

4839736
REGISTER OF DEEDS
WAUKESHA COUNTY, WI
RECORDED ON
October 01, 2025 02:55 PM
James R. Behrend
Register of Deeds
12 PGS
TOTAL FEE: \$50.00
TRNS FEE: \$0.00
Book 56 Page 191-202

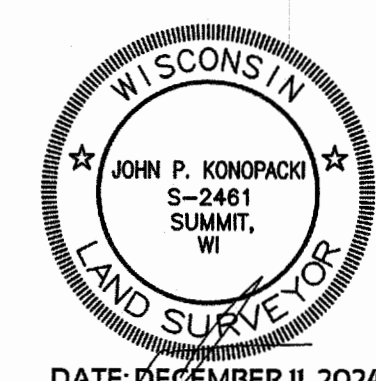
- NOTES:
1. SEE ISLAND DETAILS ON SHEET 4.
 2. SEE PRIVATE PEDESTRIAN AND BICYCLE PATH EASEMENT DETAIL ON SHEET 6.
 3. SEE GAS, SANITARY SEWER AND WATER MAIN EASEMENTS ON SHEET 7.
 4. SEE STORM WATER POND ACCESS AND DRAINAGE EASEMENTS ON SHEETS 8, 9 AND 10.
 5. SEE CURVE AND LINE TABLES ON SHEET 11.
 6. SEE ADDITIONAL NOTES ON SHEET 12.

- LEGEND:
- - Denotes Found 1" Iron Pipe
 - - Denotes Found 3/4" Iron Rod
 - - Denotes Set 1-1/4" X 18" Iron Rebar, 4.3 LBS./FT.
 - SF - Denotes lot areas to the nearest square foot.
 - ||||| - No Access
- All other corners set are 3/4" x 18" Iron Rebar, 15 LBS./FT.
- All distances computed to the nearest 0.01'
- All angles computed to the nearest 00°00'00.00" and measured to the nearest 00°00'01"

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified September 29, 2025

John P. Konopacki
Department of Administration



DATE: DECEMBER 11, 2024
REVISED: MARCH 4, 2025
REVISED: APRIL 15, 2025
REVISED: MAY 7, 2025
REVISED: AUGUST 19, 2025
REVISED: AUGUST 28, 2025

PEC JOB#1467.00-WI
SHEET 1 OF 12

TALBOT'S WOODS

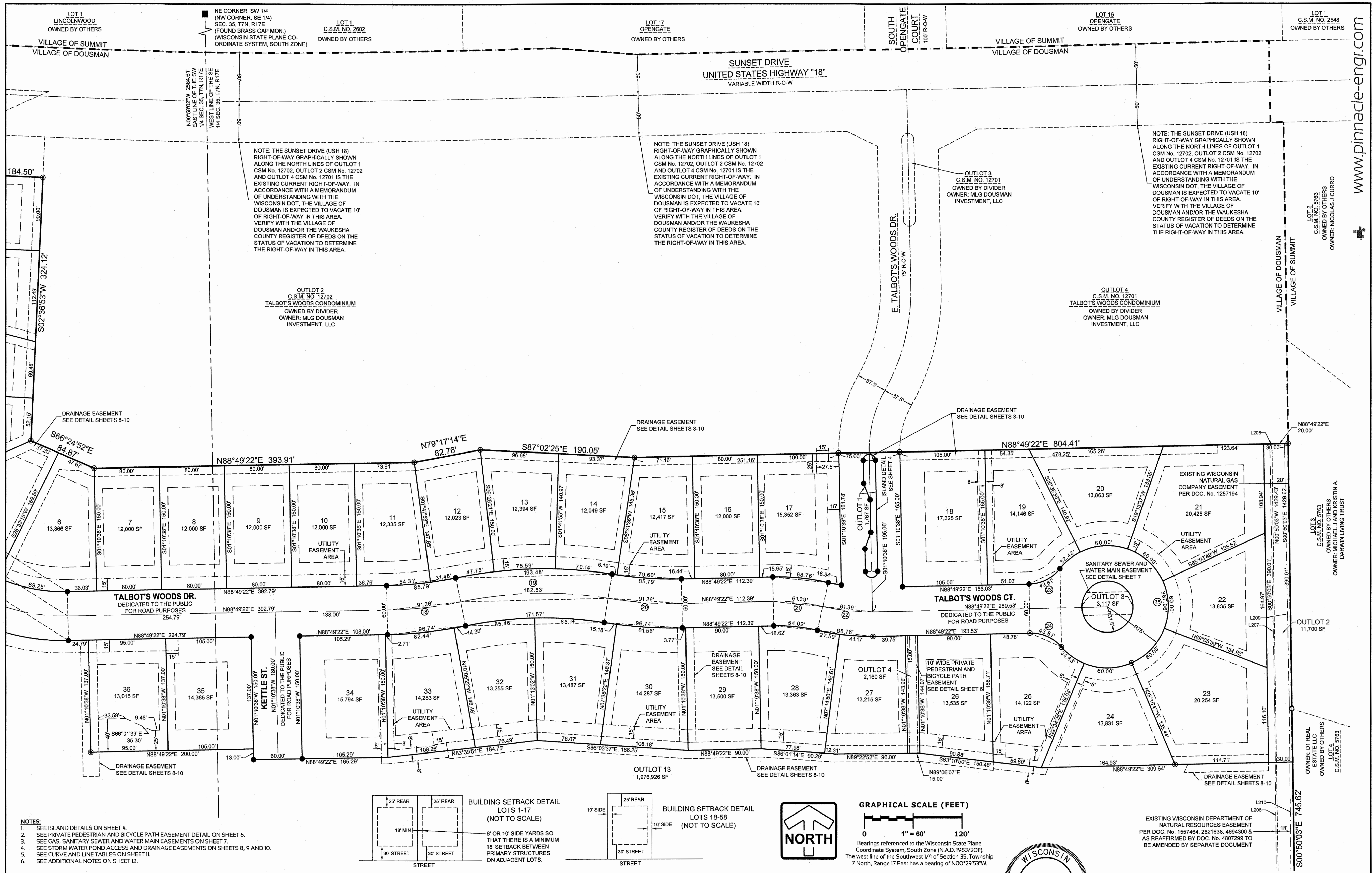
BEING ALL OF OUTLOT 3 OF C.S.M. No. 12702, LOCATED IN THE NE 1/4 AND NW 1/4 OF THE NE 1/4 AND THE NE 1/4 AND NW 1/4 OF THE NW 1/4 OF SEC. 2, T6N, R17E, AND THE SE 1/4 AND SW 1/4 OF THE SE 1/4 AND THE SE 1/4 AND SW 1/4 OF THE SW 1/4 OF SEC. 35, T7N, R17E, VILLAGE OF DOUSMAN, WAUKESHA COUNTY, WISCONSIN

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888
WWW.PINNACLE-ENGR.COM

Owner/Developer
MLG Dousman Investment LLC
Attn: Joseph Butkovich
19000 W. Bluemound Road
Brookfield, WI 53045
PH: 262-424-5997

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP



NOTES:

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TALBOT'S WOODS
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LEGEND:

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- Denotes lot area to the nearest square foot.
- No Access

All other corners set are 3/4" x 18" Iron Rebar, 1.5 LBS./FT.
All distances computed to the nearest 0.01'
All angles computed to the nearest 00°00'00.00" and measured to the nearest 00°00'00"

GRAPHICAL SCALE (FEET)

0 1" = 60' 120'

Bearings referenced to the Wisconsin State Plane Coordinate System, South Zone (N.A.D. 1983/2011).
The west line of the Southwest 1/4 of Section 35, Township 7 North, Range 17 East has a bearing of N00°29'53"W.

EXISTING WISCONSIN DEPARTMENT OF NATURAL RESOURCES EASEMENT
PER DOC. No. 1557464, 2821638, 4694300 & AS REAFFIRMED BY DOC. No. 4807299 TO BE AMENDED BY SEPARATE DOCUMENT

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified September 29, 2025

Don Jime
Department of Administration

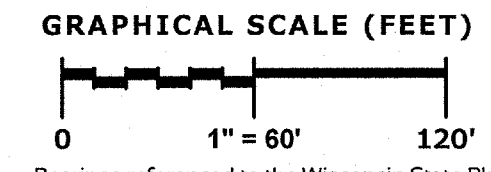
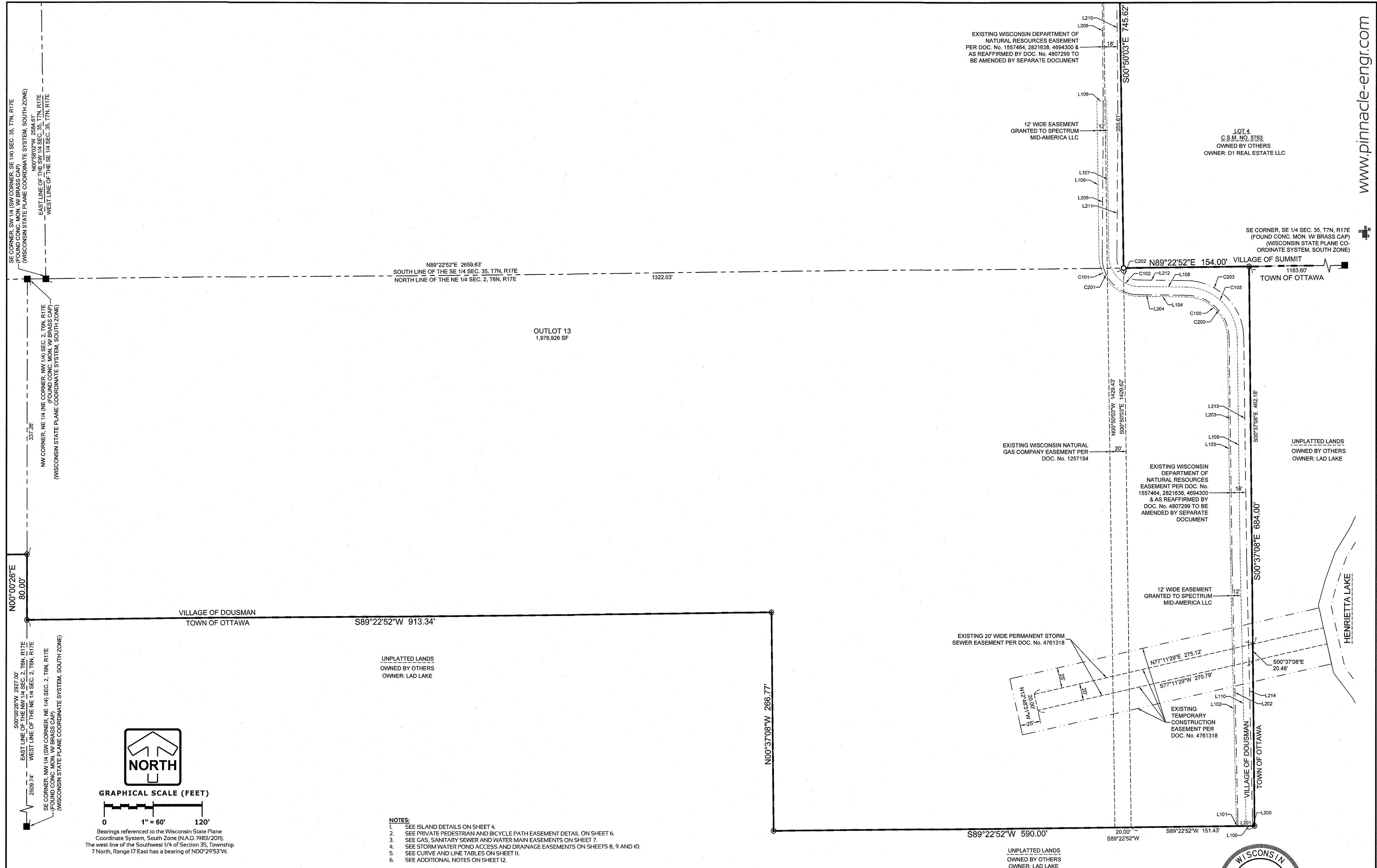
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REVISED: AUGUST 28, 2025

