

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Aaron Fries
Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack

Plat 3017



350' 0' 350'

SCALE 1"=350'



Aaron Fries

"OVERALL DETAIL SHEET"

BOUNDARY CURVE TABLE

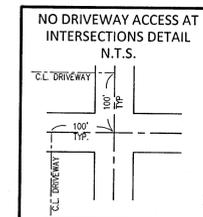
Curve #	Delta	Radius	Arc	Tangent	Chord Direction	Chord Length	Tangent Bearing
C1	34.40	100.00	60.05	30.96	N46° 46' 30" E	59.15	N63° 58' 37" E N29° 34' 23" E
C2	47.99	75.00	62.82	33.39	S22° 30' 52" W	61.00	S46° 30' 41" W S01° 28' 56" E
C3	38.26	50.00	33.38	17.34	S27° 23' 00" W	32.77	S46° 30' 41" W S08° 15' 19" W
C4	1.84	333.00	10.71	5.35	S30° 18' 40" E	10.71	S29° 23' 24" E S31° 13' 56" E
C5	1.66	1033.00	29.99	15.00	N31° 05' 43" E	29.99	N31° 55' 38" E N30° 15' 49" E
C6	95.66	15.00	25.04	16.56	N78° 05' 37" E	22.23	S54° 04' 35" E N30° 15' 49" E
C7	9.49	267.00	44.22	22.16	S24° 01' 49" E	44.17	S19° 17' 10" E S28° 46' 29" E
C8	1.51	4967.00	130.55	65.28	N89° 14' 53" E	130.55	S89° 59' 56" E N88° 29' 42" E
C9	90.19	20.00	31.48	20.07	N45° 17' 24" W	28.33	N00° 11' 40" W S89° 36' 51" W
C10	86.36	20.00	30.15	18.77	S42° 59' 10" W	27.37	S86° 10' 01" W S00° 11' 40" E
C11	1.74	533.00	16.20	8.10	S85° 17' 46" W	16.20	S88° 10' 01" W S84° 25' 31" W
C12	0.88	467.00	7.15	3.57	N84° 51' 50" E	7.15	N85° 18' 08" E N84° 25' 31" E
C13	94.50	20.00	32.99	21.64	S47° 26' 46" E	29.37	S00° 11' 40" E N85° 18' 08" E

EASEMENT LEGEND

- EASEMENT AND RESTRICTIONS DOCUMENTS RECORDED BY SEPARATE INSTRUMENT.
- ① DEDICATED 32' STORM WATER DRAINAGE, UTILITY, ACCESS AND MAINTENANCE EASEMENT
 - ② DEDICATED 20' STORM WATER DRAINAGE, UTILITY, ACCESS AND MAINTENANCE EASEMENT
 - ③ DEDICATED 25' LANDSCAPE, ACCESS AND MAINTENANCE EASEMENT AREA
 - ④ DEDICATED MONUMENT SIGN, ACCESS AND MAINTENANCE EASEMENT AREA
 - ⑤ DEDICATED PUBLIC 30" SANITARY SEWER, ACCESS AND MAINTENANCE EASEMENT
 - ⑥ DEDICATED 20' STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENT
 - ⑦ DEDICATED 15' UTILITY, ACCESS AND MAINTENANCE EASEMENT
 - ⑧ DEDICATED 15'x15' VISION TRIANGLE EASEMENT
 - ⑨ DEDICATED 30' OR VARIABLE WIDTH SANITARY SEWER, PATHWAY, ACCESS AND MAINTENANCE EASEMENT
 - ⑩ DEDICATED 26' STORM WATER DRAINAGE, UTILITY, ACCESS AND MAINTENANCE EASEMENT
 - ⑪ DEDICATED 15' TEMPORARY CONSTRUCTION EASEMENT FOR FUTURE CONSTRUCTION OF PUBLIC SIDEWALKS
 - ⑫ DEDICATED TEMPORARY CUL-DE-SAC, ACCESS AND MAINTENANCE EASEMENT AREA
 - ⑬ DEDICATED 50' LANDSCAPE, ACCESS AND MAINTENANCE EASEMENT AREA
 - ⑭ DEDICATED 80' PUBLIC UTILITY, ACCESS AND MAINTENANCE EASEMENT
 - ⑮ DEDICATED STORMWATER DRAINAGE, RETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
 - ⑯ DEDICATED WETLAND PRESERVATION AND PROTECTION, FLOODPLAIN PRESERVATION AND PROTECTION, WOODLAND PRESERVATION AND PROTECTION, OPEN SPACE, STORMWATER DRAINAGE, RETENTION BASIN, ACCESS AND MAINTENANCE EASEMENT
 - ⑰ DEDICATED 15'x50' VISION TRIANGLE EASEMENT
 - ⑱ DEDICATED WETLAND PRESERVATION AND PROTECTION, ACCESS, AND MAINTENANCE EASEMENT
 - ⑲ DEDICATED TEMPORARY CONSTRUCTION EASEMENT FOR FUTURE STORM WATER MANAGEMENT FACILITY
 - ⑳ DEDICATED 16' UTILITY, ACCESS AND MAINTENANCE EASEMENT
 - ㉑ DEDICATED 8' UTILITY, ACCESS AND MAINTENANCE EASEMENT
 - ㉒ DEDICATED 10' UTILITY, ACCESS AND MAINTENANCE EASEMENT

NOTES / LEGEND

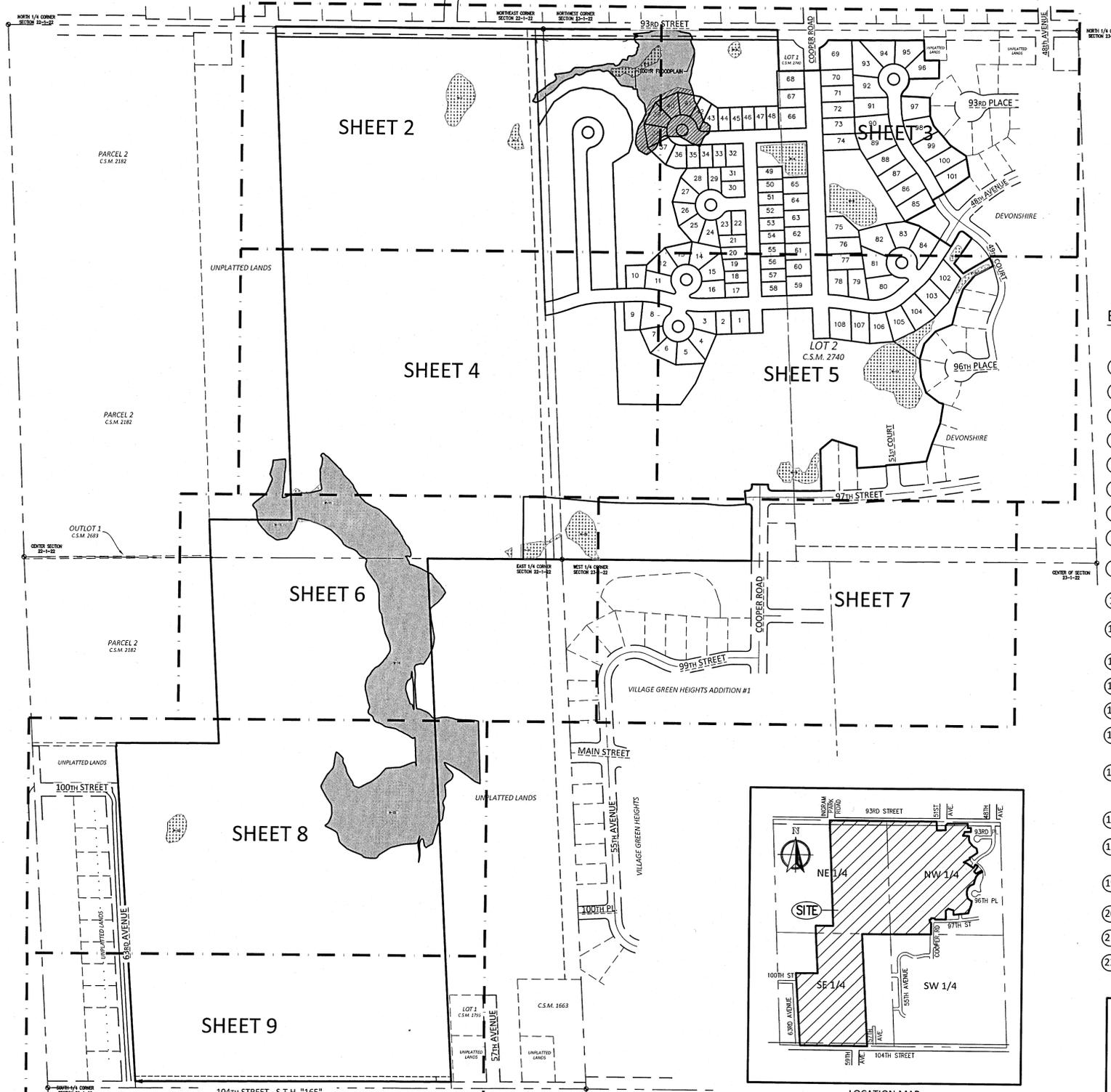
- ALL DISTANCES MEASURED TO THE NEAREST HUNDRETH OF A FOOT.
ALL ANGLES TURNED TO THE NEAREST SECOND AND COMPUTED TO THE NEAREST HALF SECOND.
- DENOTES A 2.375" O.D. IRON PIPE STAKE, 18" IN LENGTH, WEIGHT OF 3.65 lbs. / lin. ft.
 - DENOTES A FOUND 1" O.D. IRON PIPE STAKE
 - ⊥ DENOTES AN EASEMENT (SEE PLAT FOR DETAILS)
 - ⊙ DENOTES A FOUND CONCRETE MONUMENT WITH BRASS CAP.
 - DENOTES NO DRIVEWAY ACCESS AT INTERSECTIONS (SEE DETAIL) (ALSO SEE PUD ORDINANCE FOR ADDITIONAL DRIVEWAY RESTRICTIONS)
 - ▨ WETLANDS
 - ▨ FLOODPLAIN
 - ▨ FLOODPLAIN FILL AREA
 - ▨ FLOODPLAIN EXPANSION AREA
 - SECONDARY ENVIRONMENTAL CORRIDOR
- BEARING BASE: GRID NORTH, WISCONSIN COORDINATE SYSTEM, SOUTH ZONE.
BASED UPON NAD 1983 / 2011. THE NORTH LINE OF NE 1/4 SEC. 22-1-22 IS ASSUMED TO BEAR S 89° 59' 42" E.
- ALL ELEVATIONS REFER TO NAVD 1988 (12).
- EXISTING ZONING: R-4.5 (PUD), R-8 (PUD), PR-1, PR-2 AND C-1. FLOODPLAIN ZONING FW AND FF
- PROPOSED ZONING: R-4.5 (PUD), R-8 (PUD), PR-1 (PUD), PR-2 AND C-1. FLOODPLAIN ZONING FW AND FF
- SUBDIVIDER:
ARBOR ESTATES GROUP, LLC
19275 WEST CAPITOL DRIVE, SUITE 100,
BROOKFIELD, WI. 53405
- SURVEYOR:
AARON T. FRIES, PLS
NIELSEN MADSEN + BARBER, SC.
1458 HORIZON BLVD., RACINE, WI. 53406
- OWNER:
ARBOR ESTATES GROUP, LLC
19275 WEST CAPITOL DRIVE, SUITE 100,
BROOKFIELD, WI. 53405



NOTE

PURSUANT TO SECTION 420-21 OF THE VILLAGE ZONING ORDINANCE, LOTS 37-43 ARE SUBJECT TO COMPLIANCE WITH THE FLOODPLAIN ZONING ORDINANCE REQUIREMENTS WHERE FORMER FLOODPLAINS WERE FILLED, SPECIFICALLY, BEGINNING ON APRIL 11, 2024 ANY PROPERTY FOR WHICH A REGULATORY FLOODPLAIN BOUNDARY ADJUSTMENT IS CONDUCTED UNDER CHAPTER 430 TO REMOVE THE PROPERTY FROM THE REGULATORY FLOODPLAIN (INCLUDING APPROVAL OF A LETTER OF MAP REVISION AND EXECUTION OF A COMMUNITY ACKNOWLEDGEMENT FORM) REMAINS SUBJECT TO THE REQUIREMENTS OF CHAPTER 430 APPLICABLE TO THE COASTAL AE AND AO ZONES. IN ADDITION, PURSUANT TO CHAPTER 430, s. 1.5(6) (e), THE PROPERTY OWNER SHALL RECORD WITH THE KENOSHA COUNTY REGISTER OF DEEDS A STATEMENT, IN A FORM PROVIDED BY THE VILLAGE, ACKNOWLEDGING THAT DEVELOPMENT IN THE AREA PREVIOUSLY INCLUDED IN THE REGULATORY FLOODPLAIN WILL RESULT IN ONGOING RESTRICTIONS ON THE USE OF THE PROPERTY UNDER THIS SECTION AFTER FINAL APPROVAL OF THE FLOODPLAIN BOUNDARY ADJUSTMENT BY FEMA./

LOCATION MAP
NW 1/4 OF SECTION 23-1-22 AND
NE 1/4 & SE 1/4 OF SECTION 22-1-22



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Don Jime
Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

