

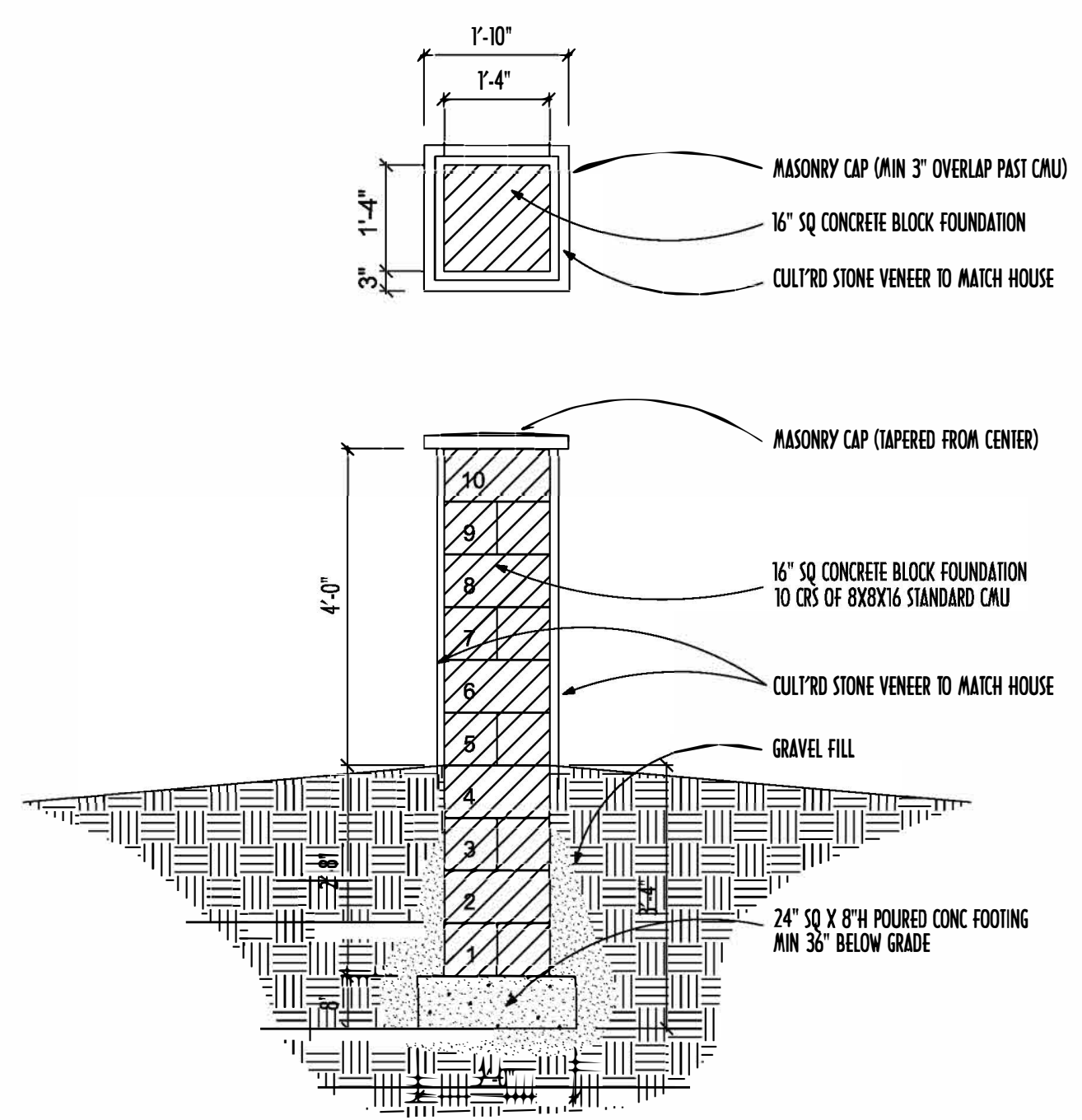
P&D Builders - Job # 1097



LEFT/FRONT ELEVATION (ON TARTAN RIDGE BLVD)
SCALE: 1/4" = 1'-0"



FRONT ELEVATION (ON TARTAN RIDGE COURT)
SCALE: 1/4" = 1'-0"

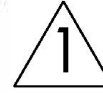


STONE PIER/COLUMN DETAILS
SCALE: 1/2" = 1'-0"

ARCHITECTURAL STYLE: MIDWESTERN VERNACULAR

- GUTTERS TO BE OGEE OR 1/2 ROUND
- PAINT COLORS TO BE FROM S.W. HISTORICAL PALETTE
- ROOF PENETRATIONS CANNOT OCCUR ON FRONT ELEVATION, AND MUST BE PAINTED TO MATCH ROOFING COLOR

ROOF SHINGLES TO BE CERTANTIZED LANDMARK 30YR DIMENSIONAL SHINGLES (COLOR PER AEC APPROVAL)



ELEVATIONS 1



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P&D JOB # 1097

DATE: 10/1/2014



Revisions		
Date:	By:	
12/19/13	03/20/14	HLB
12/20/13	03/25/14	HLB
01/10/14	4/16/14 cbs	HLB
01/16/14	5/28/14 permit resub	HLB
01/21/14		HLB
01/24/14		HLB
02/06/14		HLB
03/14/14		HLB

SCALE:
AS NOTED
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PAGE:
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AREA SCHEDULE	
NAME	AREA
FIRST FLOOR AREA	1,508 SQFT
SECOND FLOOR AREA	1,615 SQFT
FIN LWR LVL AREA	384 SQFT
SUBTOTAL	3,507 SQFT
OPT FIN BSMT AREA	650 SQFT
TOTAL AREA	4,157 SQFT