OWNER: D1 REAL ESTATE LLC
OWNED BY OTHERS
C.S.M. NO. 5763
LOT 4
C.S.M. NO. 5763

OWNER: NICOLAS J. CURRO
OWNED BY OTHERS
C.S.M. NO. 5763
LOT 2
C.S.M. NO. 5763

OWNER: DARWIN LIVING TRUST
OWNED BY OTHERS
C.S.M. NO. 5763
LOT 3
C.S.M. NO. 5763

www.pinnacle-engr.com



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20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888
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Owner/Developer
MLG Dousman Investment LLC.
Attn: Joseph Bukovich
19000 W. Bluemound Road
Brookfield, WI 53045
PH: 262-424-5997

TALBOT'S WOODS

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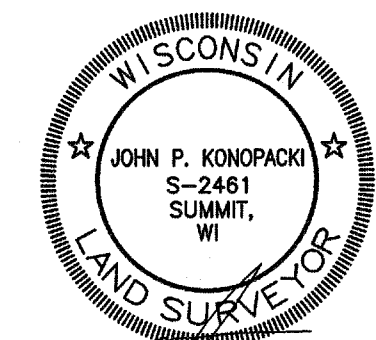
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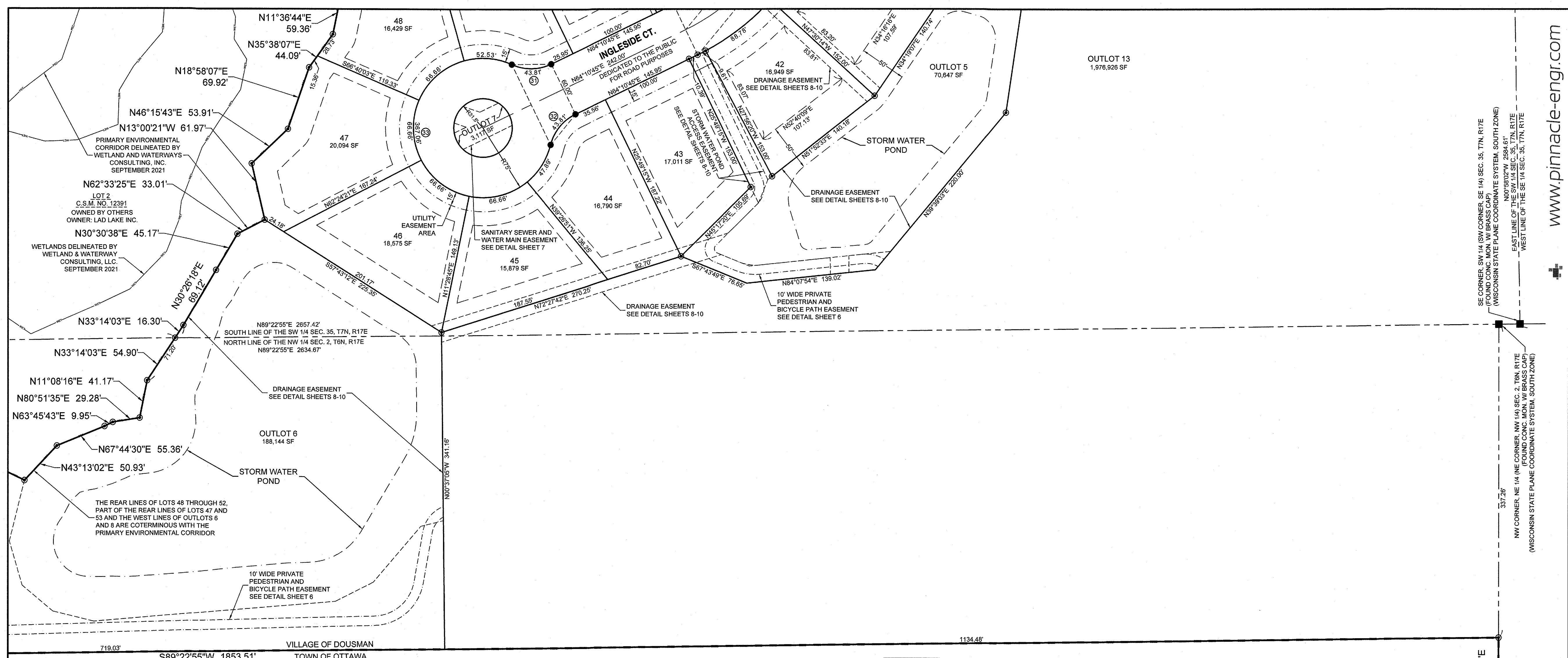
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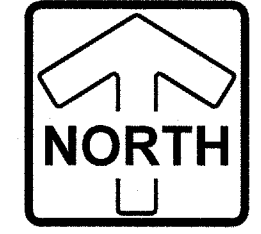


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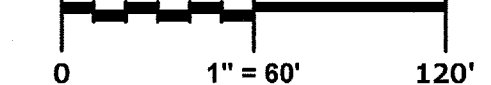