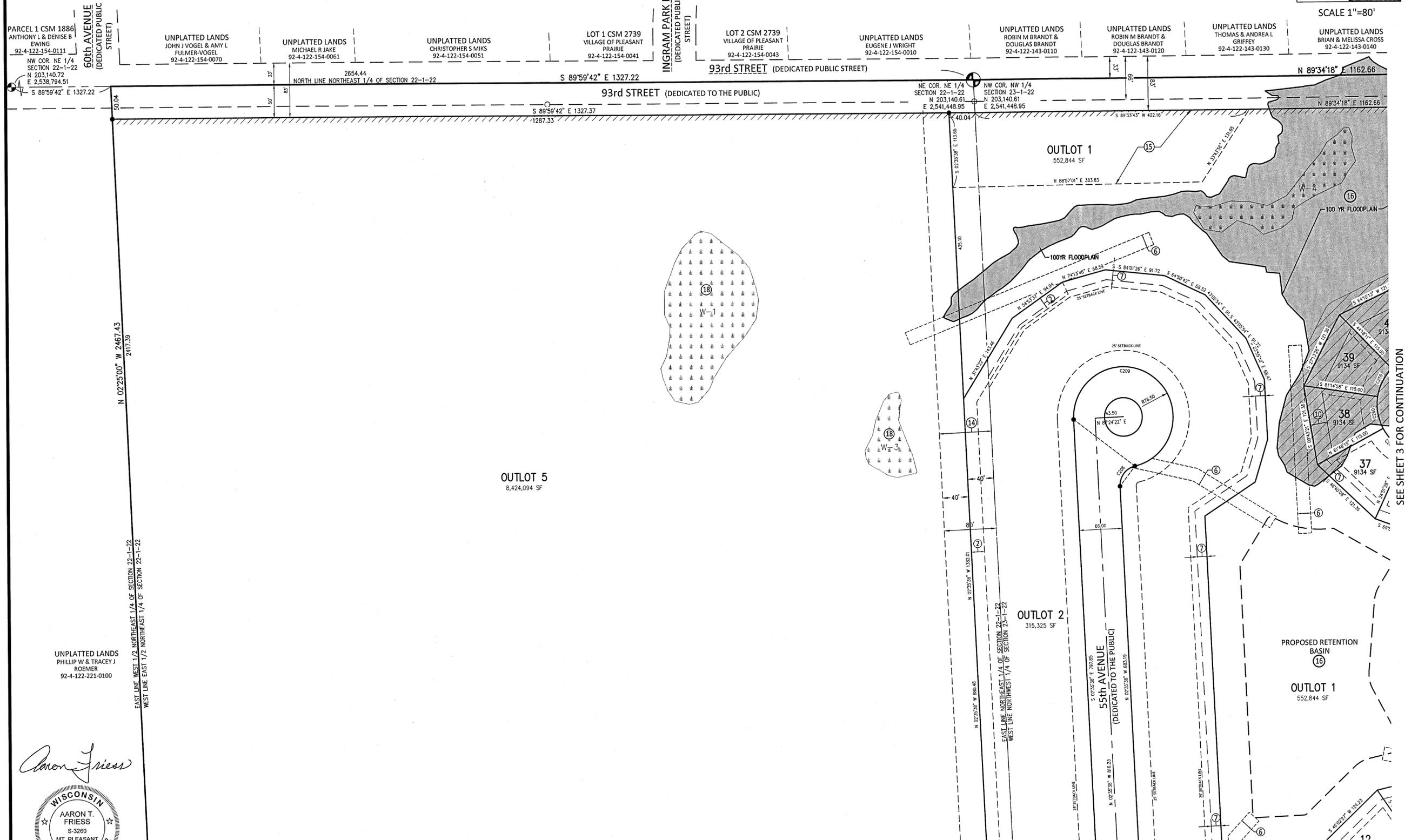
Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack

Plat 3 of 7



80' 0' 80'

SCALE 1"=80'



SEE SHEET 3 FOR CONTINUATION

SEE SHEET 4 FOR CONTINUATION

UNPLATTED LANDS
PHILLIP W & TRACEY J
ROEMER
92-4-122-221-0100

Aaron Friess



Revised April 2, 2025

SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS

NMB JOB 2021.0325.01
SHEET 2 OF 16 SHEETS

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

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REGISTER OF DEEDS: Jennifer A. Mack



80' 0' 80'
SCALE 1"=80'

Curve Table						
Curve #	Delta	Radius	Arc	Tangent	Chord Direction	Chord Length
C200	11°44'10"	533.00	109.18	54.78	N75°28'21"E	108.99
C201	11°20'03"	500.00	98.91	49.62	N75°16'18"E	98.75
C202	10°52'30"	467.00	88.64	44.45	N75°02'31"E	88.51
C203	17°48'06"	467.00	145.10	73.14	S78°30'19"W	144.51
C204	17°48'06"	500.00	155.35	78.31	N78°30'19"E	154.73
C205	5°37'56"	533.00	52.39	26.22	S72°25'14"W	52.37
C206	4°59'23"	533.00	46.42	23.22	S84°54'41"W	46.40
C207	1°01'51"	500.00	9.00	4.50	N02°04'42"W	9.00
C208	79°26'59"	30.00	41.60	24.93	S37°07'52"W	38.35
C209	259°26'59"	76.50	346.41	92.06	N52°52'08"W	117.68
C210	17°52'03"	467.00	145.63	73.41	N83°39'36"W	145.04
C211	4°43'25"	467.00	38.50	19.26	S89°46'05"W	38.49
C212	13°08'39"	467.00	107.13	53.80	N81°17'54"W	106.90
C213	17°52'03"	500.00	155.92	78.60	S83°39'36"E	155.29
C214	17°52'03"	533.00	166.21	83.79	N83°39'36"W	165.54
C215	5°14'08"	533.00	48.70	24.37	S89°58'34"E	48.69
C216	12°37'55"	533.00	117.51	58.99	N81°02'32"W	117.27
C217	89°13'43"	8.50	13.24	8.39	N30°06'43"W	11.94
C218	37°13'18"	30.00	19.49	10.10	N33°06'47"E	19.15
C219	288°05'22"	76.50	384.85	55.49	N87°40'45"E	89.83
C220	50°25'01"	76.50	67.32	36.01	N26°30'56"E	65.16
C221	45°43'31"	76.50	61.05	32.26	N21°33'20"W	59.44
C222	42°35'24"	76.50	56.86	29.82	N65°42'47"W	55.56
C223	42°20'11"	76.50	56.53	29.62	S71°49'30"W	55.25
C224	44°18'38"	76.50	59.16	31.15	S28°29'59"W	57.70
C225	62°42'40"	76.50	83.73	46.61	S25°00'36"E	79.61
C226	153°34'08"	8.50	22.78	36.20	S20°25'08"W	16.55
C227	9°47'52"	500.00	85.50	42.86	S87°41'44"E	85.40
C228	17°52'06"	467.00	145.64	73.42	S83°39'37"E	145.05
C229	8°55'25"	434.00	67.59	33.87	S88°07'58"E	67.53
C230	133°55'57"	8.50	19.87	19.99	S16°42'17"E	15.84
C231	17°58'26"	30.00	9.41	4.74	S69°14'54"W	9.37
C232	287°27'57"	76.50	383.82	56.13	N75°29'52"W	90.51
C233	61°50'04"	76.50	82.56	45.82	N37°19'05"E	78.61
C234	45°43'31"	76.50	61.05	32.26	S16°27'42"E	59.44
C235	42°35'24"	76.50	56.87	29.82	S60°37'10"E	55.56
C236	42°35'24"	76.50	56.87	29.82	N76°47'27"E	55.56
C237	42°33'31"	76.50	56.82	29.79	N34°13'00"E	55.53
C238	52°10'05"	76.50	69.65	37.46	S13°08'48"E	67.27
C239	30°11'51"	30.00	15.81	8.09	S24°07'55"E	15.63
C240	114°18'25"	8.50	16.96	13.17	N48°07'13"E	14.28
C241	53°43'59"	30.00	28.13	15.20	S65°43'41"E	27.11
C242	287°27'57"	76.50	383.82	56.13	S02°35'41"E	90.51
C243	7°10'13"	76.50	9.57	4.79	S42°26'48"E	9.57
C244	53°38'50"	76.50	71.62	38.68	S72°51'19"E	69.04
C245	38°05'17"	76.50	50.85	26.41	N61°16'37"E	49.92
C246	38°05'20"	76.50	50.86	26.41	N23°11'19"E	49.92
C247	38°05'22"	76.50	50.86	26.41	N14°54'02"W	49.92
C248	38°05'23"	76.50	50.86	26.41	N52°59'24"W	49.93
C249	38°05'24"	76.50	50.86	26.41	S88°55'13"W	49.93
C250	36°12'10"	76.50	48.34	25.01	S51°46'26"W	47.54
C251	53°43'59"	30.00	28.13	15.20	S60°32'20"W	27.11
C252	79°26'59"	30.00	41.60	24.93	S22°52'11"E	38.35
C253	43°34'38"	30.00	22.82	11.99	S70°48'22"E	22.27
C254	35°52'21"	30.00	18.78	9.71	S31°04'52"E	18.48
C255	259°26'59"	76.50	346.41	92.06	S37°07'49"W	117.68
C256	47°15'55"	76.50	63.11	33.47	S36°46'39"E	61.33
C257	36°56'47"	76.50	49.33	25.56	S78°53'00"E	48.48
C258	36°56'47"	76.50	49.33	25.56	N64°10'13"E	48.48
C259	36°56'47"	76.50	49.33	25.56	N27°13'26"E	48.48

Curve Table						
Curve #	Delta	Radius	Arc	Tangent	Chord Direction	Chord Length
C260	36°56'47"	76.50	49.33	25.56	N09°43'21"W	48.48
C261	36°56'47"	76.50	49.33	25.56	N46°40'08"W	48.48
C262	27°27'09"	76.50	36.65	18.69	N78°52'06"W	36.30
C263	1°15'37"	459.00	10.10	5.05	N01°57'52"W	10.10
C264	1°09'25"	500.00	10.10	5.05	N02°00'58"W	10.10
C265	1°04'09"	541.00	10.10	5.05	S02°35'41"E	10.10
C266	6°17'26"	567.00	62.25	31.16	N85°02'58"W	62.22
C267	10°41'26"	600.00	111.95	56.14	S87°14'58"E	111.79
C268	6°45'00"	633.00	74.67	37.33	N85°16'45"W	74.53
C269	50°38'06"	167.00	147.59	79.00	N72°46'44"E	142.83
C270	50°38'04"	200.00	176.75	94.61	N72°46'43"E	171.05
C271	50°38'04"	233.00	205.91	110.22	N72°46'43"E	199.28
C272	2°50'15"	233.00	11.54	5.77	N83°19'22"W	11.54
C273	20°30'45"	233.00	83.42	42.16	S85°00'08"W	82.97
C274	20°21'00"	233.00	82.75	41.82	S64°34'16"W	82.32
C275	6°56'05"	233.00	28.20	14.12	S50°55'43"W	28.18
C276	15°32'03"	533.00	144.51	72.70	N39°41'40"E	144.06
C277	7°46'34"	533.00	72.34	36.23	S43°34'24"W	72.28
C278	7°45'28"	533.00	72.17	36.14	S35°48'22"W	72.11
C279	15°31'20"	500.00	135.46	68.15	N39°42'01"E	135.04
C280	7°03'15"	467.00	57.50	28.78	N35°27'16"E	57.46
C281	123°11'22"	8.50	18.28	15.72	S79°25'26"E	14.95
C282	28°31'16"	30.00	14.93	7.62	S03°34'07"E	14.78
C283	287°27'57"	76.50	383.82	56.13	S46°57'33"W	90.51
C284	73°48'55"	76.50	98.55	57.45	N26°12'56"W	91.88
C285	49°39'13"	76.50	66.30	35.39	S87°57'00"E	64.24
C286	45°09'33"	76.50	60.30	31.81	N44°38'37"E	58.75
C287	74°57'52"	76.50	100.09	58.66	N15°25'06"W	93.10
C288	43°52'25"	76.50	58.58	30.81	N74°50'14"W	57.16
C289	40°34'11"	30.00	21.24	11.09	N76°29'21"W	20.80
C290	103°39'56"	8.50	15.38	10.81	N04°22'17"W	13.37
C291	1°50'32"	333.00	10.71	5.35	N30°18'40"W	10.71
C292	9°06'19"	167.00	26.54	13.30	N33°54'24"W	26.51
C293	9°06'19"	200.00	31.78	15.93	N33°54'24"W	31.75
C294	9°06'19"	233.00	37.03	18.55	N33°54'24"W	36.99
C295	36°34'35"	433.00	276.42	143.10	N20°10'16"W	271.75
C296	0°43'38"	433.00	5.50	2.75	N38°05'44"W	5.50
C297	10°51'01"	433.00	82.00	41.12	N32°18'24"W	81.88
C298	9°01'06"	433.00	68.15	34.15	N22°22'21"W	68.08
C299	12°09'16"	433.00	91.85	46.10	N11°47'10"W	91.68
C300	3°49'34"	433.00	28.92	14.46	N03°47'45"W	28.91
C301	36°34'35"	400.00	255.35	132.20	N20°10'16"W	251.04
C302	36°34'35"	367.00	234.28	121.29	N20°10'16"W	230.33
C303	6°16'29"	367.00	40.19	20.12	S35°19'19"E	40.17
C304	20°17'58"	367.00	130.02	65.70	S22°02'05"E	129.35
C305	10°00'08"	367.00	64.07	32.12	S06°53'02"E	63.99
C306	9°56'45"	50.00	8.68	4.35	S02°54'45"W	8.67
C307	230°25'40"	76.50	307.66	162.47	S63°24'33"W	138.42
C308	42°52'42"	76.50	57.25	30.04	S22°48'57"E	55.92
C309	43°16'55"	76.50	57.79	30.35	S65°53'46"E	56.42
C310	43°55'29"	76.50	58.65	30.85	N70°30'03"E	57.22
C311	43°17'30"	76.50	57.80	30.36	N26°53'33"E	56.44
C312	57°03'05"	76.50	76.17	41.58	N23°16'44"W	73.07
C313	49°55'18"	50.00	43.57	23.27	N26°50'37"W	42.20
C314	41°51'27"	50.00	36.53	19.12	N30°52'33"W	35.72
C315	8°03'52"	50.00	7.04	3.52	N05°54'54"W	7.03
C316	11°35'20"	533.00	107.81	54.09	N89°46'40"W	107.62
C317	6°12'39"	467.00	50.62	25.34	N87°05'19"W	50.60
C318	4°34'23"	1533.00	122.36	61.21	N87°54'27"W	122.32
C319	7°10'57"	467.00	58.54	29.31	N89°12'44"W	58.50