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AI

BD

BIA

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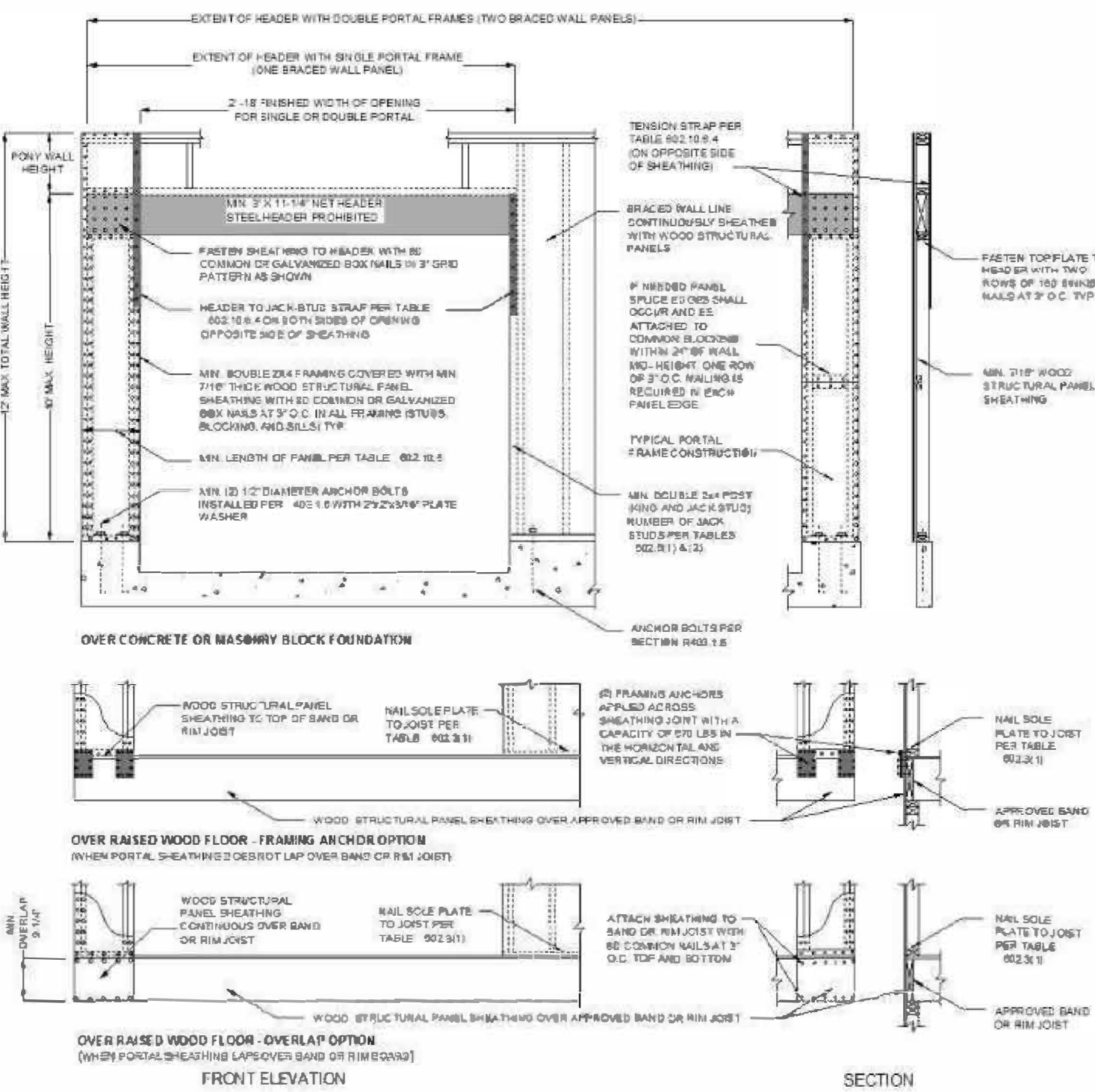
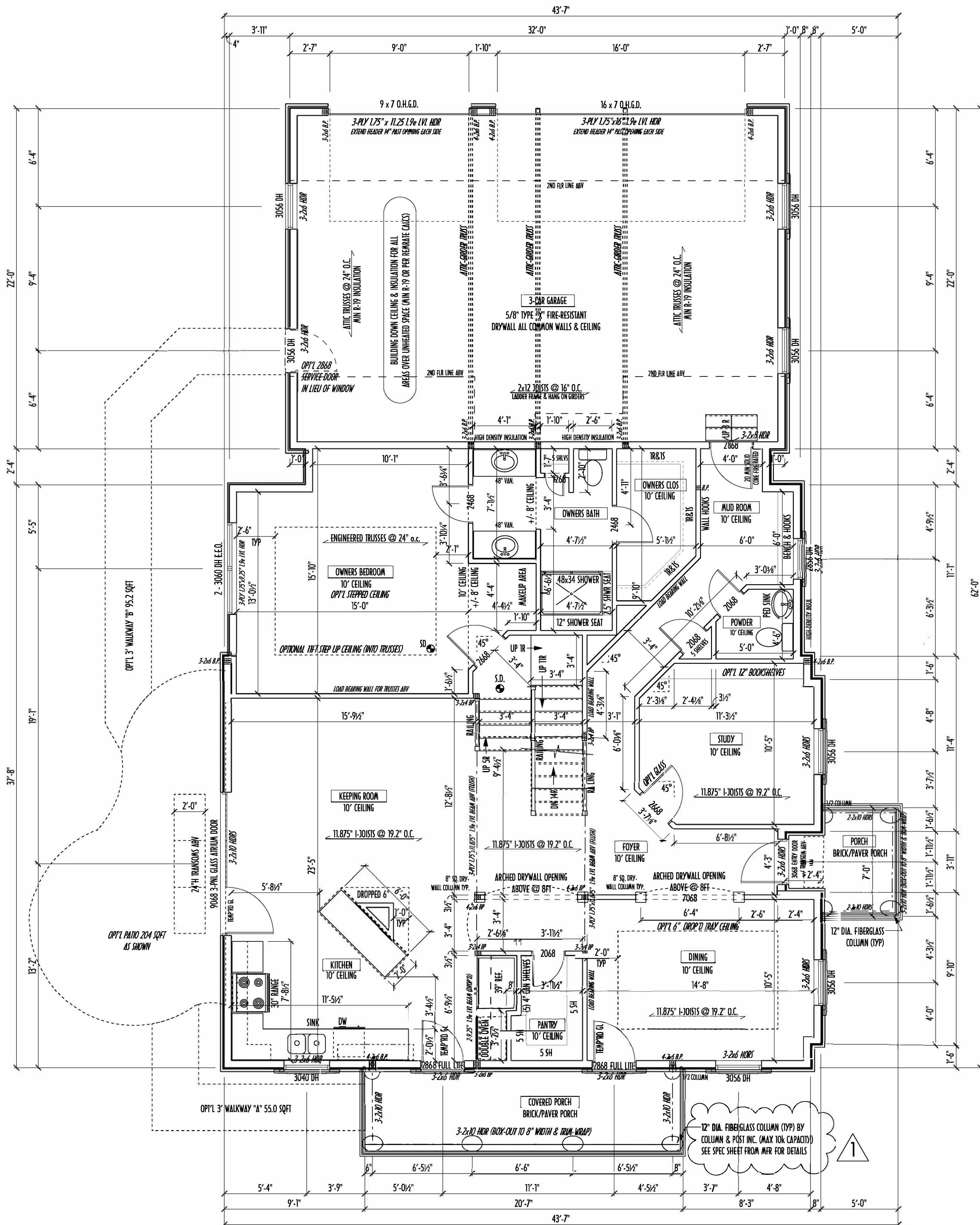
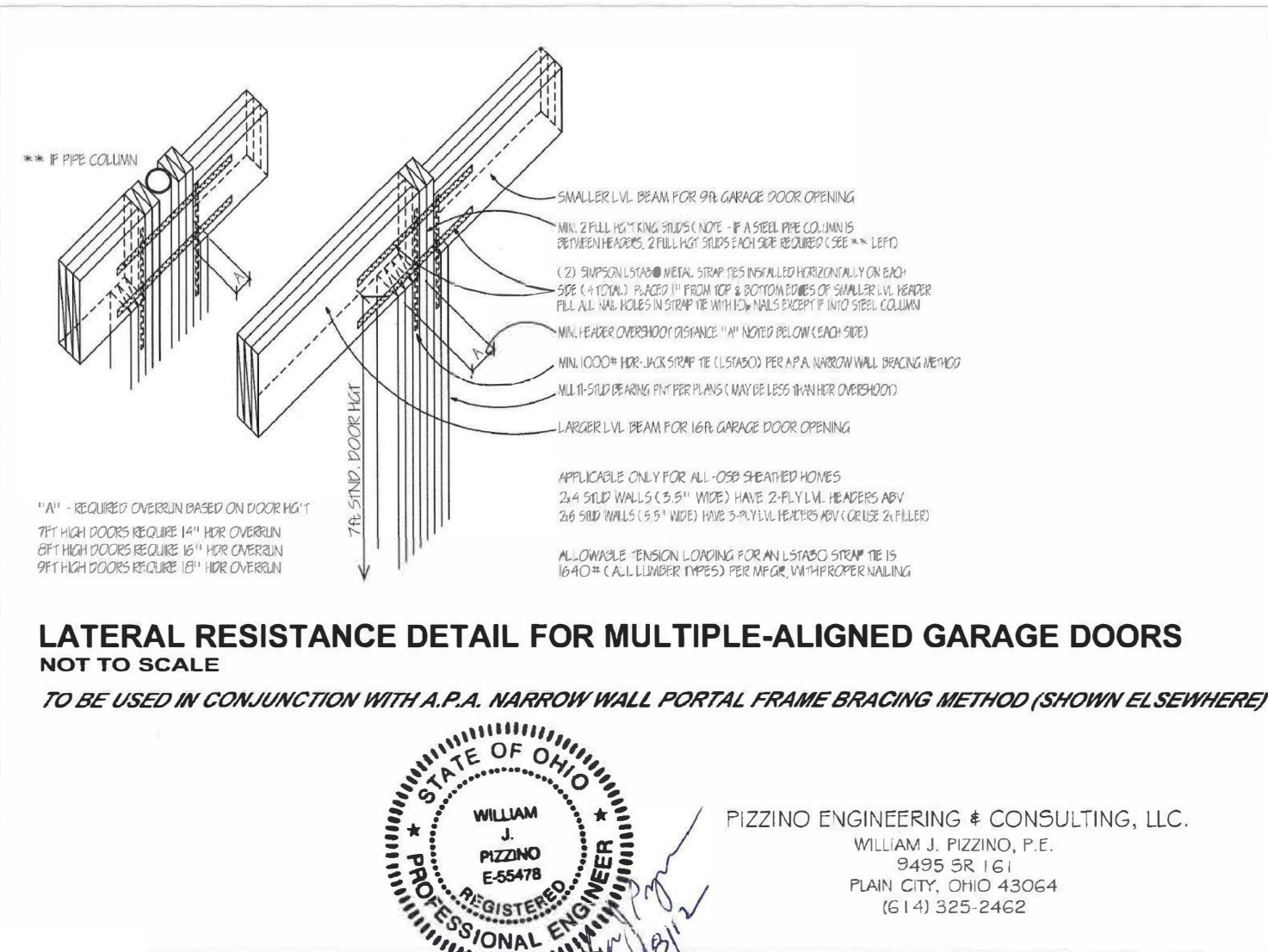