UNPLATTED LANDS
OWNED BY OTHERS
OWNER: LEE M BLEECKER

- NOTES:
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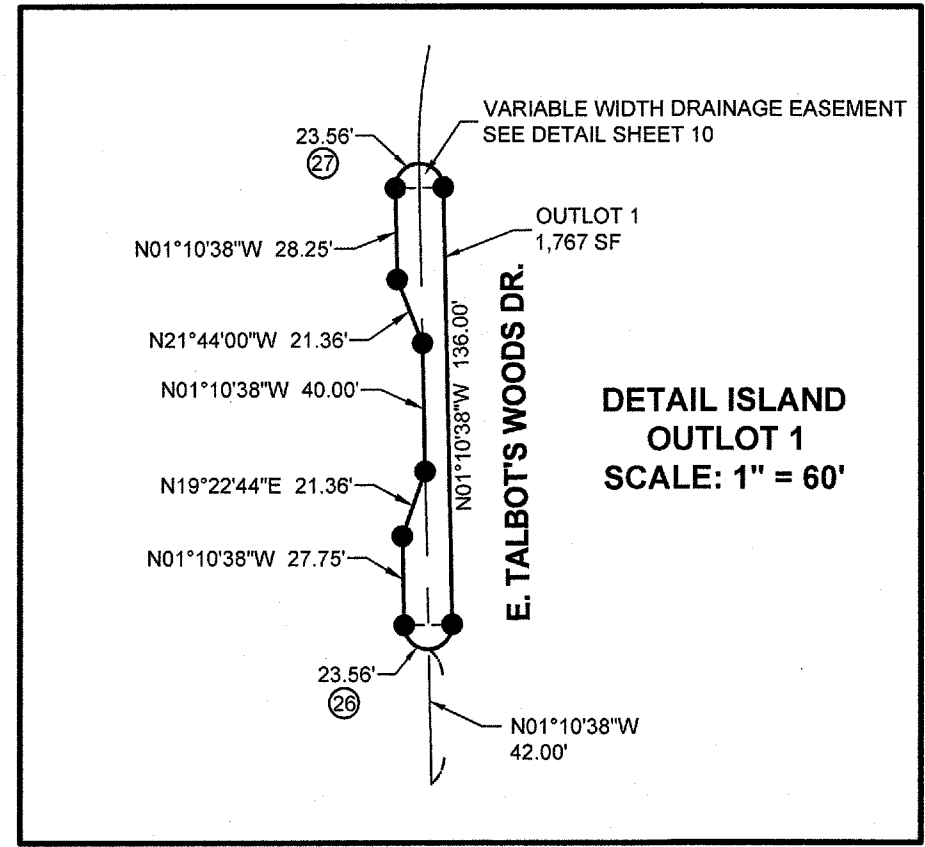
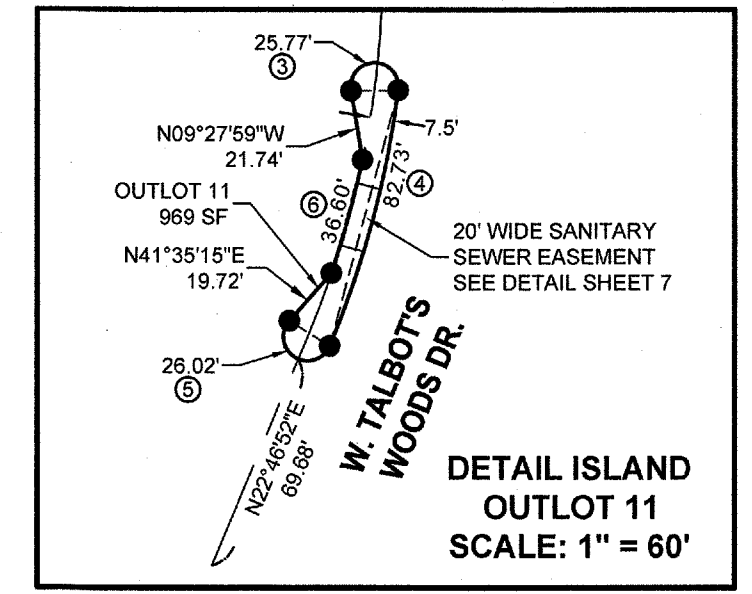
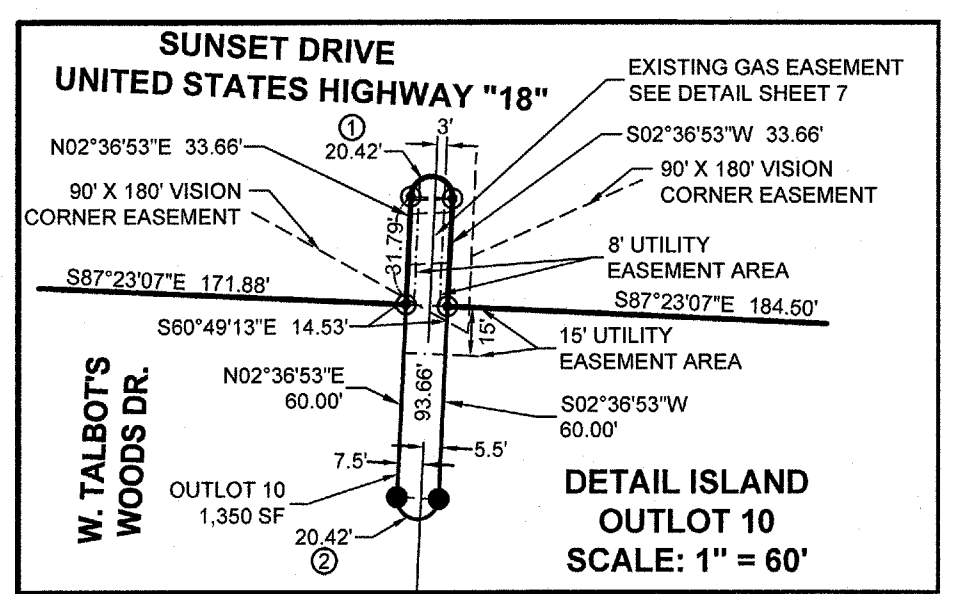
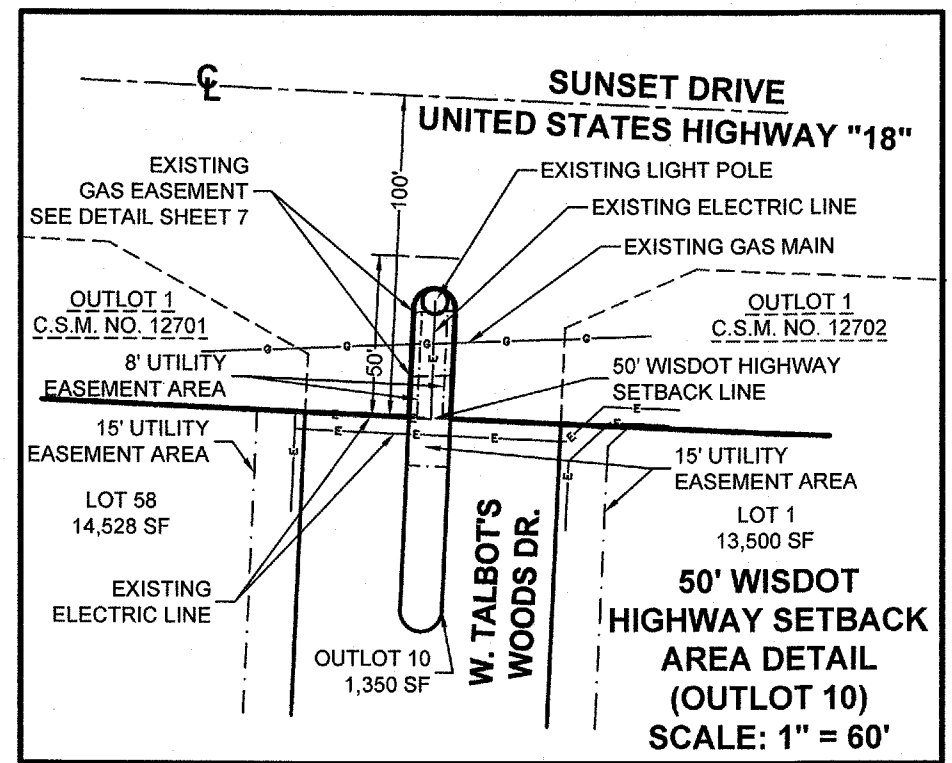
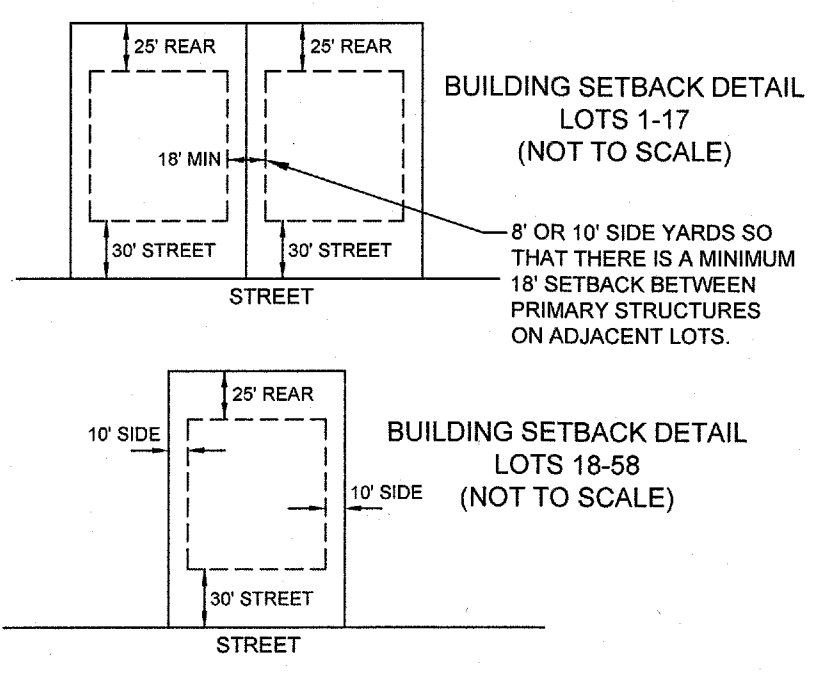


GRAPHICAL SCALE (FEET)



Bearings referenced to the Wisconsin State Plane
Coordinate System, South Zone (N.A.D. 1983/2011).
The west line of the Southwest 1/4 of Section 35, Township
7 North, Range 17 East has a bearing of N00°29'53"W.

UNPLATTED LANDS
OWNED BY OTHERS
OWNER: LEE M BLEECKER



Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888
WWW.PINNACLE-ENGR.COM

Owner/Developer
MLG Dousman Investment LLC.
Attn: Joseph Bukovich
19000 W. Bluemound Road
Brookfield, WI 53045
PH: 262-424-5997

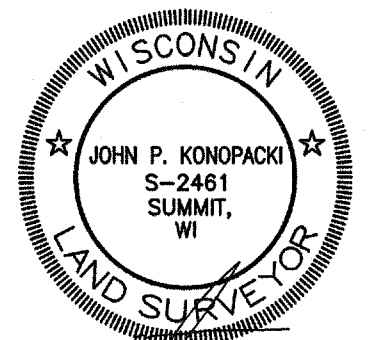
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VILLAGE OF DOUSMAN, WAUKESHA COUNTY, WISCONSIN

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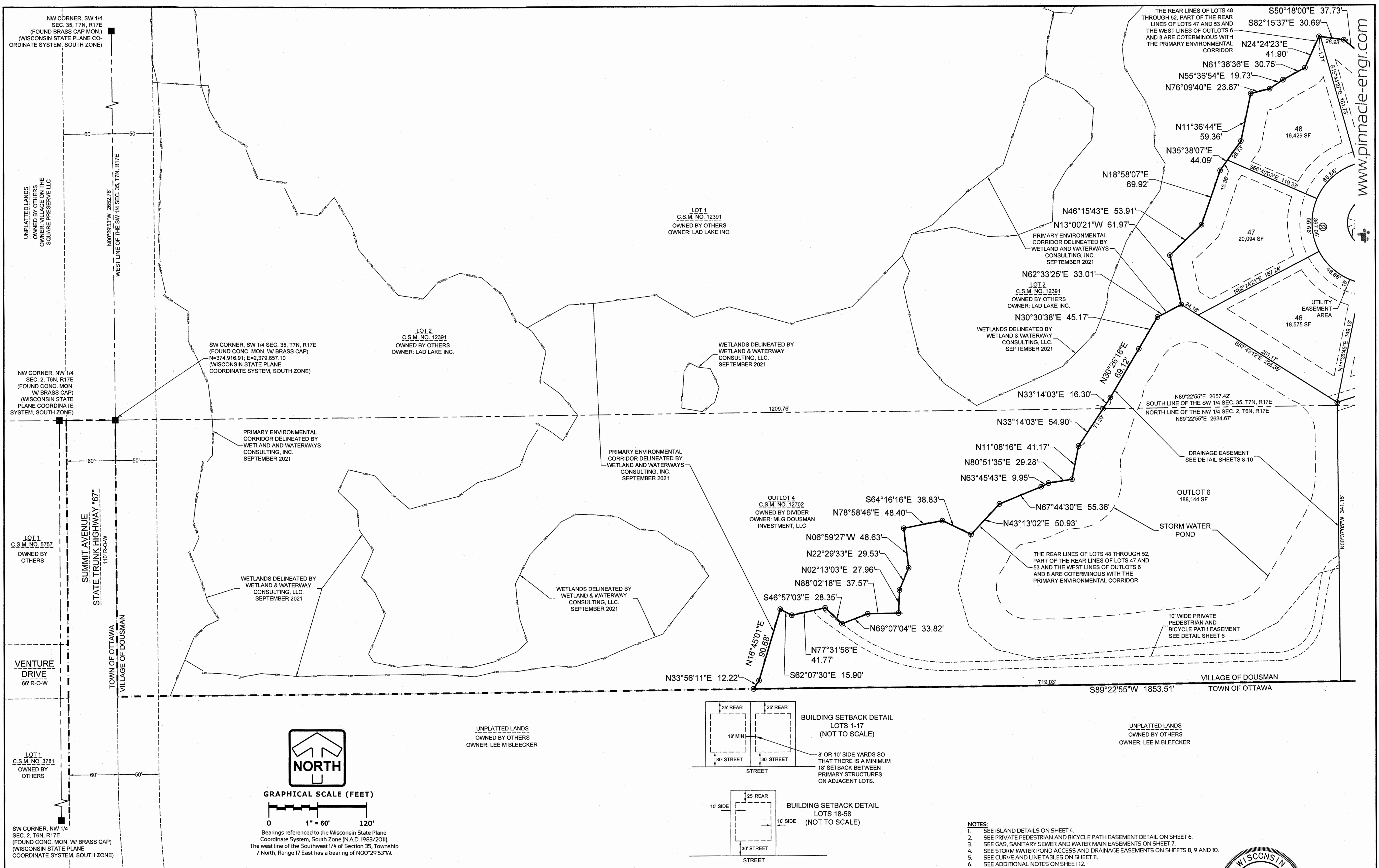
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Stats. as provided by s. 236.12, Wis. Stats.