LOT AREA TABLE		
LOT NUMBER	SQ. FT.	ACRES
LOT 1	10472	0.240
LOT 2	8700	0.200
LOT 3	12184	0.280
LOT 4	11588	0.266
LOT 5	12897	0.296
LOT 6	10267	0.236
LOT 7	10042	0.231
LOT 8	15594	0.358
LOT 9	12034	0.276
LOT 10	11265	0.259
LOT 11	11844	0.272
LOT 12	12190	0.280
LOT 13	10234	0.235
LOT 14	13699	0.314
LOT 15	12004	0.276
LOT 16	12291	0.282
LOT 17	8280	0.190
LOT 18	6900	0.158
LOT 19	7125	0.164
LOT 20	7574	0.174
LOT 21	8023	0.184
LOT 22	8574	0.197
LOT 23	7559	0.174
LOT 24	10305	0.237
LOT 25	10781	0.247
LOT 26	9366	0.215
LOT 27	10092	0.232
LOT 28	12619	0.290
LOT 29	7603	0.175
LOT 30	9258	0.213
LOT 31	8395	0.193
LOT 32	10156	0.233
LOT 33	7411	0.170
LOT 34	7412	0.170
LOT 35	7496	0.172
LOT 36	9370	0.215
LOT 37	9134	0.210
LOT 38	9134	0.210
LOT 39	9134	0.210
LOT 40	9134	0.210
LOT 41	9099	0.209
LOT 42	8235	0.188
LOT 43	8529	0.196
LOT 44	6900	0.159
LOT 45	6900	0.159
LOT 46	6900	0.159
LOT 47	6900	

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Don Jime
Department of Administration



HIGHLAND ESTATES

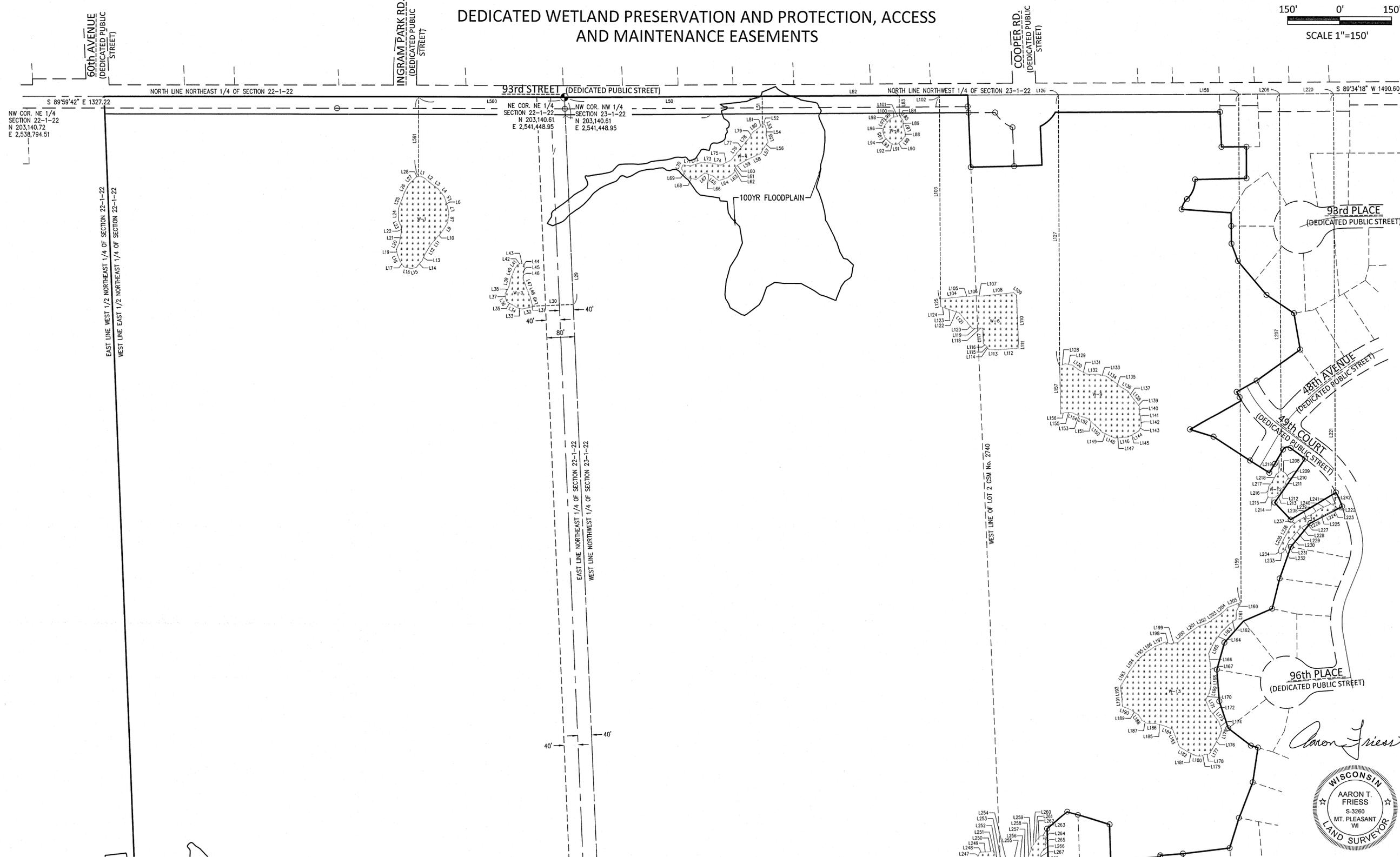
A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack



150' 0' 150'
SCALE 1"=150'

DEDICATED WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENTS



SEE SHEET 12 FOR CONTINUATION

Revised April 2, 2025
SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS

NMB JOB 2021.0325.01

SHEET 11 OF 16 SHEETS

Aaron Friess



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Don Jime
Department of Administration



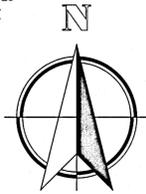
HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

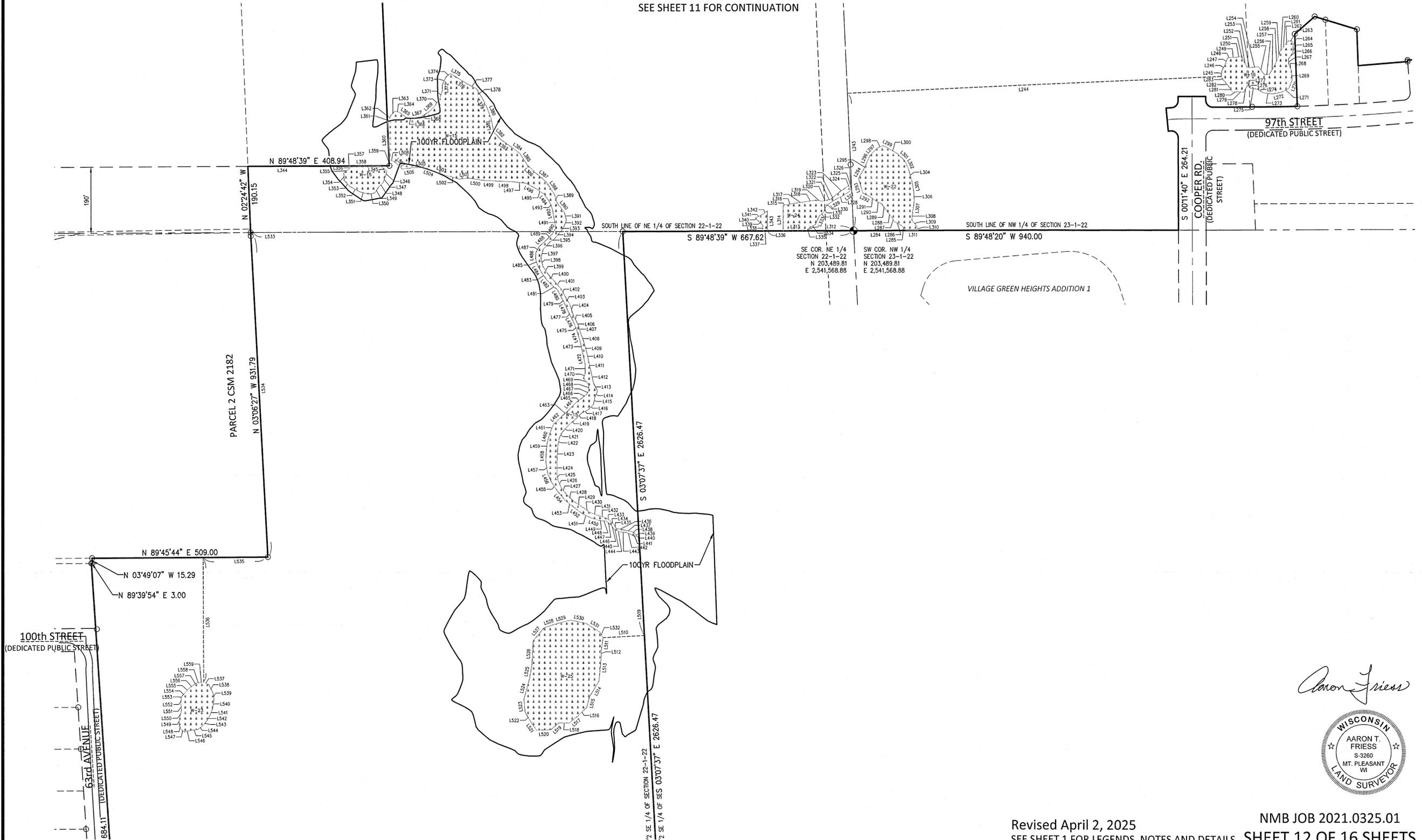
DEDICATED WETLAND PRESERVATION AND PROTECTION, ACCESS AND MAINTENANCE EASEMENTS

SEE SHEET 11 FOR CONTINUATION

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150' 0' 150'
SCALE 1"=150'



Aaron Friess



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

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Date: 2025-07-24 Time: 2:40 PM Pages: 16
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REGISTER OF DEEDS: Jennifer A. Mack
Plat 3017

Wetland (W-1) Line Table with columns: Line #, Length, Direction. Rows L1 to L581.

Wetland (W-3) Line Table with columns: Line #, Length, Direction. Rows L30 to L49.

Wetland (W-4) Line Table with columns: Line #, Length, Direction. Rows L51 to L181.

Wetland (W-6) Line Table with columns: Line #, Length, Direction. Rows L103 to L125.

Wetland (W-8) Line Table with columns: Line #, Length, Direction. Rows L83 to L101.

Wetland (W-9) Line Table with columns: Line #, Length, Direction. Rows L127 to L149.

Wetland (W-12) Line Table with columns: Line #, Length, Direction. Rows L207 to L219.

Wetland (W-13) Line Table with columns: Line #, Length, Direction. Rows L159 to L206.

Wetland (W-14) Line Table with columns: Line #, Length, Direction. Rows L221 to L242.

Wetland (W-15) Line Table with columns: Line #, Length, Direction. Rows L359 to L406.

Wetland (W-15) Line Table with columns: Line #, Length, Direction. Rows L410 to L457.

Wetland (W-15) Line Table with columns: Line #, Length, Direction. Rows L459 to L506.

Wetland (W-15) Line Table with columns: Line #, Length, Direction. Rows L434 to L481.

Wetland (W-16) Line Table with columns: Line #, Length, Direction. Rows L243 to L283.

Wetland (W-22) Line Table with columns: Line #, Length, Direction. Rows L284 to L311.

Wetland (W-23) Line Table with columns: Line #, Length, Direction. Rows L533 to L559.

Wetland (W-24) Line Table with columns: Line #, Length, Direction. Rows L312 to L343.

Wetland (W-25) Line Table with columns: Line #, Length, Direction. Rows L509 to L532.

Aaron Friess



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Dor J. J. J.
Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

Plat 3017
Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack



Aaron T. Friess

LEGAL DESCRIPTION OF WETLAND AREA (W-1)

Part of the Northeast 1/4 of Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northeast corner of the said Northeast 1/4 Section; thence N89°59'42"W, 420.57 feet along the North line of the said Northeast 1/4 Section; thence S00°00'18"W, 226.65 feet to the point of beginning of this description; thence S75°47'13"E, 15.79 feet; thence S51°25'44"E, 29.91 feet; thence S62°22'05"E, 24.14 feet; thence S39°24'25"E, 25.58 feet; thence S19°29'31"E, 13.76 feet; thence S17°50'58"E, 16.93 feet; thence S12°12'57"E, 19.39 feet; thence S07°56'43"W, 29.78 feet; thence S33°34'08"W, 30.98 feet; thence S41°52'00"W, 19.55 feet; thence S 41°43'34"W, 23.78 feet; thence S31°53'41"W, 35.84 feet; thence S23°10'47"W, 19.43 feet; thence S40°58'02"W, 26.01 feet; thence S76°51'05"W, 13.98 feet; thence N27°29'54"W, 22.56 feet; thence N34°37'29"W, 19.53 feet; thence N20°57'40"W, 19.88 feet; thence N13°06'34"W, 15.54 feet; thence N25°16'21"E, 21.14 feet; thence N10°08'19"E, 26.60 feet; thence N08°42'43"E, 4.40 feet; thence N1°02'22"E, 13.06 feet; thence N23°15'16"W, 20.56 feet; thence N00°31'43"W, 35.38 feet; thence N20°23'30"E, 47.42 feet; thence N 27°42'28"E, 23.42 feet; thence N 43°26'12"E, 29.82 feet; thence N61°59'03"E, 10.36 feet to the point of beginning. Containing 23,614 square feet or 0.542 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-3)