FIGURE 602.10.6.4
METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR CEILINGS AT 10'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOW HEADERS AT 7'-6" UNLESS NOTED OTHERWISE

CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDROOMS 30 PSF)

ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO CONFORM TO 2013 R.C.O. AND/OR APPLICABLE LOCAL CODES

WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HEIGHTS w/MANUFACTURER OR SUPPLIER
CONFIRM FLOORING & FINISH MATERIALS w/JOB SUPERVISOR (PER CONTRACT)

ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF WOOD FRAMING LENGTHS AND/OR FENESTRATION

AVOID FLOOR JOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS, PROVIDE SOLID BLOCKING BELOW BEARING POINTS (CRUSH ZONES) BRACE FLOOR JOISTS AT MIDSPAN PER CODE

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED

CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER AND ADJUST FRAMING DIMENSIONS AS NECESSARY

DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY

FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REA-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)

INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION

FINAL KITCHEN CABINET & APPLIANCE LAYOUT BY OTHERS. APPLIANCES PER SPECS.

KITCHEN HOOD TYPE	
CLASSIC SERIES	
DESIGNER SERIES	
CRAFTSMAN SERIES	
HERITAGE SERIES	
ESTATE SERIES	

FIRST FLOOR OPTIONS		
OPTION	YES	NO
OWNER'S BEDROOM, STEPPED CEILING		
STUDY BUILT-IN BOOKSHELVES		
DINING ROOM TRAY CEILING		
204 SQFT PATIO		
3" WALKWAY "A" 55.2 SQFT		
3" WALKWAY "B" 74.1 SQFT		

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FIRST FLOOR

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Revisions

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02/06/14	HLB
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SCALE:
1/4" = 1'-0"

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American Institute of Building Designers

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SECOND FLOOR CEILINGS AT 9'-1 1/8" ROUGH UNLESS NOTED OTHERWISE
SECOND FLOOR WINDOW HEADERS AT 7'-6" UNLESS NOTED OTHERWISE

EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O.C.) UNLESS NOTED OTHERWISE
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O.C.) UNLESS NOTED OTHERWISE

SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDROOMS 30 PSF)

WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED OTHERWISE

IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY
EGRESS REQUIREMENTS (MIN. 20" WIDE x 24" TALL & 5.7 SQFT.) PER R.C.O. 310

FOAM PLASTIC INSULATION SHALL BE INSTALLED PER RCD 314 & 315
(<75 PSR, <450 SDR PER ASTM E84)

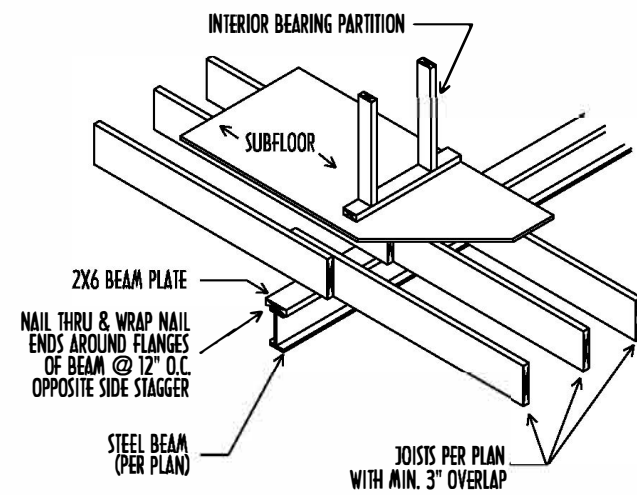
CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER
AND ADJUST FRAMING DIMENSIONS AS NECESSARY

DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS
OF LESS THAN 1/8" TYPICALLY

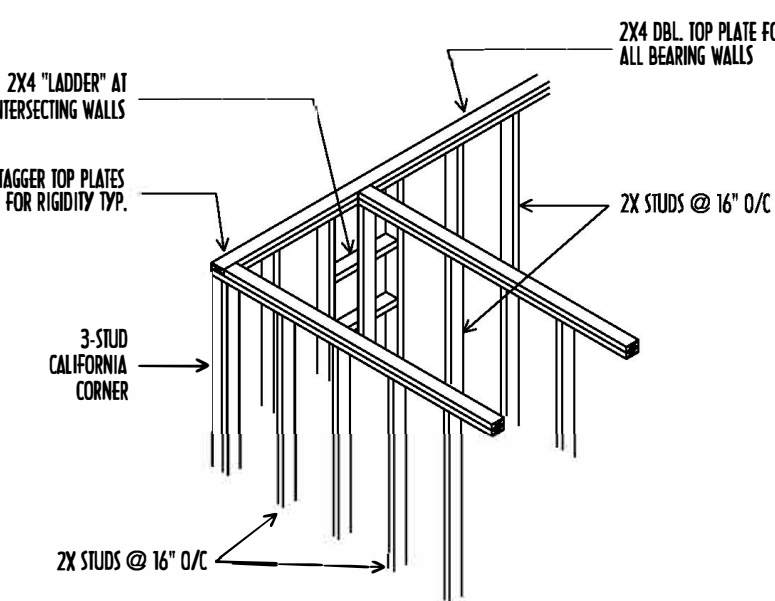
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH
R-VALUE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON
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INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION

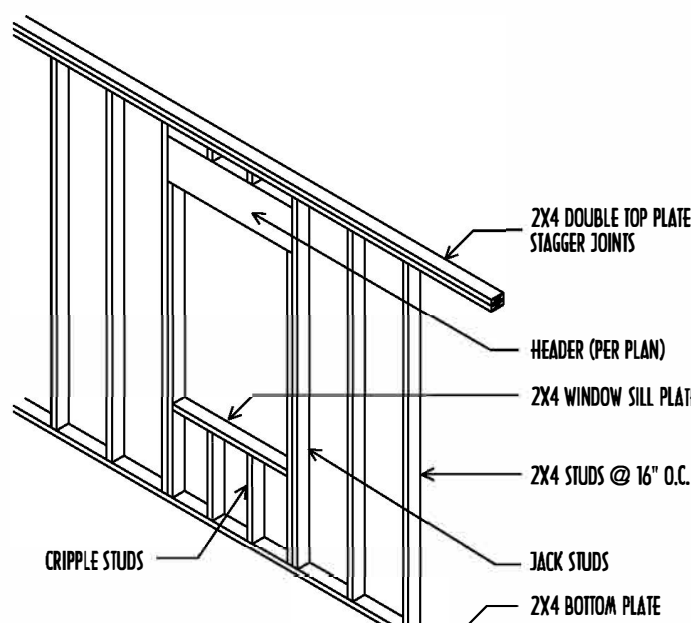
SECOND FLOOR OPTIONS		
OPTION	YES	NO
WALL CABINETS ABOVE WASHER/DRYER		
LAUNDRY TUB		