Certified September 29, 2025

Don Sims
Department of Administration



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Owner/Developer
MLG Dousman Investment LLC.
Attn: Joseph Bukovich
19000 W. Bluemound Road
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PH: 262-424-5997

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP

TALBOT'S WOODS

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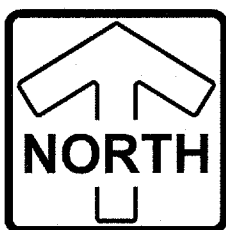
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Don Jime
Department of Administration

WISCONSIN
JOHN P. KONOPACKI
S-2461
SUMMIT,
WI
LAND SURVEYOR

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PEG JOB#1467.00-WI
SHEET 5 OF 12



GRAPHICAL SCALE (FEET)

0 1" = 60' 120'

Bearings referenced to the Wisconsin State Plane
Coordinate System, South Zone (NAD 1983/2011).
The west line of the Southwest 1/4 of Section 35, Township
7 North, Range 17 East has a bearing of N00°29'53"W.

10' WIDE PRIVATE PEDESTRIAN AND BICYCLE PATH EASEMENT DETAIL

LOT 1
C.S.M. NO. 12391
OWNED BY OTHERS
OWNER: LAD LAKE INC.

LOT 2
C.S.M. NO. 12391
OWNED BY OTHERS
OWNER: LAD LAKE INC.

OUTLOT 4
C.S.M. NO. 12702
OWNED BY DIVIDER
OWNER: MLG DOUSMAN
INVESTMENT, LLC

OUTLOT 6
188,144 SF

10' WIDE PRIVATE PEDESTRIAN AND BICYCLE
PATH EASEMENT GRANTED TO THE TALBOT'S
WOODS HOMEOWNERS ASSOCIATION, INC
AND THE VILLAGE OF DOUSMAN

10' WIDE PRIVATE PEDESTRIAN AND BICYCLE
PATH EASEMENT GRANTED TO THE TALBOT'S
WOODS HOMEOWNERS ASSOCIATION, INC
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UNPLATTED LANDS
OWNED BY OTHERS
OWNER: LEE M BLEECKER

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TALBOT'S WOODS

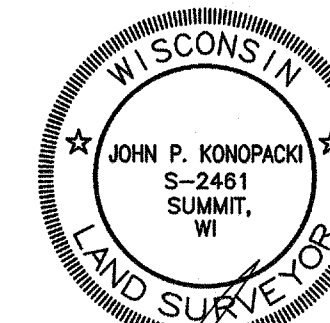
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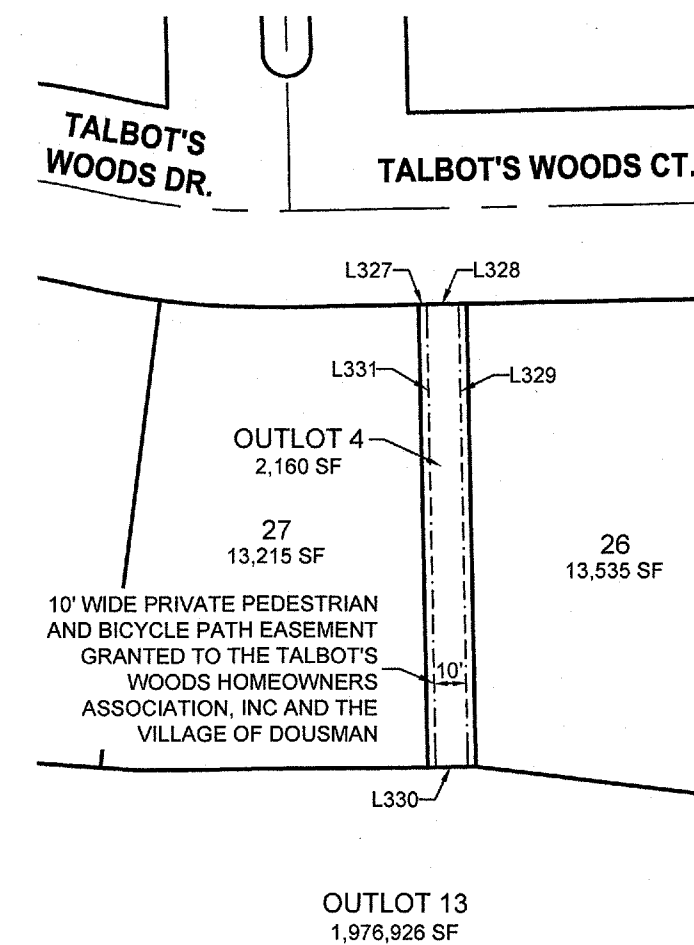
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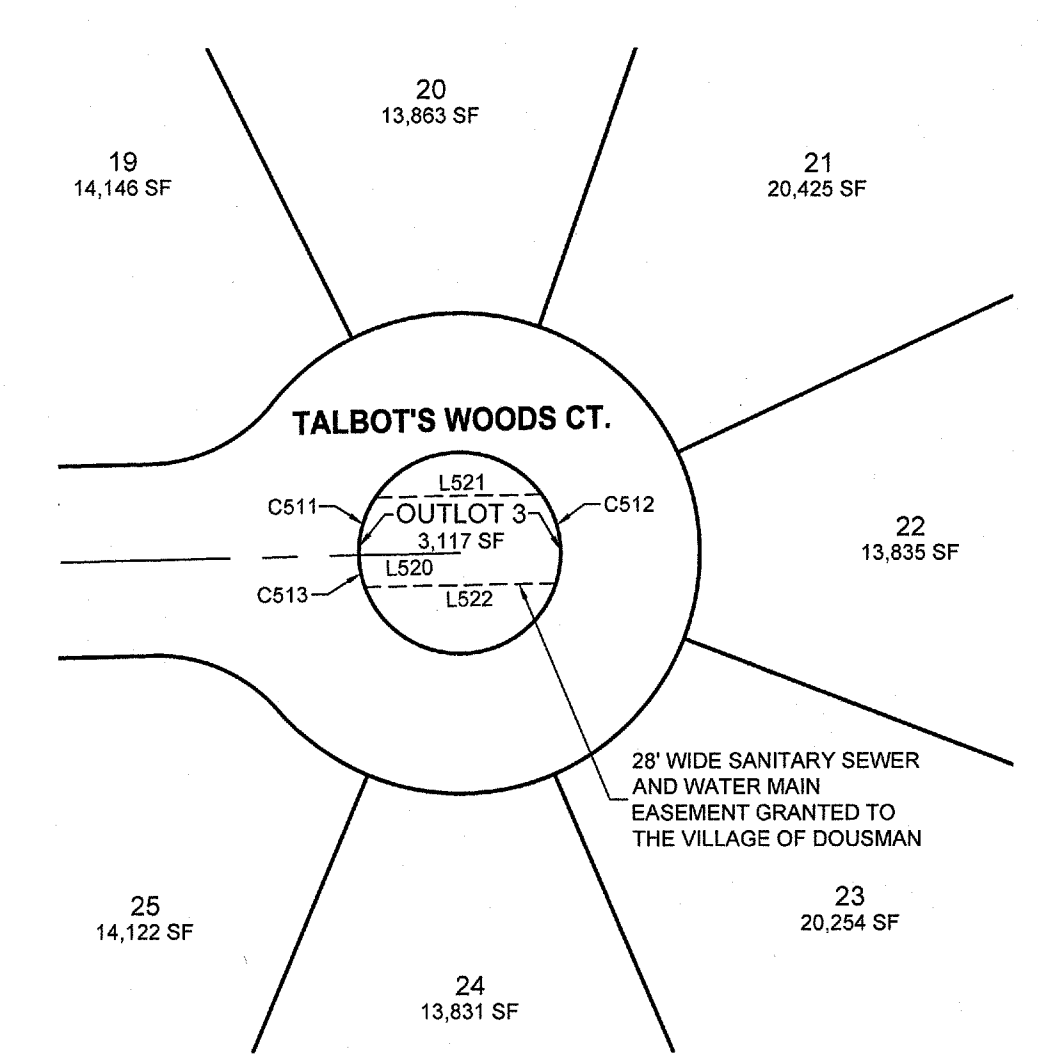
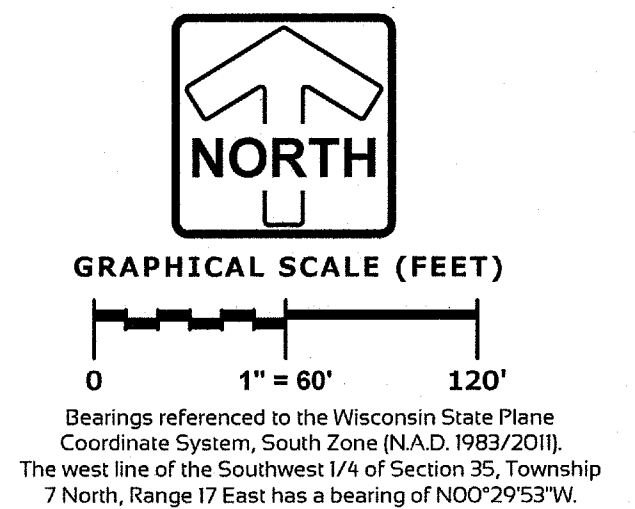
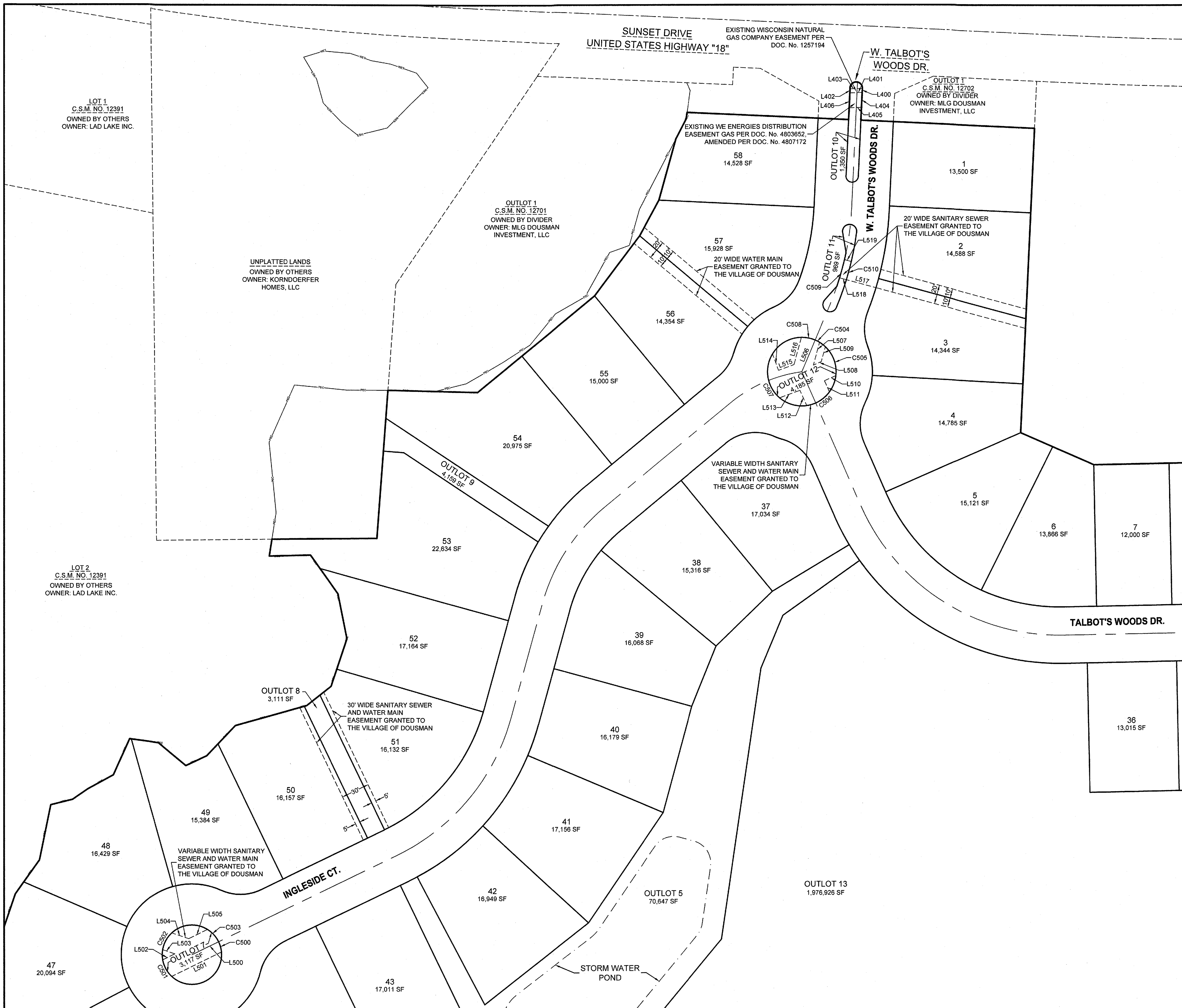
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PEG JOB#1467-00-WI
SHEET 6 OF 12