Part of the Northeast 1/4 of Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northeast corner of the said Northeast 1/4 Section; thence S02°35'38"E, 591.36 feet along the East line of the said Northeast 1/4 Section; thence S87°24'22"W, 117.57 feet to the point of beginning of this description; thence S32°42'00"W, 2.12 feet; thence S77°38'09"W, 29.99 feet; thence N75°43'31"W, 13.89 feet; thence N59°44'02"W, 18.06 feet; thence N60°04'51"W, 16.21 feet; thence N 27°03'35"W, 9.85 feet; thence N06°35'57"W, 12.54 feet; thence N26°54'56"E, 25.44 feet; thence N12°33'16"E, 23.33 feet; thence N22°28'09"E, 31.72 feet; thence N39°59'02"E, 13.74 feet; thence N73°23'59"E, 7.81 feet; thence N82°35'38"E, 6.90 feet; thence S22°04'56"E, 11.68 feet; thence S09°17'41"W, 17.23 feet; thence S04°52'45"W, 16.17 feet; thence S21°04'33"E, 35.61 feet; thence S23°07'41"E, 19.93 feet; thence S14°14'09"E, 27.40 feet to the point of beginning. Containing 6,003 square feet or 0.138 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-4)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 569.96 feet along the North line of the said Northwest 1/4 Section; thence S00°25'42"E, 79.84 feet to the point of beginning of this description; thence S84°24'11"E, 6.80 feet; thence S21°12'38"E, 13.84 feet; thence S16°16'08"E, 12.64 feet; thence S16°16'08"E, 12.64 feet; thence S36°47'59"W, 18.33 feet; thence S30°22'06"W, 21.05 feet; thence S65°23'25"W, 40.20 feet; thence S61°05'21"W, 29.53 feet; thence S54°58'56"W, 12.86 feet; thence S17°17'38"W, 1.28 feet; thence S11°34'41"W, 15.34 feet; thence S50°49'35"W, 21.62 feet; thence S71°29'33"W, 29.25 feet; thence N50°41'51"W, 20.95 feet; thence N70°02'08"W, 25.40 feet; thence N52°35'24"W, 30.05 feet; thence N80°41'56"W, 27.86 feet; thence N30°58'37"W, 30.56 feet; thence N21°05'36"E, 10.86 feet; thence S85°16'34"E, 23.49 feet; thence N73°16'59"E, 31.26 feet; thence S87°18'45"E, 30.11 feet; thence S77°23'09"E, 27.30 feet; thence N63°21'40"E, 35.35 feet; thence N39°06'00"E, 35.12 feet; thence N38°30'46"E, 23.43 feet; thence N42°05'11"E, 23.14 feet; thence N31°29'16"E, 21.21 feet; thence N54°34'38"E, 19.24 feet; thence N45°37'03"E, 16.53 feet; to the point of beginning. Containing 11,221 square feet or 0.258 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-6)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 1081.00 feet along the North line of the said Northwest 1/4 Section; thence S00°25'42"E, 581.18 feet to the point of beginning of this description; thence N83°52'21"E, 67.26 feet; thence N87°52'51"E, 16.96 feet; thence N83°19'48"E, 18.53 feet; thence S84°48'11"E, 15.09 feet; thence N84°00'19"E, 93.44 feet; thence S50°59'41"E, 10.47 feet; thence S02°35'41"E, 130.39 feet; thence S02°20'20"W, 21.18 feet; thence S85°46'23"W, 60.12 feet; thence N87°09'36"W, 25.48 feet; thence N29°42'24"W, 5.58 feet; thence N36°56'01"W, 5.52 feet; thence N49°59'55"W, 11.10 feet; thence N02°35'41"W, 43.99 feet; thence S87°24'20"W, 14.95 feet; thence S87°24'19"W, 15.68 feet; thence N39°49'18"W, 23.35 feet; thence N40°00'02"W, 34.54 feet; thence N71°39'50"W, 25.08 feet; thence N71°39'46"W, 13.54 feet; thence N71°55'31"W, 17.45 feet; thence N3°38'13"W, 21.86 feet to the point of beginning. Containing 22,632 square feet or 0.520 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-8)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 964.91 feet along the North line of the said Northwest 1/4 Section; thence S00°25'42"E, 58.04 feet to the point of beginning of this description; thence S45°28'33"E, 7.60 feet; thence S35°18'07"E, 10.57 feet; thence S15°51'59"W, 15.00 feet; thence S19°50'15"E, 17.29 feet; thence S00°46'36"E, 13.07 feet; thence S39°53'38"W, 17.55 feet; thence S51°27'47"W, 16.53 feet; thence S86°49'51"W, 6.73 feet; thence N67°19'22"W, 13.01 feet; thence N46°50'12"W, 11.87 feet; thence N38°59'54"W, 11.73 feet; thence N19°34'36"W, 18.25 feet; thence N13°31'19"E, 13.88 feet; thence N33°14'35"E, 10.82 feet; thence N40°37'20"E, 10.70 feet; thence N47°01'28"E, 13.10 feet; thence N74°51'42"E, 13.03 feet; thence N78°19'31"E, 9.20 feet to the point of beginning. Containing 3,790 square feet or 0.087 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-9)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 1423.46 feet along the North line of the said Northwest 1/4 Section; thence S00°25'42"E, 772.79 feet to the point of beginning of this description; thence N69°30'45"E, 17.47 feet; thence S54°07'33"E, 24.25 feet; thence S84°50'21"E, 28.07 feet; thence N87°33'34"E, 27.14 feet; thence S76°53'56"E, 26.22 feet; thence S55°57'22"E, 26.84 feet; thence S51°54'54"E, 26.68 feet; thence S60°45'53"E, 21.58 feet; thence S36°09'56"E, 17.70 feet; thence S38°00'18"E, 19.94 feet; thence S39°16'49"E, 18.23 feet; thence S03°01'47"W, 13.91 feet; thence S10°26'03"E, 23.13 feet; thence S04°39'38"E, 18.22 feet; thence S26°26'41"W, 15.87 feet; thence S59°34'26"W, 17.64 feet; thence S61°58'35"W, 17.73 feet; thence S83°45'12"W, 19.97 feet; thence S87°58'39"W, 19.99 feet; thence N67°15'59"W, 13.03 feet; thence N64°55'25"W, 24.05 feet; thence N47°08'00"W, 32.42 feet; thence N50°44'01"W, 28.11 feet; thence N71°37'29"W, 14.69 feet; thence N71°37'29"W, 15.02 feet; thence N64°51'37"W, 17.32 feet; thence S88°28'11"W, 19.36 feet; thence S72°59'30"W, 12.89 feet; thence N1°23'40"W, 136.63 feet to the point of beginning. Containing 31,466 square feet or 0.722 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-12)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 2061.05 feet along the North line of the said Northwest 1/4 Section; thence S00°25'42"E, 1073.05 feet to the point of beginning of this description; thence S59°55'51"E, 14.11 feet; thence S32°01'40"E, 16.05 feet; thence S34°48'15"W, 11.02 feet; thence S18°19'45"W, 17.94 feet; thence S34°59'27"W, 23.27 feet; thence S49°18'19"W, 16.08 feet; thence S84°58'23"W, 19.55 feet; thence N23°13'25"W, 9.17 feet; thence N08°55'27"E, 23.51 feet; thence N34°38'30"E, 20.03 feet; thence N28°00'41"E, 21.49 feet; thence N53°25'18"E, 18.32 feet to the point of beginning. Containing 2,668 square feet or 0.061 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-13)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 1943.49 feet along the North line of the said Northwest 1/4 Section; thence S00°25'42"E, 1450.06 feet to the point of beginning of this description; thence S28°31'58"W, 27.61 feet; thence S03°21'09"W, 24.93 feet; thence S33°29'42"W, 24.10 feet; thence S45°21'53"W, 31.71 feet; thence S36°19'20"W, 36.26 feet; thence S25°37'53"W, 34.66 feet; thence S08°18'57"E, 32.42 feet; thence S01°10'10"E, 28.35 feet; thence S02°37'43"E, 33.54 feet; thence S13°54'21"W, 20.21 feet; thence S27°19'34"W, 23.35 feet; thence S24°20'18"E, 30.89 feet; thence S37°13'49"E, 21.63 feet; thence S38°09'45"E, 20.33 feet; thence S19°58'20"E, 24.13 feet; thence S18°55'48"W, 18.74 feet; thence S28°39'05"W, 36.85 feet; thence S30°57'46"W, 22.45 feet; thence S81°16'07"W, 15.01 feet; thence S68°08'52"W, 11.33 feet; thence N83°55'27"W, 15.26 feet; thence N63°35'01"W, 23.40 feet; thence N60°55'17"W, 28.63 feet; thence N21°24'03"W, 54.30 feet; thence N68°45'37"W, 26.50 feet; thence N74°57'01"W, 25.67 feet; thence S88°01'43"W, 21.52 feet; thence N62°10'46"W, 19.44 feet; thence N33°39'29"W, 19.75 feet; thence N57°08'27"W, 26.79 feet; thence N68°58'25"W, 24.78 feet; thence N04°38'44"W, 20.89 feet; thence N06°13'40"W, 37.93 feet; thence N31°12'16"E, 48.58 feet; thence N36°32'55"E, 42.25 feet; thence N47°07'21"E, 30.65 feet; thence N56°16'55"E, 29.49 feet; thence N66°31'40"E, 34.89 feet; thence S69°27'42"E, 8.77 feet; thence N79°25'59"E, 22.76 feet; thence N49°16'32"E, 36.29 feet; thence N54°29'05"E, 36.84 feet; thence N68°58'02"E, 29.96 feet; thence N55°48'08"E, 44.34 feet; thence N47°08'53"E, 28.30 feet; thence N68°08'51"E, 41.94 feet to the point of beginning. Containing 69,768 square feet or 1.602 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-14)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 2216.75 feet along the North line of the said Northwest 1/4 Section; thence S00°25'42"E, 1170.08 feet to the point of beginning of this description; thence S05°52'08"W, 12.32 feet; thence S39°12'27"W, 11.19 feet; thence S62°27'04"W, 18.44 feet; thence S54°56'36"W, 30.44 feet; thence S64°49'17"W, 22.83 feet; thence S56°42'01"W, 19.94 feet; thence S58°24'42"W, 17.45 feet; thence S38°57'53"W, 18.70 feet; thence S42°12'56"W, 25.95 feet; thence S25°15'07"W, 16.01 feet; thence S26°20'05"W, 19.21 feet; thence S64°20'33"W, 13.81 feet; thence N14°22'55"W, 11.37 feet; thence N26°01'28"E, 40.72 feet; thence N29°30'12"E, 36.43 feet; thence N51°40'10"E, 28.56 feet; thence N65°03'56"E, 44.80 feet; thence N53°51'55"E, 21.46 feet; thence N66°08'10"E, 33.08 feet; thence N76°25'19"E, 13.03 feet; thence S74°35'06"E, 5.37 feet to the point of beginning. Containing 4,239 square feet or 0.097 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-15)