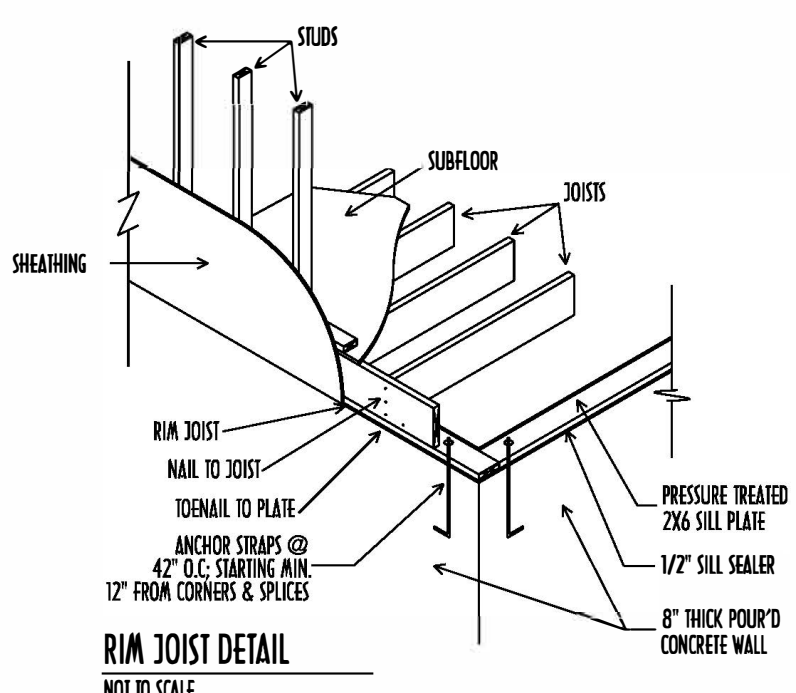
INTERIOR BEARING DETAIL
NOT TO SCALE



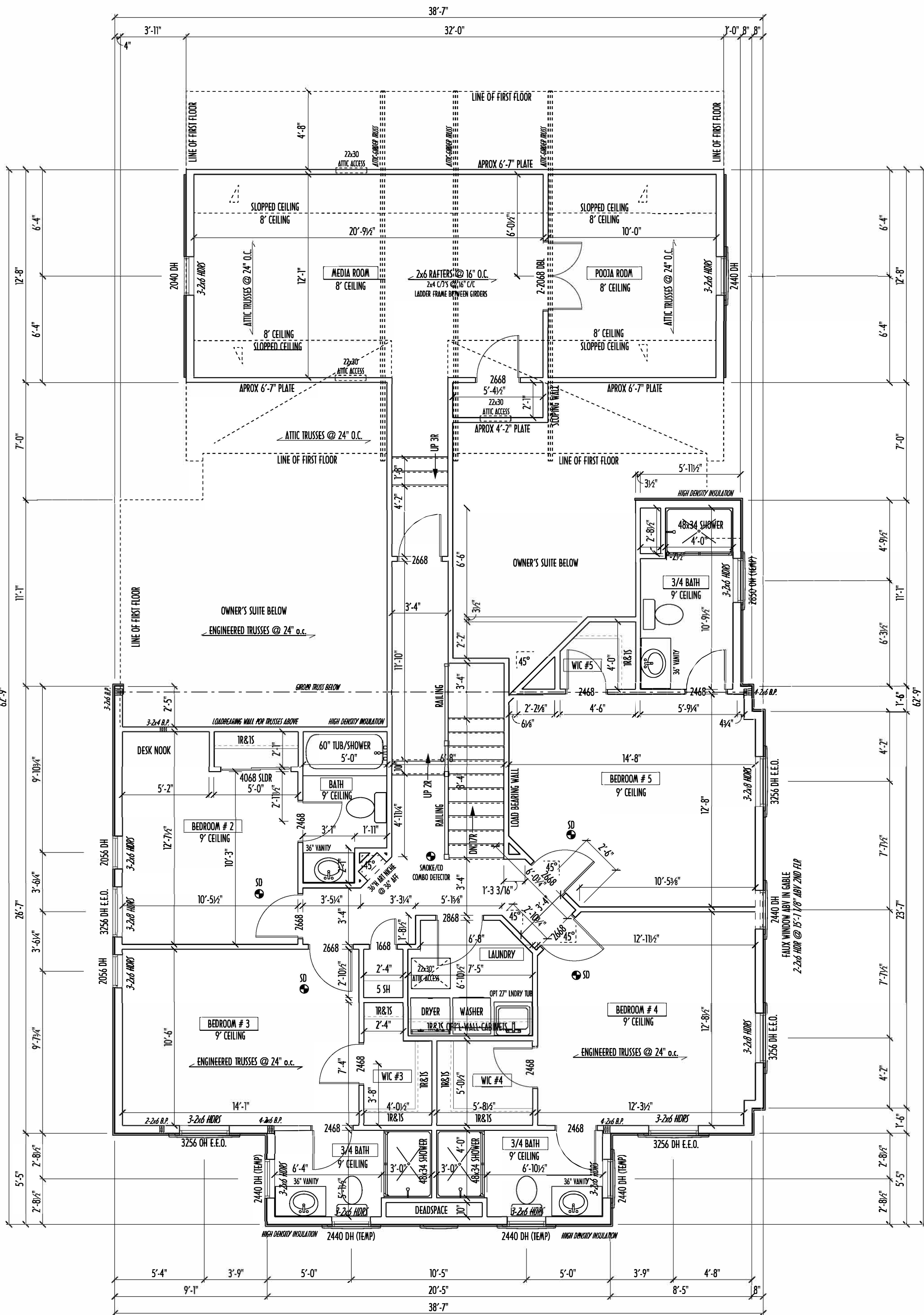
WALL INTERSECTIONS DETAIL
NOT TO SCALE



HEADER FRAMING EXAMPLE
NOT TO SCALE



RIM JOIST DETAIL
NOT TO SCALE



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
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SECOND FLOOR AREA	1,615 SQFT
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10/1/2016

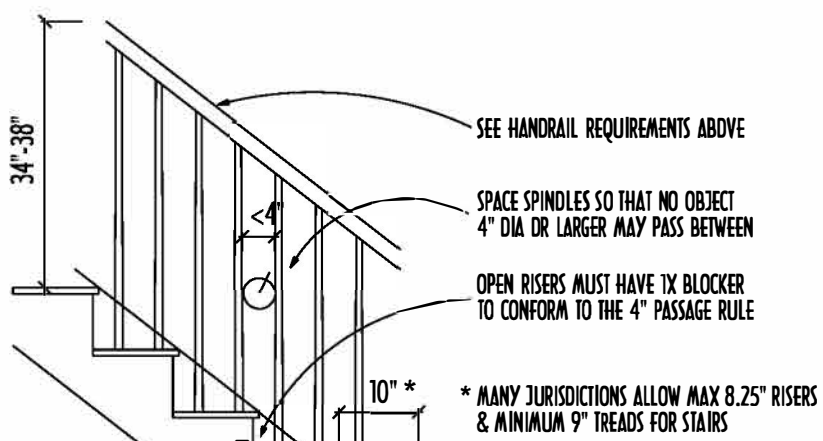
HANDRAIL GRIP REQUIREMENTS:

TYPE I
FOR CIRCULAR CROSS SECTIONS: MIN 1.25" DIAMETER & MAX 2" DIAMETER
NON-CIRCULAR CROSS SECTIONS: MIN PERIMETER 4" MAX 6.25", MAX CROSS SECTION 2.25"

TYPE II
FOR PERIMETERS GREATER THAN 6.25" PROVIDE GRACEABLE FINGER RECESSES EACH SIDE
BEGINNING 3/4" VERTICALLY FROM TALLEST POINT & RECESSES 5/8" DEEP WITHIN 7/8" OF WIDEST PART
AND CONTINUING MIN 3/8" TO A LEVEL NOT LESS THAN 1.75" FROM TALLEST PART
MIN WIDTH OF RAIL ABOVE RECESS IS 1.25" & MAX 2.75". MAX EDGE RADIUS 0.07"

HANDRAILS ARE TO BE CONTINUOUS FOR FULL LENGTH OF FLIGHT, FROM A
POINT DIRECTLY ABOVE THE TOP RISER TO A POINT DIRECTLY ABOVE THE LOWEST
RISER, AND TERMINATE INTO A NEWELL POST OR BE RETURNED INTO WALL

MIN. 1.5" SPACE REQUIRED BETWEEN HANDRAILS AND ADJACENT WALLS



APPLIES WHERE TOTAL RISE
IS 30" OR MORE IN HEIGHT

MINIMUM CLEAR WIDTH BETWEEN STAIR WALLS IS 36" (37" FRAMING + DRYWALL)