GAS, SANITARY SEWER AND WATER MAIN EASEMENTS DETAIL

Prepared by:
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20725 WATERTOWN ROAD | SUITE 100
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WISCONSIN
LAND SURVEYOR
JOHN P. KONOPACKI
S-2461
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NOTES:
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PEG JOB #1467.00-WI
SHEET 7 OF 12



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C.S.M. NO. 12391
OWNED BY OTHERS
OWNER: LAD LAKE INC.

UNPLATTED LANDS
OWNED BY OTHERS
OWNER: KORNDORFER
HOMES, LLC

LOT 2
C.S.M. NO. 12391
OWNED BY OTHERS
OWNER: LAD LAKE INC.

LOT 23
LINCOLNWOOD
OWNED BY OTHERS

LOT 1
LINCOLNWOOD
OWNED BY OTHERS

OUTLOT 1
C.S.M. NO. 12701
OWNED BY DIVIDER
OWNER: MLG DOUSMAN
INVESTMENT, LLC

OUTLOT 1
C.S.M. NO. 12702
OWNED BY DIVIDER
OWNER: MLG DOUSMAN
INVESTMENT, LLC

OUTLOT 2
C.S.M. NO. 12702
TALBOT'S WOODS CONDOMINIUM
OWNED BY DIVIDER
OWNER: MLG DOUSMAN
INVESTMENT, LLC

NOTE: THE DRAINAGE EASEMENTS SHOWN ARE SUBJECT TO THE
RIGHTS AND OBLIGATIONS SET FORTH IN THE "TALBOT'S WOODS
SINGLE FAMILY PHASE 1 STORM WATER MANAGEMENT PRACTICE
MAINTENANCE AGREEMENT" (FOR SINGLE FAMILY LOTS) PER
DOC. NO. 4778454 AND THE "TALBOT'S WOODS GENERAL
RESIDENCE STORM WATER MANAGEMENT PRACTICE
MAINTENANCE AGREEMENT" (FOR THE CONDOMINIUMS LOCATED
ON OUTLOT 4 OF C.S.M. NO. 12701 AND OUTLOT 2 OF C.S.M. NO.
12702 (TALBOT'S WOODS CONDOMINIUM)) PER DOC. NO. 4830311.

VARIABLE WIDTH DRAINAGE EASEMENT
GRANTED TO THE TALBOT'S WOODS
CONDOMINIUM ASSOCIATION, INC AND
TALBOT'S WOODS HOMEOWNERS
ASSOCIATION, INC AND THE VILLAGE
OF DOUSMAN

20' WIDE DRAINAGE EASEMENT
GRANTED TO THE TALBOT'S WOODS
HOMEOWNERS ASSOCIATION, INC
AND THE VILLAGE OF DOUSMAN

STORM WATER POND ACCESS AND DRAINAGE EASEMENT DETAILS

TALBOT'S WOODS

BEING ALL OF OUTLOT 3 OF C.S.M. No. 12702, LOCATED IN THE NE 1/4 AND
NW 1/4 OF THE NE 1/4 AND THE NE 1/4 AND NW 1/4 OF THE NW 1/4 OF
SEC. 2, T6N, R17E, AND THE SE 1/4 AND SW 1/4 OF THE SE 1/4 AND
THE SE 1/4 AND SW 1/4 OF THE SW 1/4 OF SEC. 35, T7N, R17E,
VILLAGE OF DOUSMAN, WAUKESHA COUNTY, WISCONSIN

- NOTES:
1. SEE CURVE AND LINE TABLES ON SHEET 11.
 2. SEE ADDITIONAL NOTES ON SHEET 12.

There are no objections to this plat with respect to
s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis.
Stats. as provided by s. 236.12, Wis. Stats.

Certified September 29, 2025

Don Dime
Department of Administration



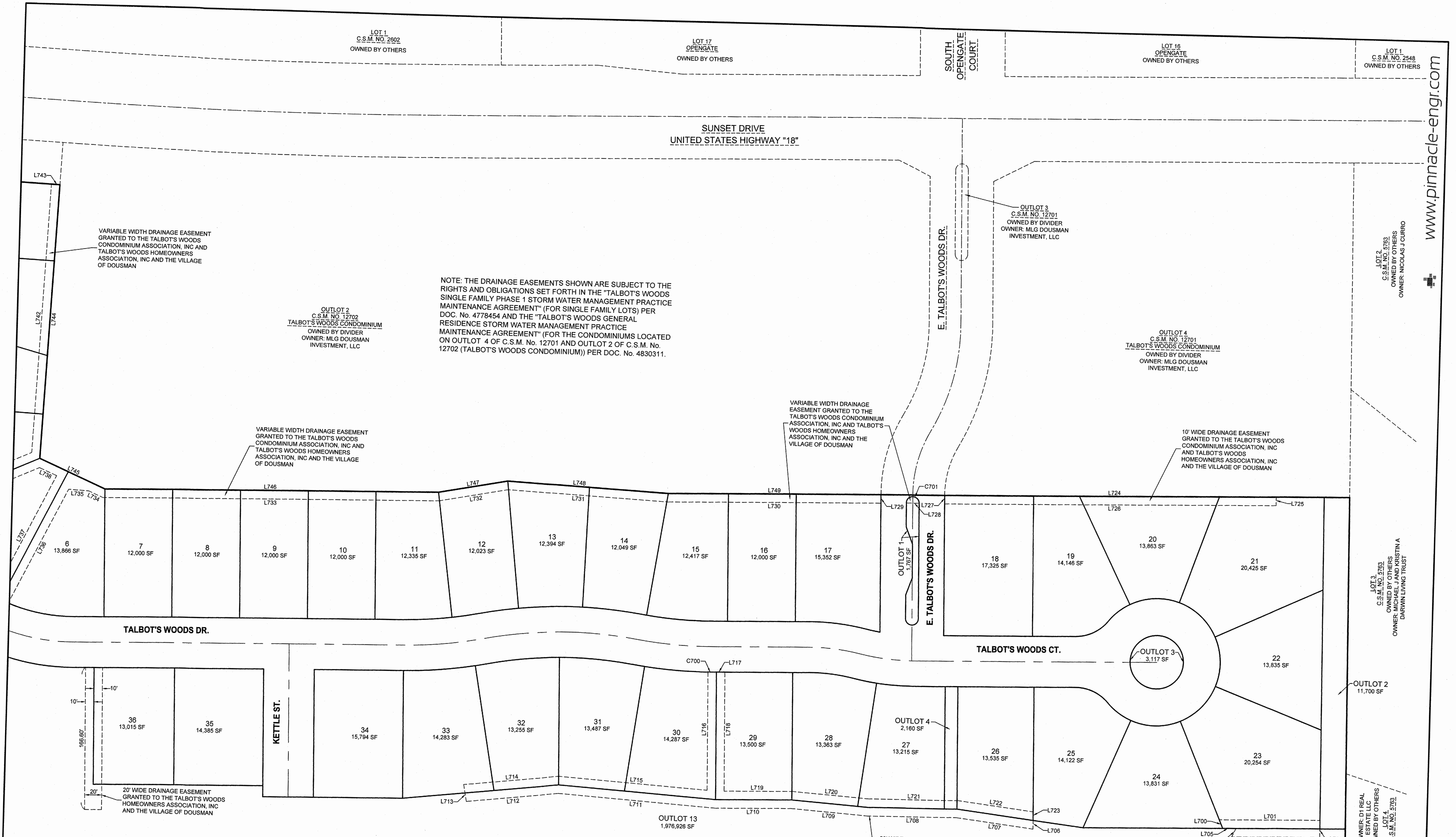
DATE: DECEMBER 11, 2024
REVISED: MARCH 4, 2025
REVISED: APRIL 15, 2025
REVISED: MAY 7, 2025
REVISED: AUGUST 19, 2025
REVISED: AUGUST 28, 2025

PEG JOB#1467.00-WI
SHEET 8 OF 12

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888
WWW.PINNACLE-ENGR.COM

Owner/Developer
MLG Dousman Investment LLC.
Attn: Joseph Bukovich
19000 W. Bluemound Road
Brookfield, WI 53045
PH: 262-424-5997

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP



STORM WATER POND ACCESS AND DRAINAGE EASEMENT DETAILS

TALBOT'S WOODS

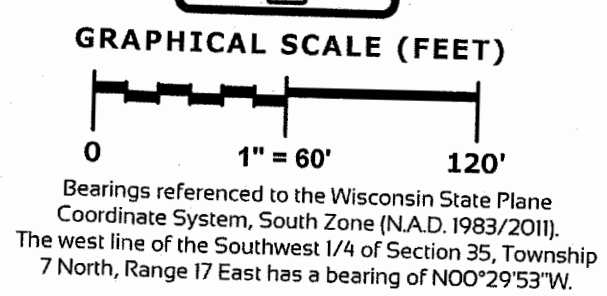
BEING ALL OF OUTLOT 3 OF C.S.M. No. 12702, LOCATED IN THE NE 1/4 AND NW 1/4 OF THE NE 1/4 AND THE NE 1/4 AND NW 1/4 OF THE NW 1/4 OF SEC. 2, T6N, R17E, AND THE SE 1/4 AND SW 1/4 OF THE SE 1/4 AND THE SE 1/4 AND SW 1/4 OF THE SW 1/4 OF SEC. 35, T7N, R17E, VILLAGE OF DOUSMAN, WAUKESHA COUNTY, WISCONSIN

NOTES:
1. SEE CURVE AND LINE TABLES ON SHEET II.
2. SEE ADDITIONAL NOTES ON SHEET IZ.