Part of the Northeast 1/4, and Southeast 1/4 of Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Beginning at the Southeast corner of the said Northeast 1/4 Section; thence S89°48'39"W, 1744.20 feet along the South line of the said Northeast 1/4 Section; thence N02°24'42"W, 190.15 feet; thence N89°48'39"E, 408.94 feet; thence N02°25'00"W, 16.80 feet to the point of beginning of this description; continue thence N02°25'00"W, 112.58 feet; thence N78°52'20"E, 5.24 feet; thence N16°33'20"E, 14.41 feet; thence N47°28'58"E, 18.67 feet; thence S70°53'54"E, 13.05 feet; thence S55°14'45"E, 25.23 feet; thence S87°13'33"E, 22.12 feet; thence N78°49'33"E, 20.03 feet; thence N59°58'35"E, 22.65 feet; thence N46°39'07"E, 24.57 feet; thence N35°13'10"E, 26.98 feet; thence N18°18'13"E, 24.52 feet; thence N00°32'45"E, 16.80 feet; thence N25°01'53"E, 26.85 feet; thence N57°17'25"E, 14.20 feet; thence S60°11'21"E, 24.66 feet; thence S58°50'51"E, 33.61 feet; thence S63°30'55"E, 28.32 feet; thence S32°00'23"E, 32.53 feet; thence S26°55'56"E, 25.80 feet; thence S21°51'17"E, 36.39 feet; thence S10°28'30"E, 39.67 feet; thence S43°02'33"E, 30.83 feet; thence S55°28'14"E, 34.70 feet; thence S53°21'57"E, 33.23 feet; thence S32°44'42"E, 38.74 feet; thence S47°06'57"E, 35.73 feet; thence S50°10'39"E, 37.13 feet; thence S33°35'17"E, 43.68 feet; thence S17°47'28"E, 26.93 feet; thence S38°28'26"E, 32.86 feet; thence S15°01'01"E, 23.20 feet; thence S33°01'19"W, 17.61 feet; thence S40°05'40"W, 27.28 feet; thence S54°10'43"W, 18.43 feet; thence S43°17'20"W, 28.05 feet; thence S14°37'30"W, 25.70 feet; thence S13°33'58"E, 25.31 feet; thence S34°24'00"E, 28.12 feet; thence S41°58'36"E, 26.01 feet; thence S42°41'28"E, 27.21 feet; thence S28°33'28"E, 25.07 feet; thence S30°57'19"E, 26.85 feet; thence S18°26'56"E, 32.61 feet; thence S26°39'53"E, 27.24 feet; thence S29°08'13"E, 3.59 feet; thence S17°38'03"E, 27.25 feet; thence S18°45'40"E, 29.87 feet; thence S14°41'51"E, 28.64 feet; thence S12°51'45"E, 18.13 feet; thence S12°37'31"E, 35.82 feet; thence S12°22'29"E, 32.06 feet; thence S26°04'58"E, 27.02 feet; thence S22°49'01"W, 18.85 feet; thence S12°10'48"W, 21.43 feet; thence S42°26'38"W, 19.61 feet; thence S63°14'05"W, 22.66 feet; thence S44°58'44"W, 20.80 feet; thence S49°07'11"W, 30.68 feet; thence S42°17'34"W, 28.43 feet; thence S27°23'45"W, 17.56 feet; thence S10°51'16"W, 23.95 feet; thence S02°21'36"W, 45.93 feet; thence S00°10'15"E, 34.12 feet; thence S08°01'35"E, 18.50 feet; thence S24°15'31"E, 21.76 feet; thence S36°12'20"E, 23.00 feet; thence S45°50'21"E, 32.97 feet; thence S57°20'56"E, 32.83 feet; thence S55°23'50"E, 25.17 feet; thence S71°35'07"E, 25.18 feet; thence S73°27'23"E, 19.92 feet; thence S57°48'03"E, 19.39 feet; thence S37°40'40"E, 13.10 feet; thence S35°42'00"E, 11.79 feet; thence S77°28'53"E, 24.71 feet; thence S77°56'46"E, 21.41 feet; thence S57°56'33"E, 10.38 feet; thence S44°25'31"E, 11.51 feet; thence S14°26'22"E, 0.77 feet; thence N71°43'52"W, 19.90 feet; thence N69°16'30"W, 16.68 feet; thence N85°30'07"W, 15.72 feet; thence N69°14'37"W, 12.49 feet; thence N57°13'54"W, 9.28 feet; thence N36°41'14"W, 13.61 feet; thence N50°12'25"W, 16.46 feet; thence N83°28'48"W, 14.56 feet; thence N87°13'37"W, 6.27 feet; thence N71°58'09"W, 26.91 feet; thence N63°35'13"W, 29.48 feet; thence N53°33'22"W, 27.30 feet; thence N51°34'14"W, 30.46 feet; thence N40°34'33"W, 36.02 feet; thence N33°34'20"W, 33.29 feet; thence N22°49'39"W, 24.24 feet; thence N9°44'38"W, 34.40 feet; thence N02°27'33"E, 33.98 feet; thence N05°26'36"E, 23.05 feet; thence N15°50'11"E, 27.41 feet; thence N22°59'42"E, 27.55 feet; thence N46°34'46"E, 32.00 feet; thence N48°50'28"E, 27.23 feet; thence N42°32'35"E, 26.80 feet; thence N52°21'11"E, 26.70 feet; thence N52°07'53"E, 15.64 feet; thence N32°51'47"E, 12.64 feet; thence N25°59'16"W, 17.33 feet; thence N39°22'04"W, 23.61 feet; thence N16°11'08"E, 15.76 feet; thence N01°02'07"W, 26.26 feet; thence N12°45'50"W, 34.80 feet; thence N11°59'23"W, 30.97 feet; thence N17°35'52"W, 29.44 feet; thence N19°36'45"W, 23.06 feet; thence N27°07'04"W, 20.83 feet; thence N26°17'49"W, 21.86 feet; thence N24°11'23"W, 19.33 feet; thence N28°05'58"W, 23.78 feet; thence N27°59'14"W, 22.70 feet; thence N48°26'35"W, 27.37 feet; thence N42°33'57"W, 21.63 feet; thence N35°13'47"W, 18.85 feet; thence N28°03'45"W, 25.18 feet; thence N16°47'45"W, 18.79 feet; thence N01°50'26"E, 17.16 feet; thence N28°52'11"E, 20.81 feet; thence N48°34'32"E, 27.51 feet; thence N44°36'34"E, 24.11 feet; thence N33°04'32"E, 19.18 feet; thence N09°57'10"W, 34.40 feet; thence N10°36'25"W, 22.74 feet; thence N21°43'49"W, 22.00 feet; thence N35°31'46"W, 26.79 feet; thence N55°59'50"W, 29.89 feet; thence N62°08'25"W, 31.40 feet; thence N83°56'46"W, 39.21 feet; thence N87°37'49"W, 50.65 feet; thence N87°01'47"W, 35.97 feet; thence N81°14'36"W, 38.39 feet; thence S85°20'34"E, 19.77 feet; thence N74°58'13"W, 35.40 feet; thence N69°48'17"W, 37.29 feet; thence N69°09'47"W, 24.44 feet; thence N87°43'12"W, 31.44 feet; thence S83°24'38"W, 37.50 feet; thence N47°50'35"W, 32.82; thence N73°38'29"W, 14.86 feet to the point of beginning. Containing 97,983 square feet or 2.248 Acres.

ALSO: Part of the Northeast 1/4 of Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Beginning at the Southeast corner of the said Northeast 1/4 Section; thence S89°48'39"W, 1744.20 feet along the South line of the said Northeast 1/4 Section; thence N02°24'42"W, 190.15 feet; thence N89°48'39"E, 289.44 feet to the point of beginning of this description; continue thence N89°48'39"E, 93.26 feet; thence S52°32'34"E, 24.96 feet; thence S17°10'32"W, 15.56 feet; thence S19°58'53"W, 18.80 feet; thence S44°16'35"W, 19.85 feet; thence S34°09'48"W, 20.56 feet; thence S84°36'19"W, 18.62 feet; thence N75°12'23"W, 24.96 feet; thence N61°51'00"W, 30.37 feet; thence N45°37'37"W, 25.63 feet; thence N01°48'58"W, 22.53 feet; thence N55°14'45"E, 18.45 feet; thence N22°07'54"E, 6.94 feet; thence N68°51'11"W, 6.37 feet to the point of beginning. Containing 7,644 square feet or 0.175 Acres.

LEGAL DESCRIPTION OF WETLAND AREA (W-16)

Part of the Northwest 1/4 of Section 23, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Commence at the Southwest corner of the said Northwest 1/4 Section; thence N02°35'38"W, 394.08 feet along the East line of the said Northwest 1/4 Section; thence N87°24'22"E, 1082.57 feet to the point of beginning of this description; thence N06°04'53"E, 16.49 feet; thence N28°02'41"E, 18.79 feet; thence N21°00'06"E, 21.49 feet; thence N81°23'27"E, 8.22 feet; thence N88°33'31"E, 17.84 feet; thence N27°37'53"E, 13.03 feet; thence S30°56'18"E, 12.39 feet; thence S28°56'44"E, 25.43 feet; thence N89°58'04"E, 11.93 feet; thence N83°19'11"E, 20.14 feet; thence S37°55'27"E, 29.23 feet; thence N82°52'39"E, 14.36 feet; thence N30°36'39"E, 30.78 feet; thence N23°06'48"E, 23.20 feet; thence N17°12'04"E, 16.37 feet; thence N40°16'30"E, 10.12 feet; thence N32°17'20"E, 15.10 feet; thence N45°30'46"E, 15.74 feet; thence S84°49'33"E, 12.57 feet; thence S02°48'12"E, 18.36 feet; thence S03°51'13"W, 14.34 feet; thence S35°50'38"W, 22.53 feet; thence S04°59'13"E, 15.15 feet; thence S23°09'53"E, 20.31 feet; thence S30°01'49"E, 27.17 feet; thence S22°45'36"W, 24.1

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Don Jime
Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack

Plat 3017



150' 0' 150'
SCALE 1"=150'

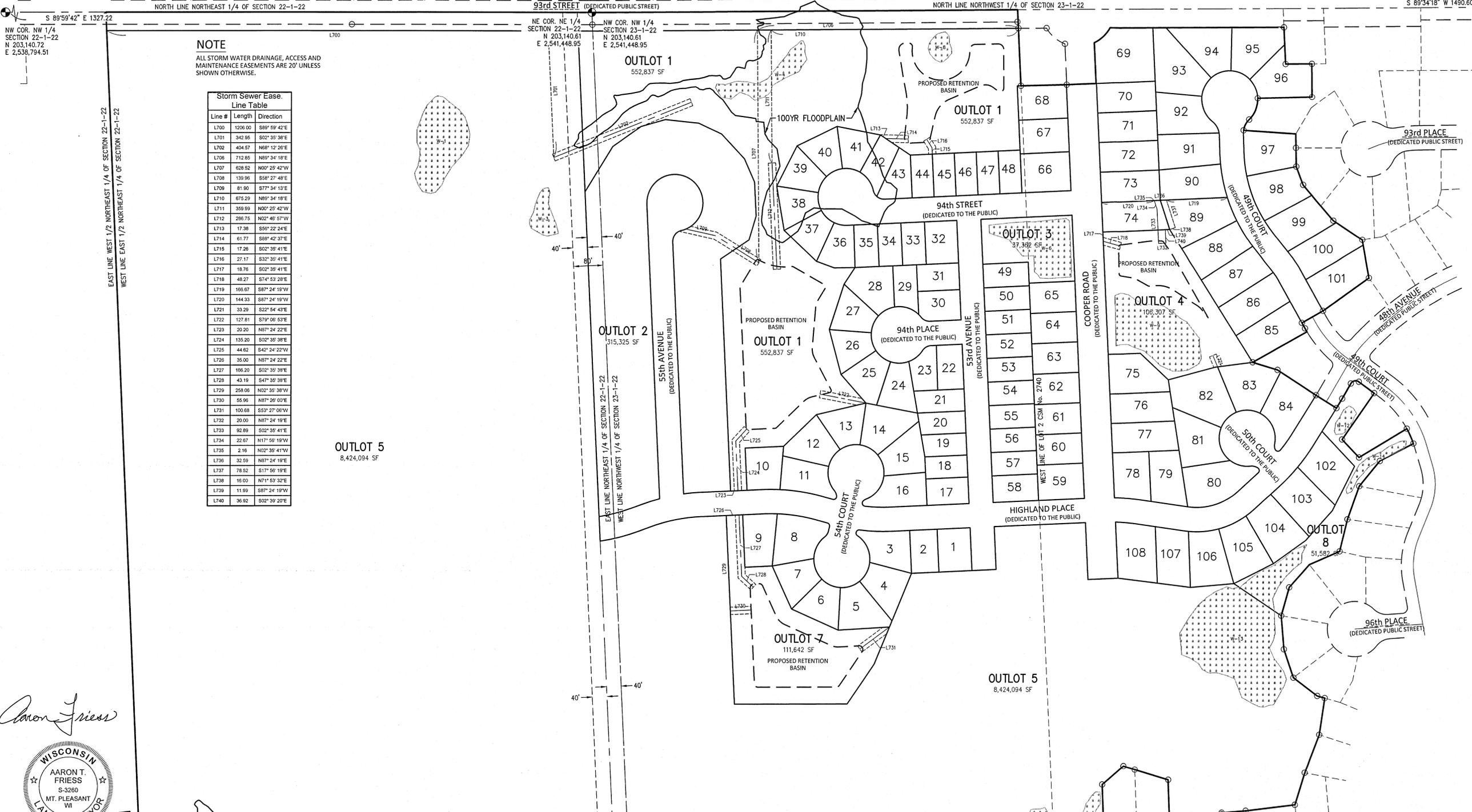
LINE TABLE TO LEGALLY DESCRIBE NON-TYPICAL DEDICATED STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENTS

NOTE

ALL STORM WATER DRAINAGE, ACCESS AND MAINTENANCE EASEMENTS ARE 20' UNLESS SHOWN OTHERWISE.

Storm Sewer Ease. Line Table

Line #	Length	Direction
L700	1206.00	S89°59'42"E
L701	342.95	S02°35'38"E
L702	404.57	N88°12'28"E
L706	712.85	N89°34'18"E
L707	628.82	N00°29'42"W
L708	139.96	S88°27'48"E
L709	81.50	S77°34'13"E
L710	675.29	N89°34'18"E
L711	359.89	N00°29'42"W
L712	286.75	N02°46'57"W
L713	17.38	S58°22'24"E
L714	61.77	S88°42'37"E
L715	17.28	S02°35'41"E
L716	27.17	S32°35'41"E
L717	18.76	S02°35'41"E
L718	48.27	S74°53'28"E
L719	166.67	S87°24'19"W
L720	144.33	S87°24'19"W
L721	33.29	S22°54'43"E
L722	127.81	S79°06'53"E
L723	20.20	N87°24'22"E
L724	135.20	S02°35'38"E
L725	44.62	S42°24'22"W
L726	35.00	N87°24'22"E
L727	166.20	S02°35'38"E
L728	43.19	S47°35'38"E
L729	258.06	N02°35'38"W
L730	55.96	N87°26'00"E
L731	100.88	S53°27'06"W
L732	20.00	N87°24'18"E
L733	62.89	S02°35'41"E
L734	22.67	N17°56'19"W
L735	2.16	N02°35'41"W
L736	32.59	N87°24'19"E
L737	78.52	S17°56'19"E
L738	16.00	N71°53'32"E
L739	11.59	S87°24'19"W
L740	36.82	S02°39'20"E



Aaron Friess



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack

Plat 3017

SURVEYOR'S CERTIFICATE

State of Wisconsin)
County of Kenosha) ss

I, Aaron T. Friess, Professional Land Surveyor, hereby certify:

