = XX LF x .11 PER = XX SQ. FT.	
ACTUAL SQ. FT. OF SOFFIT VENT (MIN XXX) = XX x .25 = XX SQ. FT.	
ACTUAL TOTAL SQ. FT. OF VENTS = XXXX SQ. FT.	

FIRST FLR LIVING SP =	2,132 SQ. FT.
SECOND FLR LIVING SP =	1, 640 SQ. FT.
TOTAL FLR LIVING SP =	3,772 SQ. FT.
OPT. FINISHED BSMT =	1,413 SQ. FT.



NOTE: DIMENSIONS ARE APPROXIMATE
PROVIDE ICE-DAM PROTECTION @ EAVES USING 2 LAYERS OF OVERLAPPED UNDERLAYMENT
CEMENTED TOGETHER UNDER SHINGLES EXTENDING IN MIN. 24" FROM OUTSIDE OF WALL BELOW

NOTE: ROOF SLOPES LESS THAN 4 IN 12 SHALL HAVE MIN. 12 LAYERS OF #15 FELT PARALLEL TO EAVES WITH MIN. 1" LAP AT TOP AND MIN. 12" END LAP WITH MIN. 2" BETWEEN ROWS OF END LAPS
- OR - INSTALLED PER SINGLE MANUFACTURER'S SPECIFICATIONS FOR COLD-WEATHER LOW-SLOPE CONDITIONS

SOFFITS EXTEND 8" PAST FRAMING OR BRICK U.N.O.
RAVES EXTEND 8" PAST FRAMING OR BRICK U.N.O.

ROOF TRUSSES DESIGNED AND ENGINEERED BY MANUFACTURER PER BUILDING CODE REQUIREMENTS
ALL EXTERIOR WALLS CAN BE CONSIDERED LOADBEARING. DO NOT DESIGN TRUSSES TO BEAR ON INTERIOR WALLS UNLESS NOTED AS "ABLE TO LOADBEAR" ON PLANS

LAYOUT SHOWN IS FOR REFERENCE ONLY - STRUCTURAL LAYOUT DESIGNED BY TRUSS COMPANY

ALL STRUCTURAL LUMBER MINIMUM #2 S-P-F UNLESS NOTED

HAT VENTS / RIDGE VENTS / GABLE VENTS SHOWN ON ELEVATIONS

PROVIDE FLASHING FOR ROOF / WALL INTERSECTIONS

FRAMING CONTRACTOR IS TO PROVIDE ENGINEERING CUT SHEETS FOR ALL TRUSSES AND PRE-MANUFACTURED BEAMS (LVL'S) TO BUILDING INSPECTOR AT FRAMING INSPECTION