Prepared by:
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20725 WATERTOWN ROAD | SUITE 100
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Certified September 29, 2025

Don Dime
Department of Administration

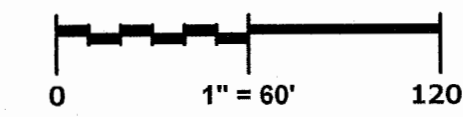


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REVISED: AUGUST 28, 2025

PEC JOB #1467.00-WI
SHEET 9 OF 12



GRAPHICAL SCALE (FEET)



LOT 1
C.S.M. NO. 12391
OWNED BY OTHERS
OWNER: LAD LAKE INC.

LOT 2
C.S.M. NO. 12391
OWNED BY OTHERS
OWNER: LAD LAKE INC.

OUTLOT 4
C.S.M. NO. 12702
OWNED BY DIVIDER
OWNER: MLG DOUSMAN
INVESTMENT, LLC

UNPLATTED LANDS
OWNED BY OTHERS
OWNER: LEE M BLEECKER

VARIABLE WIDTH DRAINAGE EASEMENT
GRANTED TO THE TALBOT'S WOODS
CONDOMINIUM ASSOCIATION, INC AND
TALBOT'S WOODS HOMEOWNERS
ASSOCIATION, INC AND THE VILLAGE
OF DOUSMAN

OUTLOT 13
1,976,926 SF

OUTLOT 8
3,111 SF

50
16,157 SF

49
15,384 SF

48
16,429 SF

47
20,094 SF

46
18,575 SF

45
15,879 SF

44
16,790 SF

43
17,011 SF

42
16,949 SF

41
17,156 SF

40
16,179 SF

OUTLOT 5
70,647 SF

OUTLOT 7
3,117 SF

20' WIDE STORM WATER POND
ACCESS EASEMENT GRANTED TO THE
TALBOT'S WOODS CONDOMINIUM
ASSOCIATION, INC AND TALBOT'S
WOODS HOMEOWNERS ASSOCIATION,
INC AND THE VILLAGE OF DOUSMAN

NOTE: THE DRAINAGE EASEMENTS SHOWN ARE SUBJECT TO THE RIGHTS AND OBLIGATIONS SET FORTH IN THE "TALBOT'S WOODS SINGLE FAMILY PHASE 1 STORM WATER MANAGEMENT PRACTICE MAINTENANCE AGREEMENT" (FOR SINGLE FAMILY LOTS) PER DOC. No. 4778454 AND THE "TALBOT'S WOODS GENERAL RESIDENCE STORM WATER MANAGEMENT PRACTICE MAINTENANCE AGREEMENT" (FOR THE CONDOMINIUMS LOCATED ON OUTLOT 4 OF C.S.M. No. 12701 AND OUTLOT 2 OF C.S.M. No. 12702 (TALBOT'S WOODS CONDOMINIUM)) PER DOC. No. 4830311.

UNPLATTED LANDS
OWNED BY OTHERS
OWNER: LEE M BLEECKER

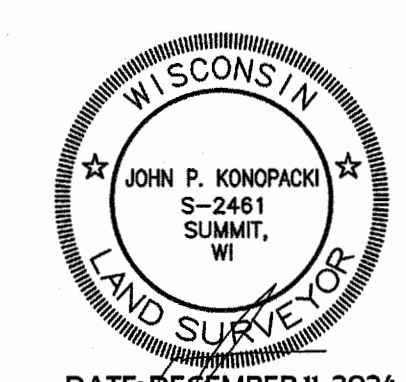
STORM WATER POND ACCESS AND DRAINAGE EASEMENTS DETAIL

TALBOT'S WOODS

BEING ALL OF OUTLOT 3 OF C.S.M. No. 12702, LOCATED IN THE NE 1/4 AND NW 1/4 OF THE NE 1/4 AND THE NE 1/4 AND NW 1/4 OF THE NW 1/4 OF SEC. 2, T6N, R17E, AND THE SE 1/4 AND SW 1/4 OF THE SE 1/4 AND THE SE 1/4 AND SW 1/4 OF THE SW 1/4 OF SEC. 35, T7N, R17E, VILLAGE OF DOUSMAN, WAUKESHA COUNTY, WISCONSIN

NOTES:
1. SEE CURVE AND LINE TABLES ON SHEET II.
2. SEE ADDITIONAL NOTES ON SHEET IZ.

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified September 29, 2025
Don Jime
Department of Administration



DATE: DECEMBER 11, 2024
REVISED: MARCH 4, 2025
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REVISED: MAY 7, 2025
REVISED: AUGUST 19, 2025
REVISED: AUGUST 28, 2025

PEG JOB#1467.00-WI
SHEET 10 OF 12

Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD | SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888
WWW.PINNACLE-ENGR.COM

Owner/Developer
MLG Dousman Investment LLC.
Attn: Joseph Bukovich
19000 W. Bluemound Road
Brookfield, WI 53045
PH: 262-424-5997

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461
PINNACLE ENGINEERING GROUP

SPECTRUM MID-AMERICA EASEMENT CURVE TABLE				
CURVE NO.	ARC	RADIUS	CHORD BEARING	CH LENGTH
C100	78.74'	51.00'	N45°02'44"W	71.15'
C101	77.18'	50.00'	N45°03'21"W	69.74'
C102	58.66'	38.00'	S45°03'21"E	53.01'
C103	97.27'	63.00'	S45°02'44"E	87.89'

SPECTRUM MID-AMERICA EASEMENT LINE TABLE		
LINE NO.	BEARING	DISTANCE
L100	S89°22'52"W	10.32'
L101	S89°22'52"W	12.00'
L102	N01°20'53"W	326.77'
L103	N00°48'49"W	270.19'
L104	N89°16'38"W	58.04'
L105	N00°50'03"W	190.00'
L106	N89°09'57"E	12.00'
L107	S00°50'03"E	190.00'
L108	S89°16'38"E	58.04'
L109	S00°48'49"E	270.13'
L110	S01°20'53"E	326.86'

RECREATION TRAIL EASEMENT CURVE TABLE				
CURVE NO.	ARC	RADIUS	CHORD BEARING	CH LENGTH
C200	81.83'	53.00'	N45°02'44"W	73.94'
C201	70.38'	45.00'	N44°28'08"W	63.43'
C202	42.23'	27.00'	S44°28'08"E	38.06'
C203	109.62'	71.00'	S45°02'44"E	99.05'

RECREATION TRAIL LINE TABLE		
LINE NO.	BEARING	DISTANCE
L200	S89°22'52"W	2.32'
L201	S89°22'52"W	18.00'
L202	N01°20'53"W	326.78'
L203	N00°48'49"W	270.18'
L204	N89°16'38"W	58.97'
L205	N00°20'21"E	180.01'
L206	N00°33'23"W	235.00'
L207	N01°05'25"E	317.56'
L208	N88°49'22"E	18.00'
L209	S01°05'25"E	317.67'
L210	S00°33'23"E	235.22'
L211	S00°20'21"W	180.15'
L212	S89°16'38"E	58.97'
L213	S00°48'49"E	270.09'
L214	S01°20'53"E	326.93'

SANITARY SEWER AND WATER MAIN CURVE TABLE				
CURVE NO.	ARC	RADIUS	CHORD BEARING	CH LENGTH
C500	11.27'	31.50'	S15°34'15"E	11.21'
C501	20.37'	31.50'	N28°23'30"W	20.02'
C502	20.66'	31.50'	N28°32'39"E	20.29'
C503	17.90'	31.50'	S42°06'05"E	17.66'
C504	5.24'	36.50'	S63°06'25"E	5.23'
C505	33.80'	36.50'	S20°03'59"E	32.61'
C506	28.95'	36.50'	S59°00'25"W	28.20'
C507	51.58'	36.50'	N09°06'07"W	47.40'
C508	15.02'	36.50'	S79°00'28"E	14.91'
C509	20.00'	300.00'	N15°05'07"E	20.00'
C510	20.00'	307.50'	S15°05'07"W	20.00'
C511	19.16'	31.50'	N16°14'52"E	18.87'
C512	29.34'	31.50'	S09°20'51"E	28.29'
C513	10.18'	31.50'	N10°25'55"W	10.13'

PRIVATE PEDESTRIAN PATH EASEMENT CURVE TABLE				
CURVE NO.	ARC	RADIUS	CHORD BEARING	CH LENGTH
C300	21.66'	25.00'	S34°48'41"W	20.99'
C301	75.34'	55.00'	S49°14'00"W	89.58'
C302	131.77'	205.00'	N73°06'44"W	129.51'
C303	15.34'	35.00'	N42°08'35"W	15.22'
C304	7.81'	25.00'	S45°45'09"E	7.77'
C305	125.34'	195.00'	S73°06'44"E	123.19'
C306	61.64'	45.00'	N49°14'00"E	56.93'
C307	35.81'	35.00'	N39°18'26"E	34.27'
C308	15.66'	25.00'	N77°55'41"W	15.40'
C309	27.01'	55.00'	N81°14'57"W	26.74'
C310	29.59'	15.00'	N11°13'14"W	25.02'
C311	18.62'	15.00'	N09°44'03"E	17.44'
C312	4.61'	260.00'	N63°40'16"E	4.61'
C313	31.03'	25.00'	S09°44'03"W	29.07'
C314	9.86'	5.00'	S11°13'14"E	8.34'
C315	22.10'	45.00'	S81°47'57"E	21.88'
C316	23.61'	35.00'	S76°32'36"E	23.16'
C317	9.18'	55.00'	N21°02'27"W	9.17'
C318	1.12'	15.00'	N18°24'33"W	1.12'
C319	5.00'	25.00'	S21°59'24"E	4.99'
C320	7.51'	45.00'	S21°02'27"E	7.50'