That I have surveyed, divided and mapped, at the request of the owners, "Highland Estates", being A re-division of Lot 2 of Certified Survey Map No. 2740 (CSM 2740) recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, on December 19, 2013 as Document No. 1717999, located in a part of the Northeast 1/4, Southeast 1/4, Southwest 1/4 and Northwest 1/4 of Section 23, Township 1 North, Range 22 East also that part of the Northeast 1/4, Southeast 1/4 and Southwest 1/4 of the Northeast 1/4 and the Northeast 1/4, Southeast 1/4, and the Northwest 1/4 of the Southeast 1/4 of Section 22, Township 1 North, Range 22 East of the Fourth Principal Meridian, in the Village of Pleasant Prairie, County of Kenosha and State of Wisconsin, now being more particularly bounded and described as follows: Beginning at the Northwest corner of the said Northwest 1/4 Section; thence N89°34'18"E, 1162.66 feet along the North line of the said Northwest 1/4 Section to the West line of said CSM 2740; thence S02°35'41"E, 205.99 feet along said West line to the North line of said Lot 2 CSM 2740; thence N88°34'42"E, 125.03 feet along said North line to the West right-of-way of 51st Avenue - Cooper Road; thence N87°24'19"E, 80.00 feet along said North line to the East right-of-way of 51st Avenue - Cooper Road; thence N02°35'41"W, 110.54 feet along said North line and said East right-of-way to a point on a curve of Southeasterly convexity whose radius is 100.00 feet and whose chord bears N46°46'30"E, 59.15 feet, thence Northeasterly 60.05 feet along the arc of said curve, said North line and said East right-of-way to the South right-of-way of 93rd Street; thence N89°34'18"E, 474.80 feet along said North line and said South right-of-way to the East line of said Lot 2 CSM 2740; thence S02°35'41"E, 99.96 feet along said East line; thence N89°34'29"E, 71.81 feet along said East line; thence S00°15'07"E, 90.38 feet along said East line; thence S88°31'23"W, 148.33 feet along said East line to a point on a curve of Southeasterly convexity whose radius is 75.00 feet and whose chord bears S22°30'52"W, 61.00 feet; thence Southerly 62.82 feet along the arc of said curve and said East line to a point of reverse curvature whose radius is 50.00 feet and whose chord bears S27°23'00"West, 32.77 feet; thence Southwesterly 33.38 feet along the arc of said curve and said East line; thence S86°18'23"E, 142.91 feet along said East line; thence S00°53'44"E, 88.16 feet along said East line; thence S20°45'15"E, 53.33 feet along said East line; thence S40°44'50"E, 126.46 feet along said East line; thence S56°42'12"E, 94.76 feet along said East line; thence S10°00'33"E, 104.56 feet along said East line; thence S54°42'03"W, 153.36 feet to a point on the Easterly Right-of-Way line of said 49th Court; thence S60°36'36"W, 66.00 feet to a point on the Westerly Right-of-Way line of said 49th Court; thence S29°23'24"E, 17.14 feet along the said Westerly Right-of-Way line to a point of curvature of a curve of Southwesterly convexity whose radius is 333.00 feet whose chord bears S30°18'44"E, 10.70 feet; thence Southeasterly 10.71 feet along the arc of said curve and said Westerly Right-of-Way line; thence S60°47'26"W, 170.00 feet along said East line; thence S73°21'53"E, 70.97 feet along said East line; thence S57°15'46"E, 125.21 feet along said East line to a point on the Northwesterly Right-of-Way line of 96th Street; thence S58°04'22"E, 66.00 feet to a point on the Southeasterly Right-of-Way line of said 96th Street to a point on a curve of Northwesterly convexity whose radius is 1033.00 feet and whose chord bears N31°05'43"E, 29.99 feet; thence Northeasterly 29.99 feet along the said Southeasterly Right-of-Way line and the arc of said curve; thence N30°15'49"E, 46.98 feet along said Southeasterly Right-of-Way line to a point of curvature of a curve of Northerly convexity whose radius is 15.00 feet and whose chord bears N78°05'37"E, 22.23 feet; thence Northeasterly 25.04 feet along the arc of said curve said East line and Southeasterly Right-of-Way line to the Westerly Right-of-Way line of 49th Court; thence S54°04'35"E, 51.72 feet along said Westerly Right-of-Way line and along said East line of said Lot 2; thence S34°43'16"W, 153.05 feet along said East line; thence S43°12'48"E, 67.28 feet along said East line; thence N58°56'48"E, 152.21 feet along said East line to a point on the said Westerly Right-of-Way line of said 49th Court and a point of a curve of Easterly convexity whose radius is 267.00 feet and whose chord bears S24°01'49"E, 44.17 feet; thence Southeasterly 44.22 feet along the arc of said curve, said East line and said Westerly Right-of-Way line; thence S62°27'04"W, 103.16 feet along said East line; thence S39°19'26"W, 88.70 feet along said East line; thence S19°23'22"W, 96.17 feet along said East line; thence S13°49'26"W, 89.25 feet along said East line; thence S66°32'49"W, 90.14 feet along said East line; thence S41°39'44"W, 82.43 feet along said East line; thence S15°49'12"W, 79.76 feet along said East line; thence S04°40'12"E, 91.41 feet along said East line; thence S18°39'28"E, 81.24 feet along said East line; thence S52°53'24"E, 81.88 feet along said East line; thence S74°29'49"E, 21.20 feet along said East line; thence S08°27'47"W, 100.34 feet along said East line; thence S21°00'06"W, 109.97 feet along said East line; thence S17°16'29"W, 90.26 feet along said East line to the South line of said Lot 2 CSM 2740; thence S82°49'51"W, 135.45 feet along said South line to the East Right-of-Way line of 51st Court; thence S85°16'21"W, 66.00 feet along said South line to a point on the West Right-of-Way line of said 51st Court; thence S04°43'39"E, 3.80 feet along said said West Right-of-Way line and said South line; thence S85°16'21"W, 143.65 feet along said South line; thence N02°03'52"W, 103.83 feet along said South line thence N73°15'56"W, 127.54 feet along said South line; thence S49°04'16"W, 76.11 feet along said South line; thence S02°03'52"E, 206.36 feet along said South line to a point on the North Right-of-Way line of 97th Street and a point on a curve of Southerly convexity whose radius is 4967.00 feet and whose chord bears S89°14'53"W, 130.55 feet; thence Southwesterly 130.55 feet along the arc of said curve, said South line and said North Right-of-Way line; thence N89°59'56"W, 6.27 feet along said South line and said North Right-of-Way line to a point on the West line of said Lot 2; thence S89°36'51"W, 108.06 feet along said North Right-of-Way to a point on a curve of Southwesterly convexity whose radius is 20.00 feet and whose chord bears N45°17'24"W, 28.33 feet; thence Northerly 31.48 feet along the arc of said curve, to the East Right-of-Way line of 51st Avenue - Cooper Road; thence N00°11'40"E, 10.47 feet along said East Right-of-Way line; thence S89°48'20"W, 80.00 feet to the West Right-of-Way line of 51st Avenue - Cooper Road; thence S00°11'40"E, 11.87 feet along said West Right-of-Way line to a point on a curve of Southeasterly convexity whose radius is 20.00 feet and whose chord bears S42°59'10"W, 27.37 feet; thence Southerly 30.15 feet along the arc of said curve and along said West Right-of-Way line to a point on a curve of Northeasterly convexity whose radius is 533.00 feet and whose chord bears S85°17'46"W, 16.20 feet; thence Southwesterly 16.20 feet along the arc of said curve and along said West Right-of-Way line; thence S05°34'30"E, 66.00 feet along said West Right-of-Way line to a point on a curve of Northerly convexity whose radius is 467.00 feet and whose chord bears N84°51'50"E, 7.15 feet; thence Easterly 7.15 feet along the arc of said curve and along said West Right-of-Way line to a point on a curve of Northeasterly convexity whose radius is 20.00 feet and whose chord bears S47°26'46"E, 29.37 feet; thence Easterly 32.99 feet along the arc of said curve and along said West Right-of-Way line; thence S00°11'40"E, 264.21 feet along said West Right-of-Way line to the South line of the Northwest 1/4 of said Section 23; thence S89°48'20"W, 940.00 feet along the South line of the Northwest 1/4 of said Section 23 to the Southwest corner of the Northwest 1/4 of said Section 23; thence S89°48'39"W, 667.62 feet along the South line of the Northeast 1/4 of said Section 22 to the East line of the West 1/2 of the East 1/2 of said Southeast 1/4; thence S03°07'37"E, 2626.47 feet along the East line of the West 1/2 of the East 1/2 of the Southeast 1/4 of said Section 22 to the North line of 104th Street - State Trunk Highway "165"; thence S89°39'54"W, 1568.16 feet along the North line of S.T.H. "165", being parallel with the South line of the Southeast 1/4 of said Section 22, to the East line of 63rd Avenue; thence N03°49'07"W, 1684.11 feet along the East line of 63rd Avenue and its Northerly extension; thence N89°39'54"E, 3.00 feet, parallel with the South line of the Southeast 1/4 of said Section 22; thence N03°49'07"W, 15.29 feet, parallel with the East line of 63rd Avenue to the South line of Certified Survey Map

No. 2182, a map recorded in the office of the Register of Deeds for Kenosha County, Wisconsin on April 13, 2000 as Document No. 1178723; thence N89°45'44"E, 509.00 feet along the South line of said C.S.M. No. 2182 to its Southeast corner; thence N03°06'27"W, 931.79 feet along the East line of said C.S.M. No. 2182 to the North line of the Southeast 1/4 of said Section 22; thence N02°24'42"W, 190.15 feet; thence N89°48'39"E, 408.94 feet parallel with the North line of the Southeast 1/4 of said Section 22 to the West line of the East 1/2 of said Northeast 1/4; thence N02°25'00"W, 2467.43 feet along the West line of the East 1/2 of the Northeast 1/4 of said Section 22 to the North line of said Northeast 1/4; thence S89°59'42"E, 1327.22 feet along the North line of the Northeast 1/4 of said Section 22 to the Northwest corner of the said Northwest 1/4 of Section 23 and the point of beginning. Subject to the rights of the public in and to the North 50.00 feet therefrom for roadway purposes. Containing 272.764 acres including roadway.

That this map is a correct representation of all of the exterior boundaries of the land surveyed and the division thereof made and I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations, Chapter 395 of the Village of Pleasant Prairie Land Division and Development Control Ordinance in surveying, dividing, mapping and dedicating the same.

March 12, 2025
Revised April 2, 2025

Aaron Friess
Aaron Friess, S-3260
Nielsen Madsen & Barber, S.C.
1458 Horizon Blvd., Suite 200
Racine, WI 53406
(262) 634-5588



CORPORATE OWNER'S CERTIFICATE OF DEDICATION

Arbor Estates Group, LLC., corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as Owners, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat. Arbor Estates Group, LLC., does further certify that this plat is required to be submitted to the following for approval: Village of Pleasant Prairie, the Wisconsin Department of Administration and the Wisconsin Department of Transportation.

IN WITNESS WHEREOF the said Arbor Estates Group, LLC. has caused these presents to be signed by SANJAY KUTEMPERDOR at Pleasant Prairie, Wisconsin, and its seal affixed hereunto this 20th day of MAY, 2025. In the presence of:

[Signature] Arbor Estates Group, LLC
[Signature] Arbor Estates Partners, LLC, Managing Member
SANJAY KUTEMPERDOR

STATE OF Wisconsin)
COUNTY OF Kenosha) ss

Personally came before me this 20th day of May, 2025 Arbor Estates Partners, LLC, Managing Member of the above-named limited liability company to me known to be the person who executed the foregoing and acknowledged the same.

Signed: *Peggy K. Herrick* Peggy K. Herrick
Print Name

Notary Public, State of Wisconsin
My commission expires/is permanent: 12/27/25



S E A L

CONSENT OF CORPORATE MORTGAGEE

The Greenwoods State Bank a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above-described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat, and does hereby consent to the above certificate of Arbor Estates Group, LLC, owners. IN WITNESS WHEREOF, the said The Greenwoods State Bank has caused these presents to be signed by James A. Meyer, its Senior Vice-President and Robert Cera, President, at Waukesha, Wisconsin, and its corporate seal to be hereunto affixed this 22nd day of May, 2025, in the presence of:

James A. Meyer James A. Meyer
Senior Vice-President
Print Name
Robert Cera Robert Cera
President
Print Name

(Corporate Seal)

STATE OF Wisconsin)
COUNTY OF Kenosha) ss

Personally came before me this 22nd day of May, 2025, James A. Meyer, Executive Vice-President and Robert Cera, President, of the above-named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such Senior Vice-President and Vice President of said corporation, and acknowledged that they executed the foregoing as such officers as the deed of said corporation, by its authority.

Signed: *John Timmerman* John Timmerman
Print Name

Notary Public, State of Wisconsin
My commission expires/is permanent: 8-7-27

S E A L

VILLAGE BOARD CERTIFICATE

We hereby certify that the final plat of Highland Estates in the Village of Pleasant Prairie submitted for approval by Arbor Estates Group, LLC, developer of said lands, was approved by the Village Board of the Village of Pleasant Prairie on Nov 15th, 2024 by Resolution No. 24-43 and that any and all conditions of such approval have been satisfied.

By: *[Signature]*
Michael R. Peterson, Village President
Attested By: *[Signature]*
Jane C. Snell, Village Clerk



STATE OF WISCONSIN)
COUNTY OF KENOSHA) ss

Personally came before me this 18th day of July, 2025, John P. Glusmanik, Village President, and Jane C. Snell, Village Clerk, and acknowledged that they executed the foregoing instrument as President and Clerk of the Village of Pleasant Prairie and by its authority.

Signed: Vesna Savic
Vesna Savic

Notary Public, State of Wisconsin
My commission expires/is permanent: 11-9-2026



COUNTY TREASURER'S CERTIFICATE

I, Teri A. Jacobson, being the duly elected, qualified and acting Treasurer of Kenosha County, do hereby certify that the records of my office show no unredeemed tax sales and no unpaid taxes or special assessments as of July 22, 2025 affecting the lands included in the plat of Highland Estates.

By: *Teri A. Jacobson*
Teri A. Jacobson, County Treasurer

VILLAGE TREASURER'S CERTIFICATE

Laura Delakos, being the duly qualified and acting Treasurer of Pleasant Prairie, do hereby certify that the records of my office show no unpaid taxes or special assessments as of 7/22/2025, affecting the lands included in this plat of Highland Estates.