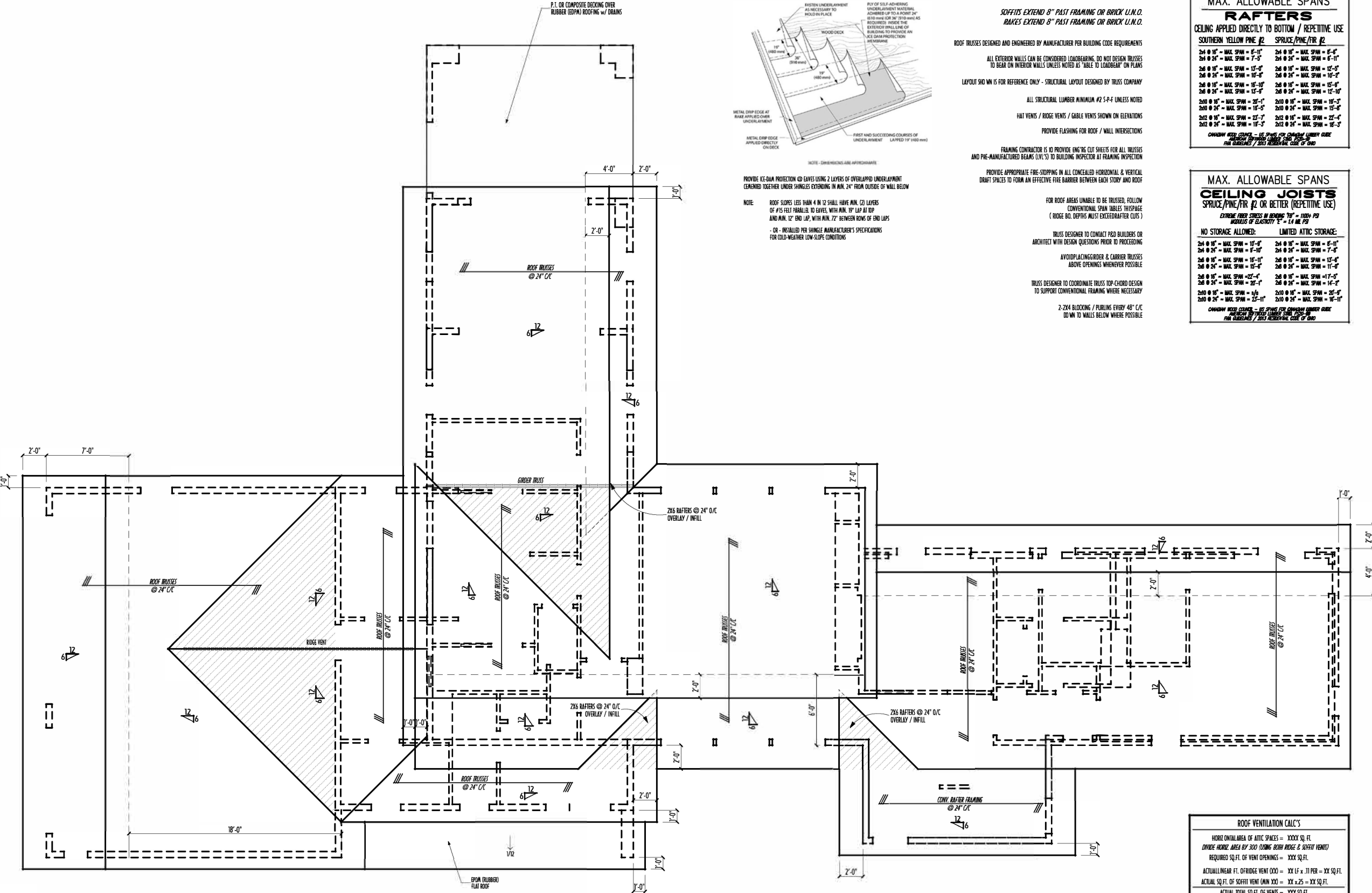
PROVIDE APPROPRIATE FIRE-STOPPING IN ALL CONCEALED HORIZONTAL & VERTICAL DRAFT SPACES TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN EACH STORY AND ROOF

FOR ROOF AREAS UNABLE TO BE TRUSSED, FOLLOW CONVENTIONAL SPAN TABLES THIS SPACE (RIDGE BD. DEPTHS MUST EXCEED RAFTER CUTS)

TRUSS DESIGNER TO CONTACT P&D BUILDERS OR ARCHITECT WITH DESIGN QUESTIONS PRIOR TO PROCEEDING
AVOID PLACING RIDGE & CARRIER TRUSSES ABOVE OPENINGS WHENEVER POSSIBLE

TRUSS DESIGNER TO COORDINATE TRUSS TOP-CHORD DESIGN TO SUPPORT CONVENTIONAL FRAMING WHERE NECESSARY

2-ZX4 BLOCKING / PURLINS EVERY 48" C/C DO WN TO WALLS BELOW WHERE POSSIBLE



LIMINARY ROOF FRAMING LAYOUT
1/4" = 1'-0"
REFERENCE ONLY - TRUSS DRAWINGS TO BE ENGINEERED BY TRUSS DESIGNER