GAS EASEMENT LINE TABLE		
LINE NO.	BEARING	DISTANCE
L400	S02°36'53"W	4.25'
L401	S87°40'31"W	13.05'
L402	N02°36'53"E	4.29'
L403	N87°50'41"E	13.05'
L404	S02°36'53"W	15.82'
L405	S87°50'41"W	13.05'
L406	N02°36'53"E	15.78'

SANITARY SEWER AND WATER MAIN LINE TABLE		
LINE NO.	BEARING	DISTANCE
L500	N64°10'45"E	31.50'
L501	S63°52'54"W	58.89'
L502	N63°52'54"E	14.36'
L503	N71°07'06"W	13.64'
L504	S71°07'06"E	18.92'
L505	N63°52'54"E	22.23'
L506	N22°46'52"E	36.50'
L507	S15°06'14"W	25.12'
L508	N65°49'49"E	9.25'
L509	N15°38'35"E	16.29'
L510	S65°49'49"W	13.41'
L511	S24°10'11"E	13.15'
L512	N24°10'11"W	17.78'
L513	S69°57'30"W	23.03'
L514	S20°02'30"E	18.54'
L515	N69°57'30"E	17.57'
L516	N15°06'14"E	29.91'
L517	N74°54'53"W	32.52'
L518	N74°54'53"W	7.50'
L519	S74°54'53"E	7.50'
L520	S88°49'22"W	31.50'
L521	N88°49'22"E	51.70'
L522	S88°49'22"W	59.74'

PRIVATE PEDESTRIAN PATH EASEMENT LINE TABLE		
LINE NO.	BEARING	DISTANCE
L300	N00°37'05"W	142.31'
L301	S09°59'34"W	56.07'
L302	S88°28'26"W	401.65'
L303	N54°41'53"W	41.63'
L304	N77°31'58"E	10.67'
L305	S54°41'53"E	41.63'
L306	N88°28'26"E	401.65'
L307	N09°59'34"E	56.07'
L308	S00°37'05"E	11.02'
L309	N39°39'03"E	4.65'
L310	S84°07'54"W	111.90'
L311	N67°43'49"W	26.10'
L312	N45°17'20"E	62.76'
L313	N25°49'15"W	149.02'
L314	N64°10'45"E	5.39'
L315	S25°49'15"E	149.06'
L316	S45°17'20"W	62.76'
L317	S67°43'49"E	26.10'
L318	N84°07'54"E	111.90'
L319	S39°39'03"W	10.10'
L320	N64°10'45"E	5.00'
L321	N25°49'15"W	133.49'
L322	N16°15'39"W	11.45'
L323	N51°48'31"E	10.29'
L324	S16°15'39"E	11.45'
L325	S25°49'15"E	133.49'
L326	S64°10'45"W	10.00'
L327	N88°49'22"E	2.50'
L328	N88°49'22"E	10.00'
L329	S01°10'38"E	144.05'
L330	S89°06'07"W	10.00'
L331	N01°10'38"W	144.00'

STORM WATER POND ACCESS EASEMENT CURVE TABLE				
CURVE NO.	ARC	RADIUS	CHORD BEARING	CH LENGTH
C600	9.61'	260.00'	N63°07'12"E	9.61'

STORM WATER POND ACCESS EASEMENT LINE TABLE		
LINE NO.	BEARING	DISTANCE
L600	N64°10'45"E	10.39'
L601	S25°49'15"E	154.13'
L602	S22°04'32"W	26.98'
L603	N25°49'15"W	172.02'

CURVE TABLE									
CURVE NO.	LOT NO.	ARC	RADIUS	DELTA	CHORD BEARING	CH LENGTH	TANGENT IN	TANGENT OUT	
1	OUTLOT 10	20.42'	6.50'	180°00'00"	S87°23'07"E	13.00'	S02°36'53"W	N02°36'53"E	
2	OUTLOT 10	20.42'	6.50'	180°00'00"	N87°23'07"W	13.00'	N02°36'53"E	S02°36'53"W	
3	OUTLOT 11	25.77'	7.50'	196°49'59"	S88°57'00"W	14.84'	N07°21'59"E	S09°27'59"E	
4	OUTLOT 11	82.73'	307.50'	15°24'53"	N16°04'26"E	82.48'	N22°46'52"E	N07°21'59"E	
5	OUTLOT 11	26.02'	7.50'	198°48'23"	S57°48'56"E	14.80'	S41°35'15"W	N22°46'52"E	
6	OUTLOT 11	36.60'	300.00'	6°59'24"	N15°15'20"E	36.58'	N18°45'02"E	N11°45'38"E	
7 WEST	-	79.93'	260.00'	17°36'54"	N11°25'20"E	79.62'	N20°13'47"E	N02°36'53"E	
-	58	0.87'	260.00'	0°11'34"	N02°42'40"E	0.87'	-	-	
-	57	79.06'	260.00'	17°25'20"	N11°31'07"E	78.76'	-	-	
7 C/L	-	105.59'	300.00'	20°09'59"	N12°41'53"E	105.05'	N22°46'52"E	N02°36'53"E	
7 EAST	-	111.22'	340.00'	18°44'34"	N11°59'10"E	110.73'	N21°21'27"E	N02°36'53"E	
-	2	74.00'	340.00'	12°28'14"	N08°51'00"E	73.86'	-	-	
-	3	37.22'	340.00'	6°16'20"	N18°13'17"E	37.20'	-	-	
8	57	40.46'	50.00'	46°21'33"	N43°24'34"E	39.36'	N66°35'21"E	N20°13'47"E	
9	-	66.58'	75.00'	50°51'43"	S41°09'29"W	64.41'	S66°35'21"W	S15°43'38"W	
-	57	34.79'	75.00'	28°34'42"	S53°17'59"W	34.48'	-	-	
-	56	31.79'	75.00'	24°17'00"	S27°52'08"W	31.55'	-	-	
10	56	30.33'	50.00'	34°45'24"	N33°06'20"E	29.87'	N50°29'02"E	N15°43'38"E	
11	37	54.73'	50.00'	62°42'53"	S81°50'29"W	52.04'	N66°48'05"W	S50°29'02"W	
12	37	9.35'	75.00'	7°08'44"	S70°22'27"E	9.35'	S66°48'05"E	S73°56'49"E	
13	37	43.81'	50.00'	50°12'29"	N48°50'34"W	42.43'	N23°44'19"W	N73°56'49"W	
14	4	43.81'	50.00'	50°12'29"	S01°21'55"W	42.43'	S26°28'10"W	S23°44'19"E	
15	-	62.46'	75.00'	47°42'48"	N02°36'46"E	60.67'	N26°28'10"E	N21°14'38"W	
-	4	30.60'	75.00'	23°22'30"	N14°46'55"E	30.39'	-	-	
-	3	31.86'	75.00'	24°20'18"	N09°04'29"W	31.62'	-	-	
16	3	37.18'	50.00'	42°36'05"	S00°03'25"W	36.33'	S21°12'17"W	S21°14'38"E	

DRAINAGE EASEMENT CURVE TABLE				
CURVE NO.	ARC	RADIUS	CHORD BEARING	CH LENGTH
C700	6.23'	525.28'	N88°49'22"E	6.23'
C701	23.56'	7.50'	N88°49'22"E	15.00'
C702	20.02'	200.00'	N65°36'40"W	20.01'
C703	7.60'	200.00'	N24°49'37"W	7.60'
C704	20.00'	260.00'	S33°17'50"E	20.00'

DRAINAGE EASEMENT LINE TABLE		
LINE NO.	BEARING	DISTANCE
L740	N23°44'19"W	12.40'
L741	N66°15'41"E	150.35'
L742	N02°36'53"E	317.92'
L743	S87°23'07"E	10.00'
L744	S02°36'53"W	324.12'
L745	S66°24'52"E	84.87'
L746	N88°49'22"E	393.91'
L747	N79°17'14"E	82.76'
L748	S87°02'25"E	190.05'
L749	N88°49'22"E	251.16'
L750	S54°29'55"W	100.00'
L751	S22°38'38"W	60.76'
L752	S08°20'42"W	289.42'
L753	S39°39'03"W	194.31'
L754	S84°07'54"W	45.23'
L755	S00°37'05"E	18.08'
L756	S84°07'54"W	20.08'
L757	N00°37'05"W	18.08'
L758	S84°07'54"W	87.52'
L759	N67°43'49"W	32.70'
L760	S72°41'28"W	315.16'
L761	N10°24'20"W	20.05'
L762	S75°43'47"W	25.00'
L763	S40°17'22"W	78.98'
L764	S63°08'18"W	45.90'
L765	S85°12'56"W	260.82'
L766	N76°06'37"W	45.49'
L767	N49°50'07"W	43.22'
L768	N16°14'55"W	49.26'
L769	N13°58'05"E	67.32'
L770	N43°13'02"E	50.93'
L771	N67°44'30"E	55.36'
L772	N63°45'43"E	9.95'
L773	N80°51'35"E	29.28'
L774	N11°08'16"E	41.17'
L775	N33°14'03"E	71.19'
L776	N30°26'18"E	69.12'
L777	N30°30'38"E	45.17'
L778	N62°33'25"E	33.01'
L779	S57°43'12"E	212.44'
L780	N72°41'26"E	334.59'
L781	N45°17'20"E	45.81'
L782	N22°04'32"E	26.96'
L783	N51°52'33"E	145.96'
L784	N34°19'07"E	140.74'
L785	N15°09'47"E	116.32'
L786	N22°01'21"E	68.70'
L787	N45°54'58"E	83.41'
L788	N58°54'25"E	95.32'