By: *Laura Delakos*
Kathleen M. Gossel, Village Treasurer
Laura Delakos, Deputy
The UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

Arbor Estates Group, LLC., Grantor, to

WISCONSIN ELECTRIC POWER COMPANY, a Wisconsin corporation doing business as We Energies, Grantee,

Wisconsin Bell, Inc. d/b/a AT&T Wisconsin, a Wisconsin corporation, Grantee,

and CHARTER COMMUNICATIONS OPERATING, LLC, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

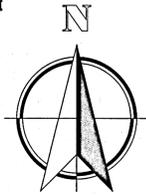
Don Dime
Department of Administration



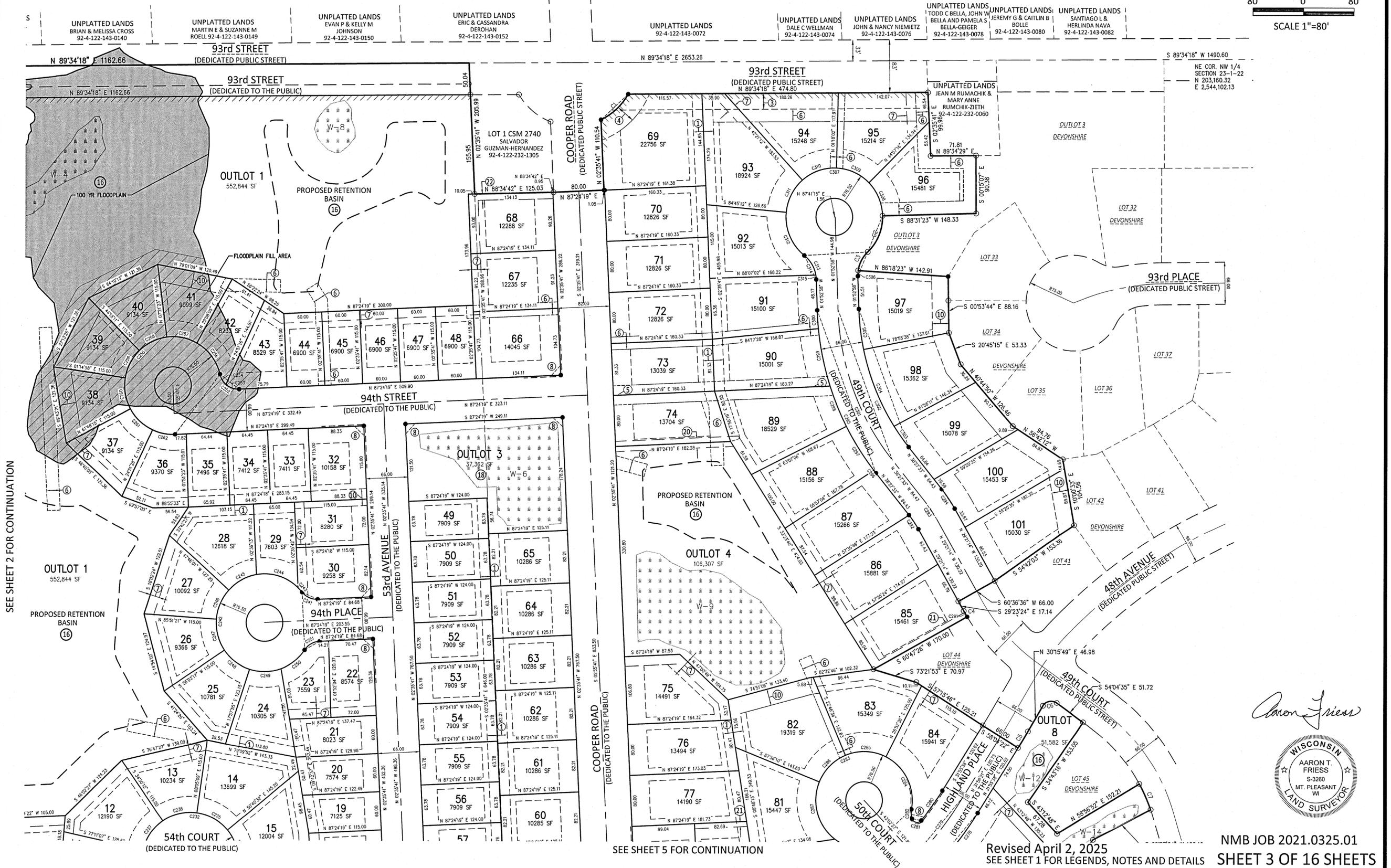
HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

Plat 3017
Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack



80' 0' 80'
SCALE 1"=80'



SEE SHEET 2 FOR CONTINUATION

SEE SHEET 5 FOR CONTINUATION

Revised April 2, 2025
SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS

NMB JOB 2021.0325.01
SHEET 3 OF 16 SHEETS

Aaron T. Friess



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Don Dime
Department of Administration



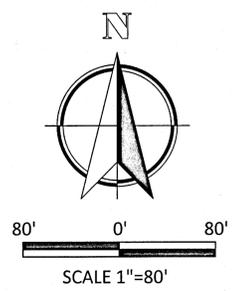
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SEE SHEET 2 FOR CONTINUATION

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REGISTER OF DEEDS: Jennifer A. Mack

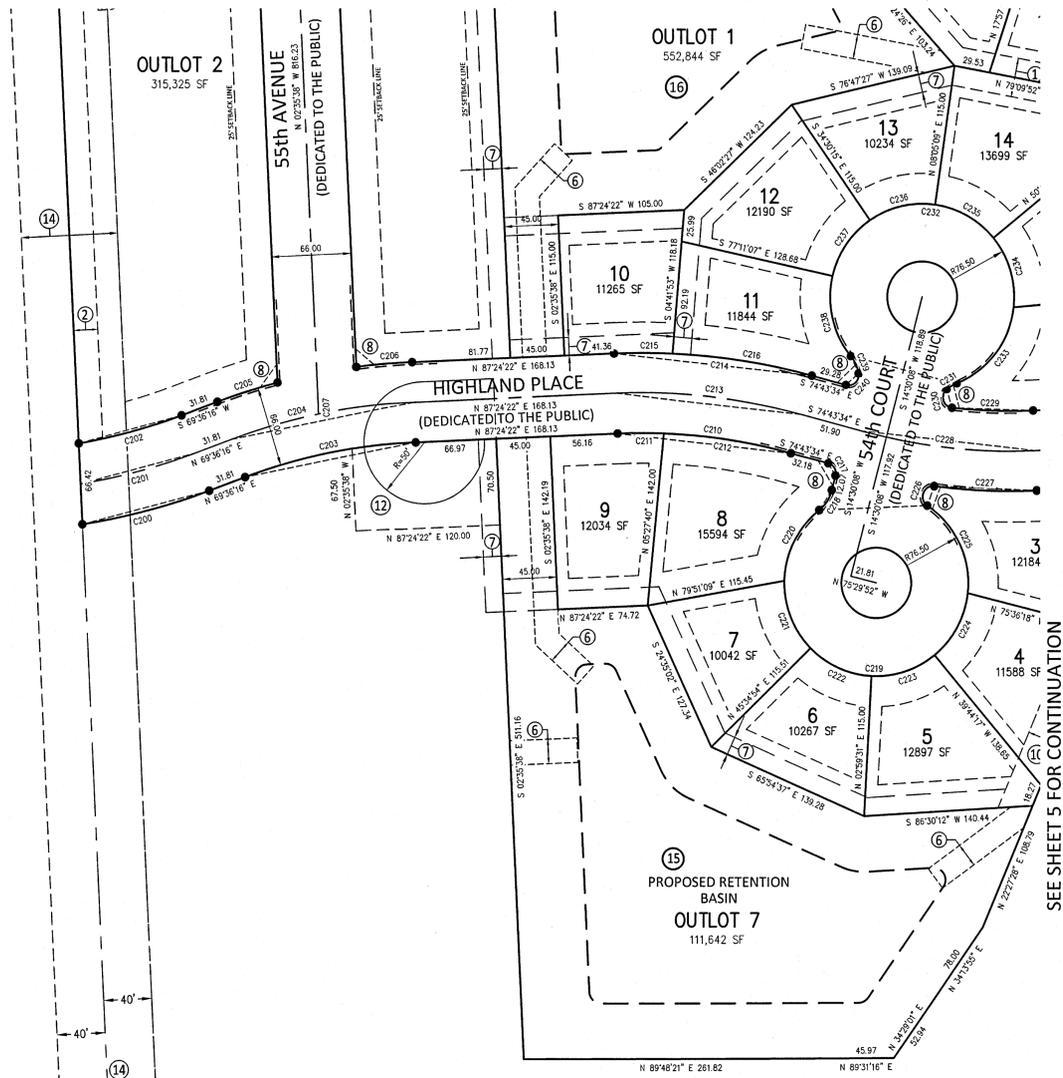
Plat 3017



N 02°25'00" W 2487.43
2417.39

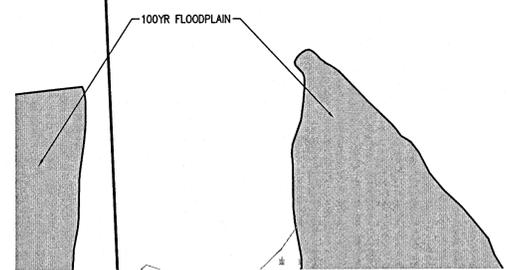
UNPAID LANDS
PHILIP M. & TRACY J.
ROEMER
92-4-122-221-0100

OUTLOT 5
8,424,094 SF



SEE SHEET 5 FOR CONTINUATION

OUTLOT 5
8,424,094 SF



SEE SHEET 6 FOR CONTINUATION

Revised April 2, 2025
SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS

NMB JOB 2021.0325.01
SHEET 4 OF 16 SHEETS

Aaron Friess



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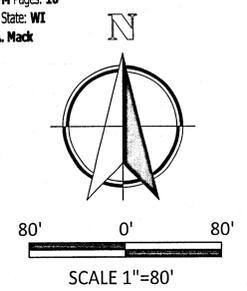
Certified April 22, 2025

Don Sims
Department of Administration

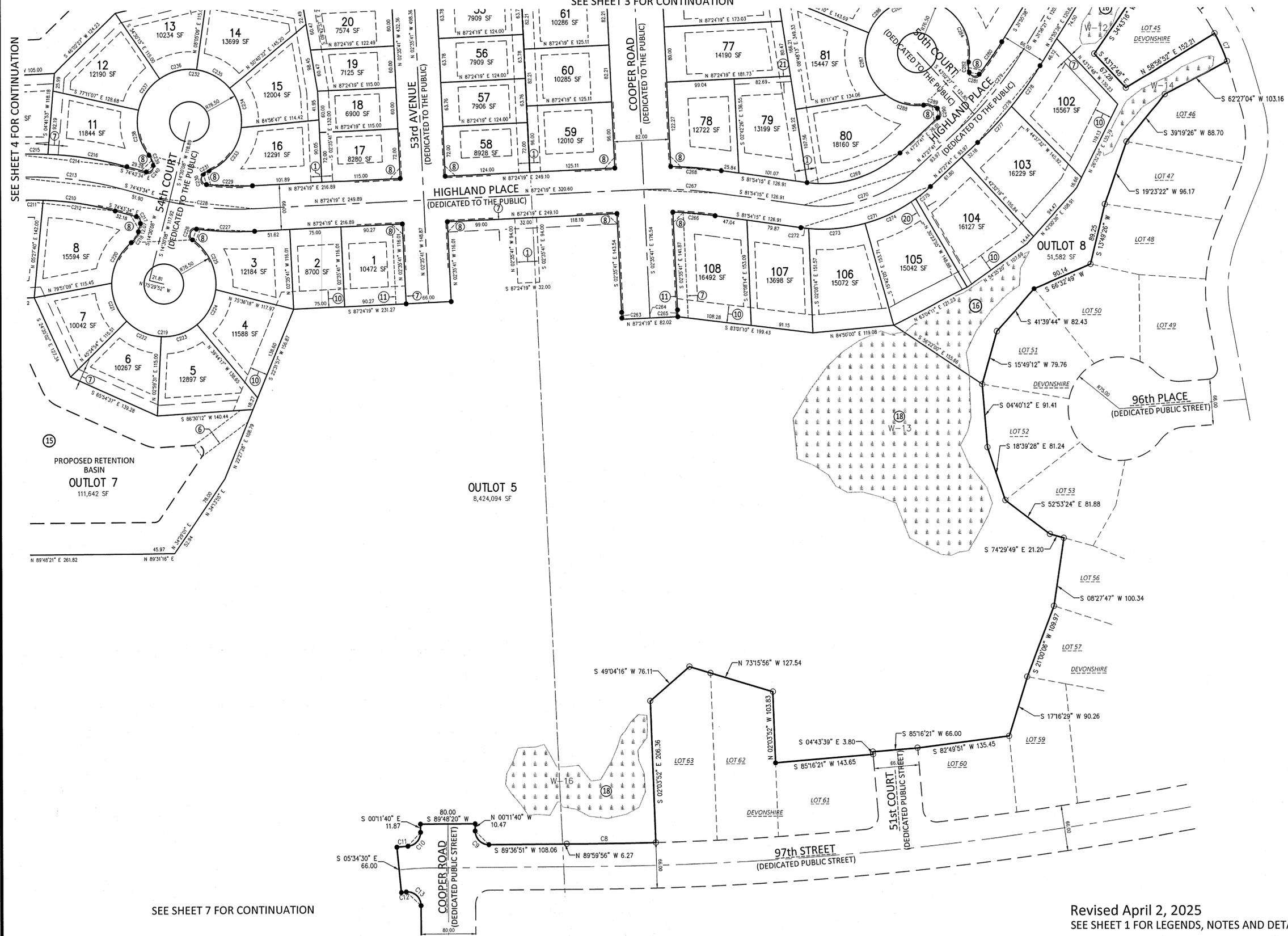


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SEE SHEET 3 FOR CONTINUATION



SEE SHEET 4 FOR CONTINUATION

SEE SHEET 7 FOR CONTINUATION

Revised April 2, 2025
SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS

NMB JOB 2021.0325.01
SHEET 5 OF 16 SHEETS

Aaron Friess



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Certified April 22, 2025

Don Sims
Department of Administration



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80' 0' 80'
SCALE 1"=80'