MINIMUM CLEAR WITH BETWEEN HANDRAILS IS 27" IF TWO RAILS, OR 31.5" IF ONE RAIL

RISER HEIGHTS MAY NOT VARY MORE THAN 3/8" BETWEEN TALLEST & SHORTEST

HEADROOM CLEARANCE MINIMUM 6'-8" (MEASURED VERTICALLY FROM NOSING)

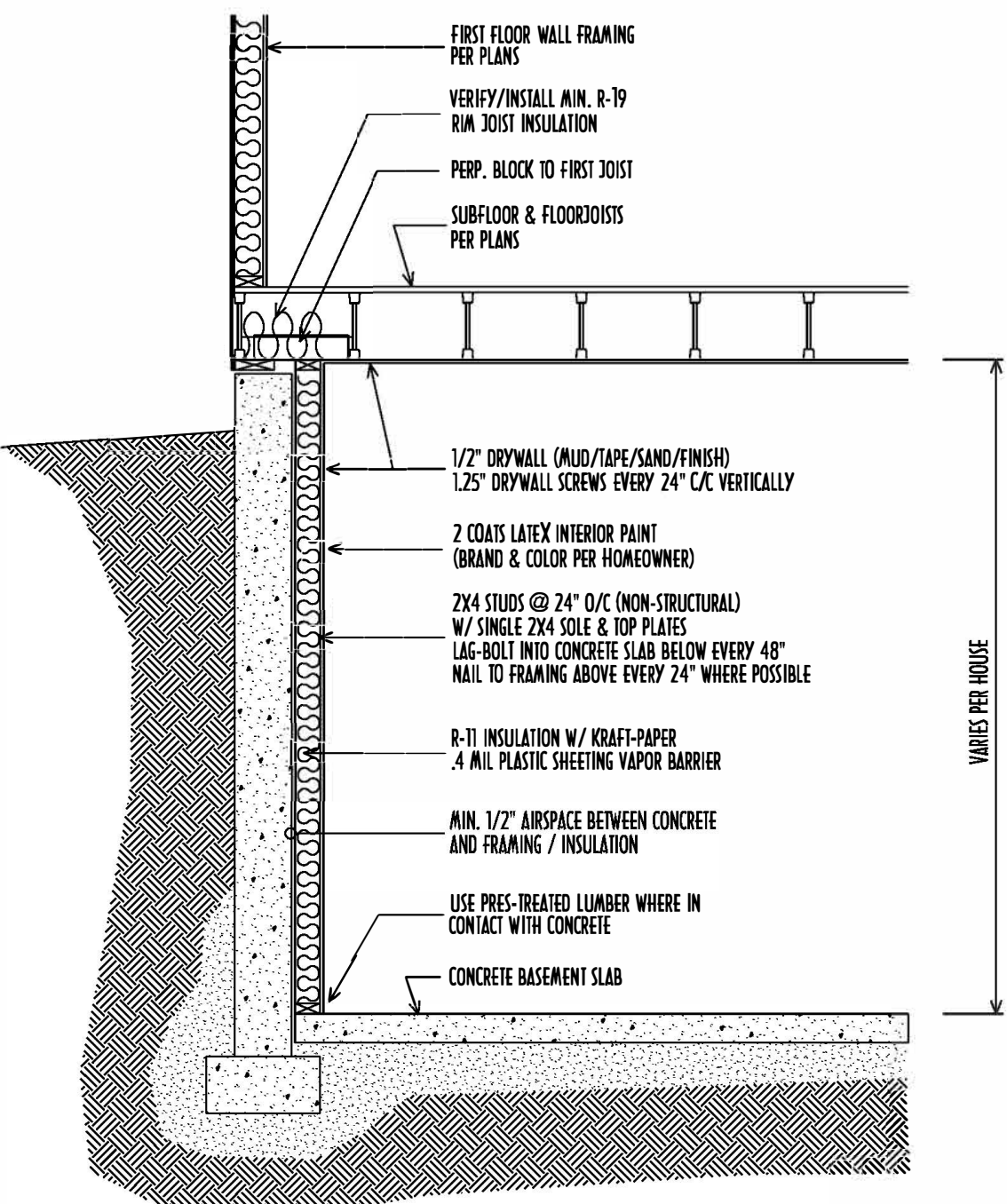
LANDINGS OR FLOORS ARE REQUIRED AT TOP & BOTTOM OF ALL STAIR FLIGHTS

THE MINIMUM WIDTH/DEPTH OF LANDINGS NOT LESS THAN 36" (OR = STAIR WIDTH)