SEE SHEET 4 FOR CONTINUATION



SEE SHEET 7 FOR CONTINUATION

SEE SHEET 8 FOR CONTINUATION

Revised April 2, 2025
SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS

NMB JOB 2021.0325.01
SHEET 6 OF 16 SHEETS

Aaron Friess



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Certified April 22, 2025

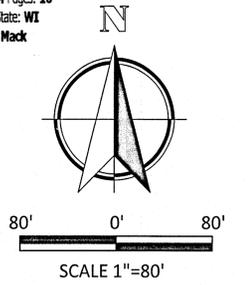
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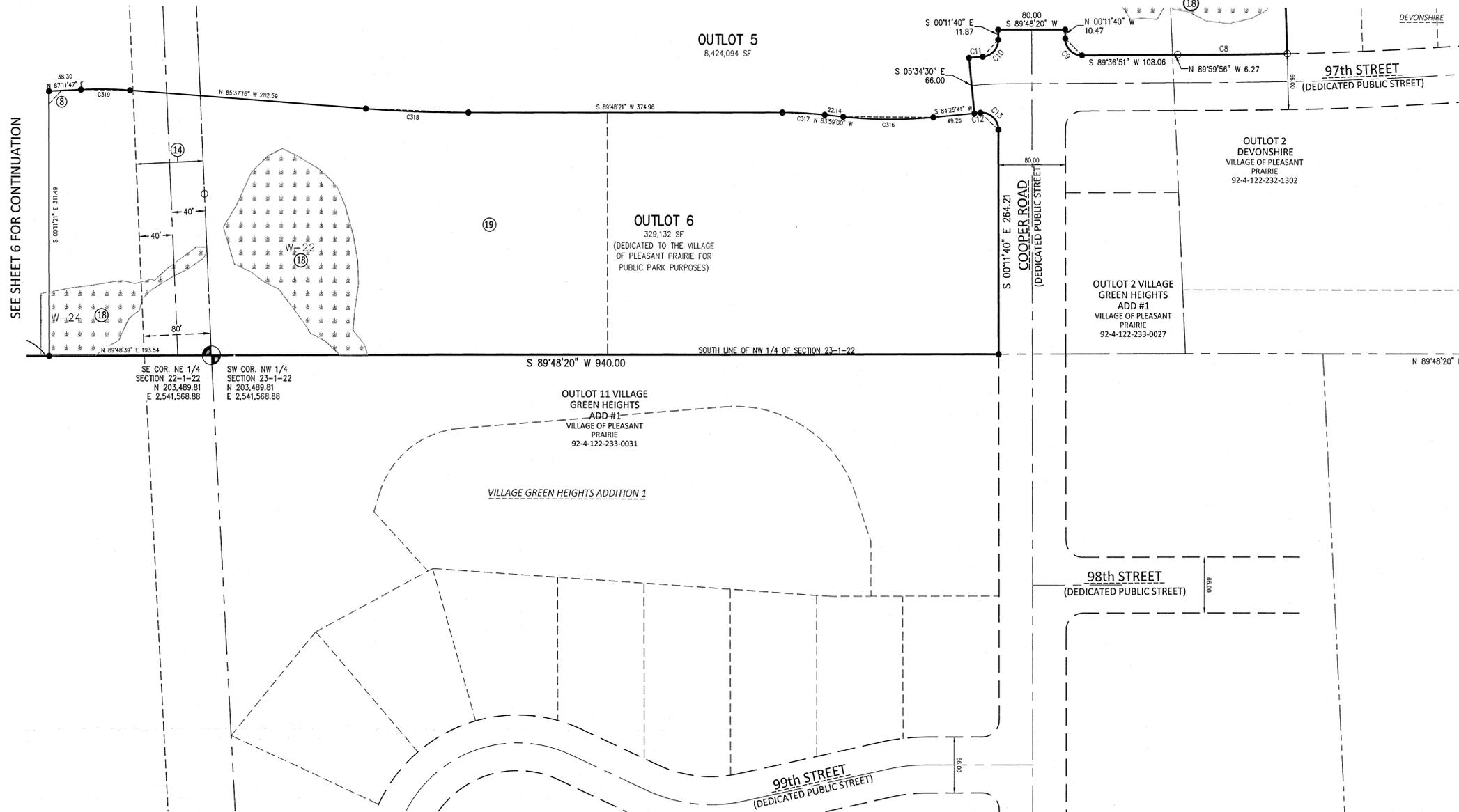
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SEE SHEET 5 FOR CONTINUATION



SE COR. NE 1/4 SECTION 22-1-22
N 203,489.81
E 2,541,568.88

SW COR. NW 1/4 SECTION 23-1-22
N 203,489.81
E 2,541,568.88

OUTLOT 11 VILLAGE GREEN HEIGHTS ADD #1
VILLAGE OF PLEASANT PRAIRIE
92-4-122-235-0031

VILLAGE GREEN HEIGHTS ADDITION 1

98th STREET
(DEDICATED PUBLIC STREET)

99th STREET
(DEDICATED PUBLIC STREET)

Revised April 2, 2025
SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS

NMB JOB 2021.0325.01
SHEET 7 OF 16 SHEETS

Aaron Friess



There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified April 22, 2025

Don Sims
Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

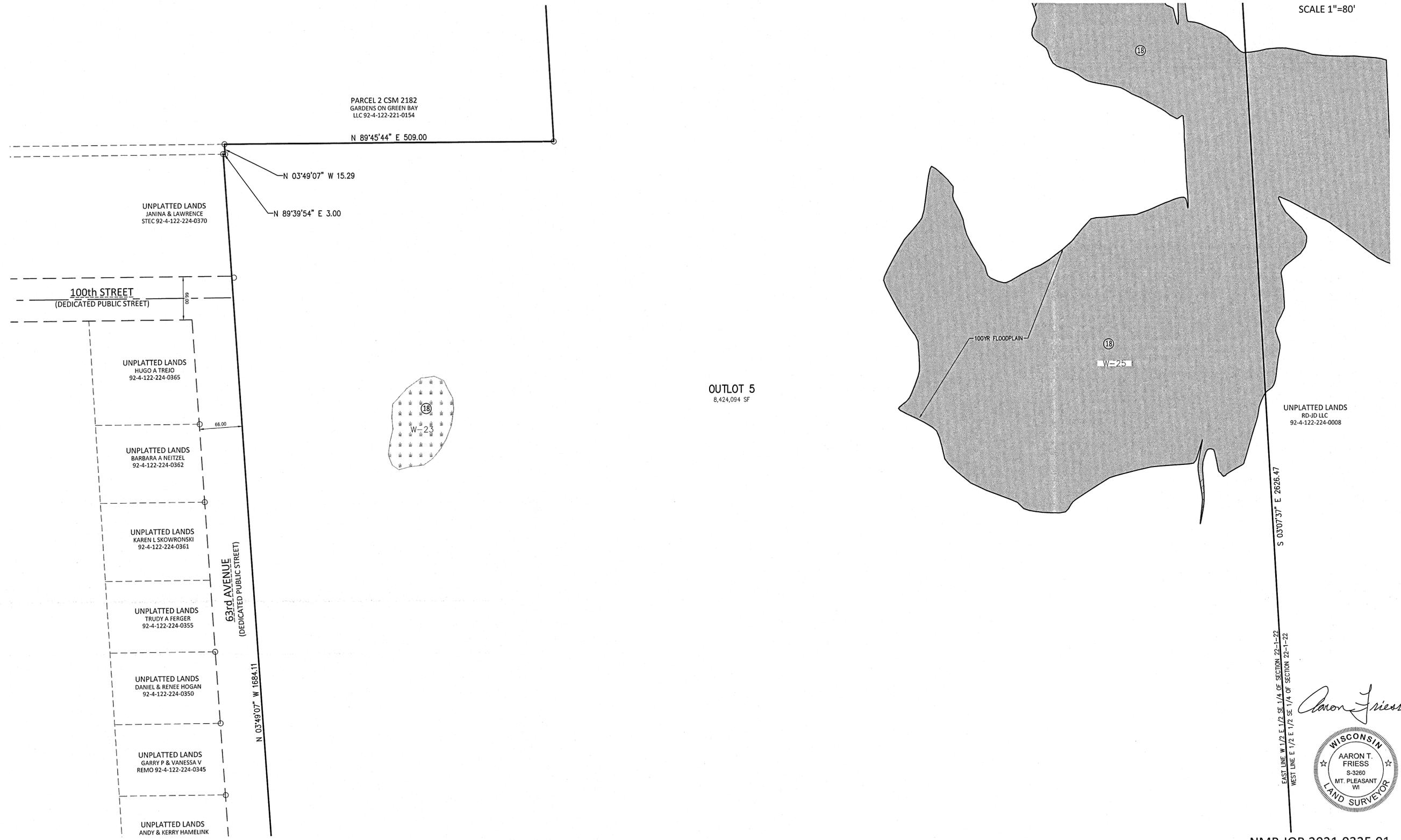
SEE SHEET 6 FOR CONTINUATION

Plat 3017

Document #: 1984697
Date: 2025-07-24 Time: 2:40 PM Pages: 16
Fee: \$50.00 County: KENOSHA State: WI
REGISTER OF DEEDS: Jennifer A. Mack



80' 0' 80'
SCALE 1"=80'



OUTLOT 5
8,424,094 SF

EAST LINE W 1/2 E 1/2 SE 1/4 OF SECTION 22-1-22
WEST LINE E 1/2 E 1/2 SE 1/4 OF SECTION 22-1-22

Aaron Friess



SEE SHEET 9 FOR CONTINUATION

Revised April 2, 2025
SEE SHEET 1 FOR LEGENDS, NOTES AND DETAILS
NMB JOB 2021.0325.01
SHEET 8 OF 16 SHEETS

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified May 04, 2025

Don Jime
Department of Administration



HIGHLAND ESTATES

A RE-DIVISION OF LOT 2 OF CERTIFIED SURVEY MAP NO. 2740 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR KENOSHA COUNTY, WISCONSIN, ON DECEMBER 19, 2013 AS DOCUMENT NO. 1717999, LOCATED IN A PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 AND NORTHWEST 1/4 OF THE NORTHWEST 1/4 SECTION 23, TOWNSHIP 1 NORTH, RANGE 22 EAST ALSO THAT PART OF THE NORTHEAST 1/4, SOUTHEAST 1/4, SOUTHWEST 1/4 OF THE NORTHEAST 1/4, AND THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4 AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 1 NORTH, RANGE 22 EAST OF THE FOURTH PRINCIPAL MERIDIAN, IN THE VILLAGE OF PLEASANT PRAIRIE, COUNTY OF KENOSHA AND STATE OF WISCONSIN.

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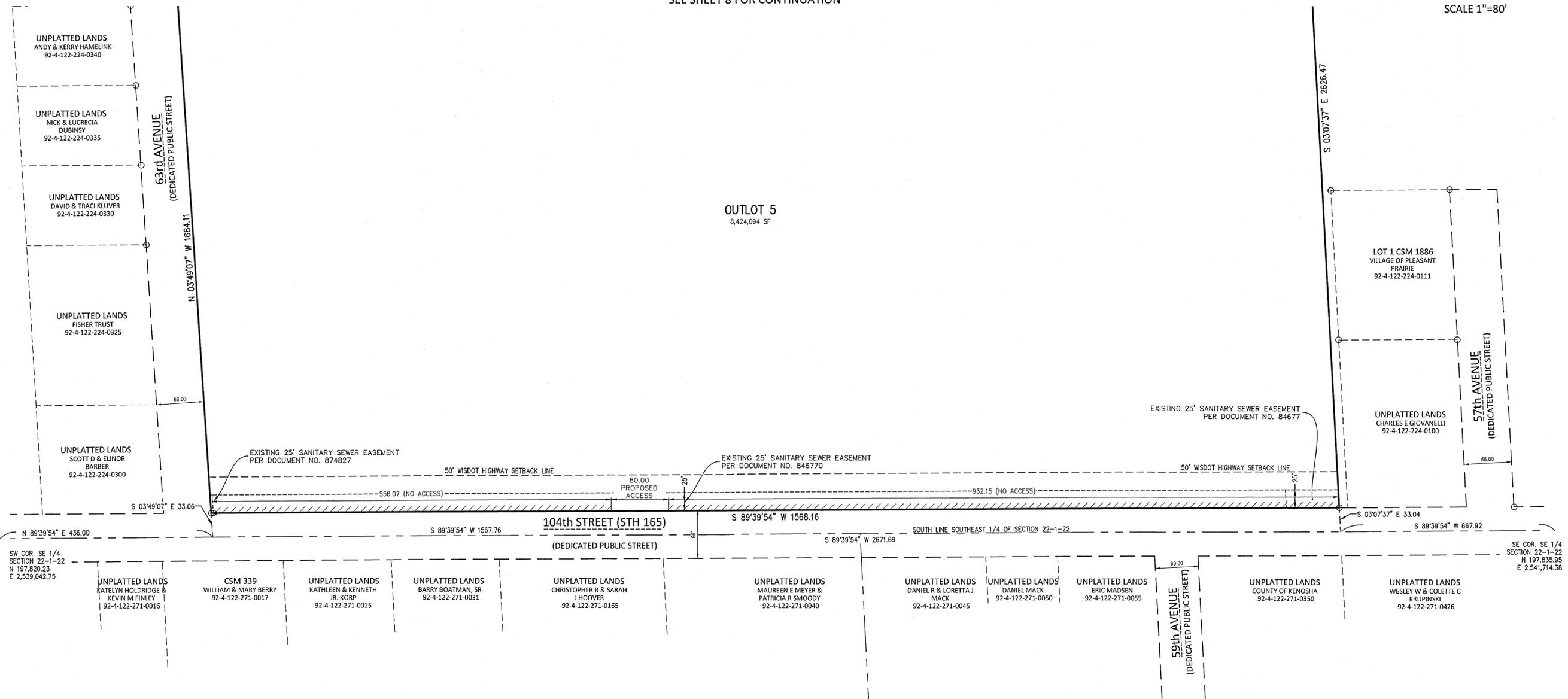
Plat 3017



80' 0' 80'

SCALE 1"=80'

SEE SHEET 8 FOR CONTINUATION



TRANS 233 LANGUAGE

Setback Note:
There shall be no Improvements or structures placed between the highway and the setback line without a Special Exception from the Department of Transportation. This shall be a restriction for the benefit of the public under §236.293, Stats., and shall be enforceable by the Department of Transportation.

Access Note:
§233.05(1) As owner I hereby restrict all lots and blocks ~~(except Lot Block)~~, in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with ~~(USH)~~ (STH) 165 or 104th St., as shown on the plat; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to §236.293, Stats., and shall be enforceable by the Department of Transportation.

Noise Note:
The lots of this land division may experience noise at the levels exceeding the levels in §Trans 405.04, Table I. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the Department to the highway's through-lane capacity.

Aaron Friess