EXCEPTION: INTERIOR & ENCLOSED GARAGE STAIRS AS LONG AS NO DOOR SWINGS OUT OVER STAIRS

STAIR CODE DETAILS

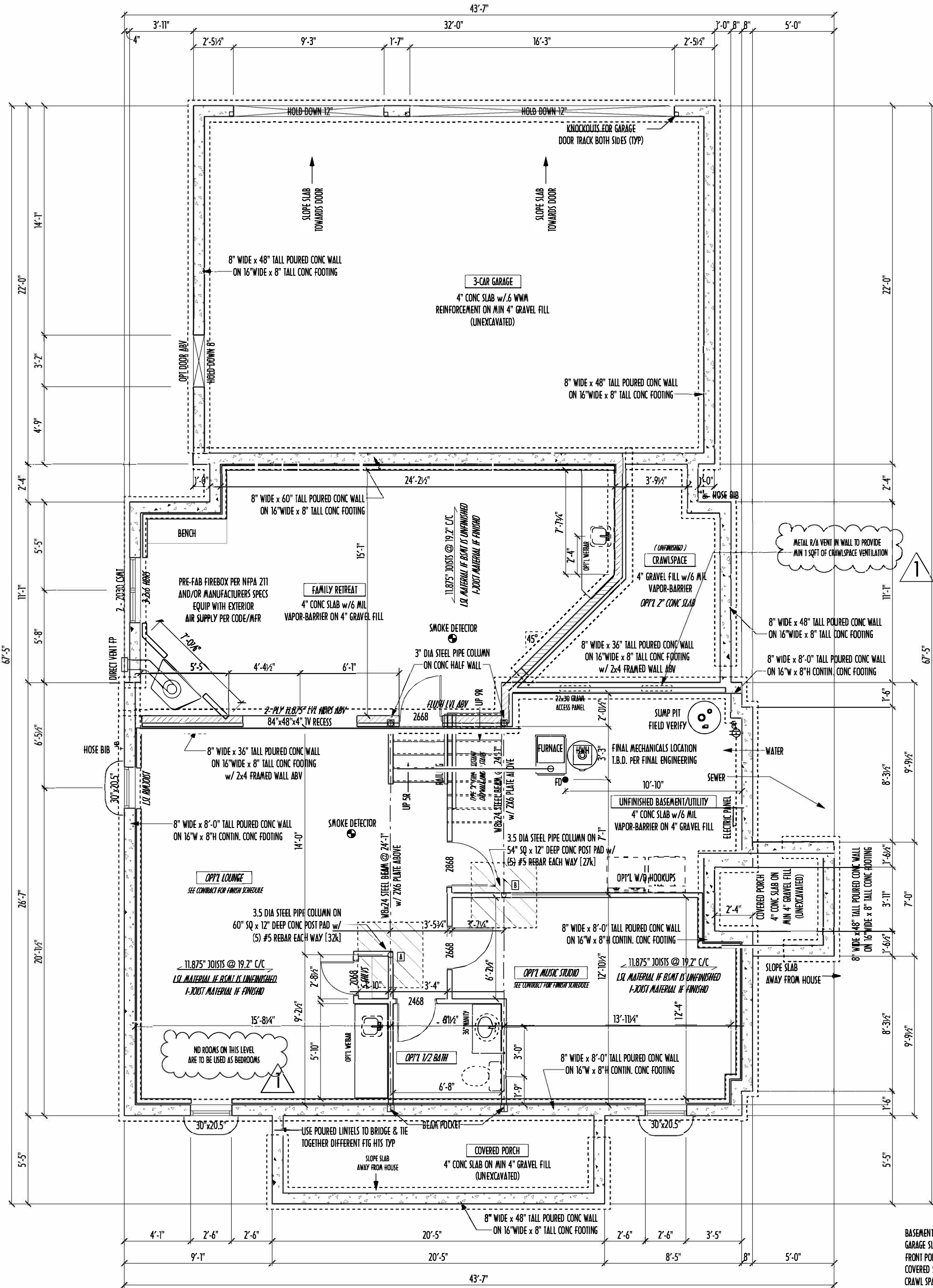
SCALE : 1/2" = 1'-0"



OPT. FINISHED BASEMENT WALL DETAIL

SCALE : 1/2" = 1'-0"

SEE BUILDER'S SPECS & APPROVED PERMITS FOR CHANGES



FOUNDATION / BASEMENT PLAN

SCALE: 1/4" = 1'-0"

STEP DOWN FOOTING AS NECESSARY
TO REMAIN MIN. 36" BELOW GRADE

USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE
EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE

FOUNDATION WALL ENGINEERING & REINFORCEMENT
PER SHEPHERD EXCAVATING DESIGN-DETAIL RC-16

FINAL/INSTALLED INSULATION VALUES SHOULD MATCH
REIN-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN
ON THESE PLANS ARE PRELIMINARY / REFERENCE ONLY)

INSTALL ALL LVL & LSL BEAMS WITH
LABELS VISIBLE FOR BLDG INSPECTION

MAX. UNBALANCED FILL FOR 8" THICK POURED CONC. WALL
OR C.M.U. BLOCK WALL = 7'-0" ABOVE SLAB

WATERPROOFING / DAMPROOFING PER CODE

ALL STRUCTURAL LUMBER IS MIN. CANADIAN SPECIES
#2 SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE

CONTRACTORS SITE VERIFY ALL DIMENSION AND REPORT
ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF

BASEMENT ELECTRICAL LAYOUT FOR REFERENCE ONLY - CONSULT WITH
HOMEOWNER PRIOR TO INSTALLATION FOR EXACT LOCATIONS

ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO
CONFORM TO 2006 IBC AND APPLICABLE LOCAL CODES

GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY FOR PROPER DRAINAGE

AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS AND TRAPS

BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES) WITH APPROPRIATE 2X FILL

JOISTS DESIGNED & ENGINEERED BY MANUFACTURER OR USE SPAN TABLES FROM LUMBER SUPPLIER

SEE COVER SHEET FOR GENERAL FOUNDATION NOTES

FOUNDATION OPTIONS

OPTION	YES	NO	ROUGH-IN
CONC SLAB IN CRAWL SPACE			
FAMILY RETREAT WETBAR			
LOUNGE			
LOUNGE WETBAR			
1/2 BATH			
MUSIC ROOM			
WASHER/DRYER HOOKUPS			

PROVIDE RADON ABATEMENT PER
R.C.D. APPENDIX F-DOUBLIN



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