CURVE TABLE								
CURVE NO.	LOT NO.	ARC	RADIUS	DELTA	CHORD BEARING	CH LENGTH	TANGENT IN	TANGENT OUT
17 NORTH	-	235.40'	200.00'	67°26'19"	S57°27'29"E	222.05'	S23°44'19"E	N88°49'22"E
-	5	146.15'	200.00'	41°52'11"	S44°40'25"E	142.92'	-	-
-	6	89.25'	200.00'	25°34'08"	S78°23'34"E	88.51'	-	-
17 C/L	-	270.72'	230.00'	67°26'19"	S57°27'29"E	255.36'	S23°44'19"E	N88°49'22"E
17 SOUTH	-	306.02'	260.00'	67°26'19"	S57°27'29"E	288.66'	S23°44'19"E	N88°49'22"E
-	37	33.37'	260.00'	7°21'15"	S27°24'57"E	33.35'	-	-
-	OUTLOT 5	20.00'	260.00'	4°24'30"	S33°17'50"E	20.00'	-	-
-	OUTLOT 13	252.65'	260.00'	55°40'33"	S63°20'22"E	242.83'	-	-
18 NORTH	-	85.79'	470.00'	10°27'29"	N83°35'38"E	85.67'	N88°49'22"E	N78°21'53"E
-	11	54.31'	470.00'	6°37'15"	N85°30'44"E	54.28'	-	-
-	12	31.48'	470.00'	3°50'14"	N80°17'00"E	31.47'	-	-
18 C/L	-	91.26'	500.00'	10°27'29"	N83°35'38"E	91.14'	N88°49'22"E	N78°21'53"E
18 SOUTH	-	96.74'	530.00'	10°27'29"	N83°35'38"E	96.60'	N88°49'22"E	N78°21'53"E
-	33	82.44'	530.00'	8°54'44"	N84°22'00"E	82.36'	-	-
-	32	14.30'	530.00'	1°32'45"	N79°08'16"E	14.30'	-	-
19 NORTH	-	193.48'	530.00'	20°54'58"	S88°49'22"W	192.41'	N80°43'09"W	S78°21'53"W
-	12	47.75'	530.00'	5°09'45"	S80°56'46"W	47.74'	-	-
-	13	75.59'	530.00'	8°10'16"	S87°36'47"W	75.52'	-	-
-	14	70.14'	530.00'	7°34'56"	N84°30'37"W	70.09'	-	-
19 C/L	-	182.53'	500.00'	20°54'58"	S88°49'22"W	181.51'	N80°43'09"W	S78°21'53"W
19 SOUTH	-	171.57'	470.00'	20°54'58"	S88°49'22"W	170.62'	N80°43'09"W	S78°21'53"W
-	32	85.46'	470.00'	10°25'06"	S83°34'26"W	85.34'	-	-
-	31	86.11'	470.00'	10°29'52"	N85°58'05"W	85.99'	-	-
20 NORTH	-	85.79'	470.00'	10°27'29"	S85°56'54"E	85.67'	S80°43'09"E	N88°49'22"E
-	14	6.19'	470.00'	0°45'14"	S81°05'46"E	6.19'	-	-
-	15	79.60'	470.00'	9°42'14"	S68°19'31"E	79.51'	-	-
20 C/L	-	91.26'	500.00'	10°27'29"	S85°56'54"E	91.14'	S80°43'09"E	N88°49'22"E
20 SOUTH	-	96.74'	530.00'	10°27'29"	S85°56'54"E	96.60'	S80°43'09"E	N88°49'22"E
-	31	15.18'	530.00'	1°38'28"	S81°32'23"E	15.18'	-	-
-	30	81.56'	530.00'	8°49'00"	S68°46'08"E	81.48'	-	-
21 NORTH	17	68.76'	280.00'	14°04'12"	N84°08'32"W	68.59'	N77°06'27"W	S88°49'22"W
21 C/L	-	61.39'	250.00'	14°04'12"	N84°08'32"W	61.24'	N77°06'27"W	S88°49'22"W
21 SOUTH	28	54.02'	220.00'	14°04'12"	N84°08'32"W	53.89'	N77°06'27"W	S88°49'22"W
22 NORTH	17	16.34'	220.00'	4°15'20"	S79°14'07"E	16.34'	S77°06'27"E	S81°21'47"E
22 C/L	-	61.39'	250.00'	14°04'12"	S84°08'32"E	61.24'	S77°06'27"E	N88°49'22"E
22 SOUTH	-	68.76'	280.00'	14°04'12"	S84°08'32"E	68.59'	S77°06'27"E	N88°49'22"E
-	28	27.59'	280.00'	5°38'43"	S79°55'48"E	27.58'	-	-
-	27	41.17'	280.00'	8°25'28"	S66°57'54"E	41.13'	-	-
23	19	43.81'	50.00'	50°12'29"	N63°43'07"E	42.43'	N88°49'22"E	N38°36'53"E
24	25	43.81'	50.00'	50°12'29"	N64°04'23"W	42.43'	N40°58'09"W	S88°49'22"W
25	-	367.06'	75.00'	280°24'59"	N01°10'38"W	96.00'	S40°58'09"E	S38°36'53"W
-	19	32.43'	75.00'	24°46'32"	S51°00'09"W	32.18'	-	-
-	20	60.00'	75.00'	45°50'12"	S66°18'31"W	58.41'	-	-
-	21	60.00'	75.00'	45°50'12"	N47°51'17"W	58.41'	-	-
-	22	60.00'	75.00'	45°50'12"	N02°01'05"W	58.41'	-	-
-	23	60.00'	75.00'	45°50'12"	N43°49'07"E	58.41'	-	-
-	24	60.00'	75.00'	45°50'12"	N89°39'19"E	58.41'	-	-
-	25	34.63'	75.00'	26°27'27"	S54°11'52"E	34.33'	-	-
26	OUTLOT 1	23.56'	7.50'	180°00'00"	N88°49'22"E	15.00'	S01°10'38"E	N01°10'38"W
27	OUTLOT 1	23.56'	7.50'	180°00'00"	S88°49'22"W	15.00'	N01°10'38"W	S01°10'38"E
28 C/L	-	83.60'	150.00'	31°55'52"	S66°26'58"W	82.52'	S82°24'55"W	S50°29'02"W
29 WEST	-	141.10'	230.00'	35°08'56"	S32°54'34"W	138.89'	S50°29'02"W	S15°20'06"W
-	54	58.55'	230.00'	14°35'07"	S43°11'29"W	58.39'	-	-
-	OUTLOT 9	20.01'	230.00'	4°59'02"	S33°24'24"W	20.00'	-	-
-	53	62.54'	230.00'	15°34'38"	S23°07'30"W	62.35'	-	-
29 C/L	-	122.69'	200.00'	35°08'56"	S32°54'34"W	120.78'	S50°29'02"W	S15°20'06"W
29 EAST	-	104.29'	170.00'	35°08'56"	S32°54'34"W	102.66'	S50°29'02"W	S15°20'06"W
-	38	31.64'	170.00'	10°39'49"	S45°09'08"W	31.59'	-	-
-	39	72.65'	170.00'	24°29'08"	S27°34'40"W	72.10'	-	-
30 WEST	-	170.50'	200.00'	48°50'38"	N39°45'26"E	165.38'	N64°10'45"E	N15°20'06"E
-	52	2.41'	200.00'	0°41'27"	N15°40'49"E	2.41'	-	-
-	51	168.09'	200.00'	48°09'13"	N40°06'09"E	163.18'	-	-
30 C/L	-	196.07'	230.00'	48°50'38"	N39°45'26"E	190.19'	N64°10'45"E	N15°20'06"E
30 EAST	-	221.64'	260.00'	48°50'38"	N39°45'26"E	215.00'	N64°10'45"E	N15°20'06"E
-	40	34.47'	260.00'	7°35'47"	N19°07'59"E	34.45'	-	-
-	41	88.78'	260.00'	19°33'53"	N32°42'50"E	88.35'	-	-
-	42	88.78'	260.00'	19°33'53"	N52°16'43"E	88.35'	-	-
-	OUTLOT 5	9.61'	260.00'	2°07'06"	N63°07'12"E	9.61'	-	-
31	49	43.81'	50.00'	50°12'29"	N89°17'00"E	42.43'	S65°36'45"E	N64°10'45"E
32	44	43.81'	50.00'	50°12'29"	S39°04'31"W	42.43'	S84°10'45"W	S13°58'16"W
33	-	367.06'	75.00'	280°24'59"	S26°49'15"E	96.00'	N65°36'45"W	N13°58'16"E
-	49	52.53'	75.00'	40°07'42"	N65°40'36"W	51.46'	-	-
-	48	66.66'	75.00'	50°55'36"	S48°47'45"W	64.49'	-	-
-	47	66.66'	75.00'	50°55'36"	S02°07'51"E	64.49'	-	-
-	46	66.66'	75.00'	50°55'36"	S53°03'27"E	64.49'	-	-
-	45	66.66'	75.00'	50°55'36"	N76°00'57"E	64.49'	-	-
-	44	47.89'	75.00'	36°34'53"	N32°15'42"E	47.08'	-	-

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John P. Konopacki, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided and mapped all of Outlot 3 of Certified Survey Map No. 12702, as recorded in the Register of Deeds office for Waukesha County as Document No. 4829311, located in the Northeast 1/4 and Northwest 1/4 of the Northeast 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 2, Town 6 North, Range 17 East, and the Southeast 1/4 and Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 35, Town 7 North, Range 17 East, Village of Dousman, Waukesha County, Wisconsin.

Containing 3,365,147 square feet (77.2531 acres) of land.

That I have made such survey, land division and map by the direction of MLG DOUSMAN INVESTMENT, LLC, owner of said land.

That such plat is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have fully complied with the requirements of Chapter 236 of the Wisconsin State Statutes, the Village of Dousman Land Division and Platting Ordinance and the Land Division Ordinance of Waukesha County in surveying, mapping and dividing the lands within the subdivision.

Date: DECEMBER 11, 2024
Revised: MARCH 4, 2025
Revised: APRIL 15, 2025
Revised: MAY 7, 2025
Revised: AUGUST 19, 2025
Revised: AUGUST 28, 2025



John P. Konopacki
Professional Land Surveyor S-2461

OWNER'S CERTIFICATE OF DEDICATION

MLG DOUSMAN INVESTMENT, LLC, a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

MLG DOUSMAN INVESTMENT, LLC also certifies that this plat is required by s.236.10 or s.236.12 of the Wisconsin State Statutes to be submitted to the following for approval or objection:

1. Village of Dousman
2. Wisconsin Department of Administration
3. Waukesha County Parks and Land Use Department
4. Wisconsin Department of Transportation

IN WITNESS WHEREOF, the said MLG DOUSMAN INVESTMENT, LLC, has caused these presents to be signed by Timothy J. Wallen its President, at BROOKFIELD, Waukesha County, Wisconsin, on this 30th day of September, 2025.

In the presence of: MLG DOUSMAN INVESTMENT, LLC

By Timothy J. Wallen, President

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

Personally came before me this 30 day of September, 2025, Timothy J. Wallen President of the above named limited liability company, to me known to be the person who executed the foregoing instrument, and to me known to be such member of said limited liability company and acknowledged that he executed the foregoing instrument as such officer as the deed of said Limited Liability Company, by its authority.

Chelsey C Engibous
Notary Public
Name: Chelsey C Engibous
State of Wisconsin
My Commission Expires: 3/5/2027

CHELSEY C. ENGIBOUS
Notary Public
State of Wisconsin

CONSENT OF CORPORATE MORTGAGEE

Spring Bank, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of the land described on this plat and does hereby consent to the above certification of owners.

IN WITNESS WHEREOF, the said Spring Bank, has caused these presents to be signed by Glen A. Michalsen its Senior VP, and its corporate seal to be hereunto affixed this 30th day of September, 2025.

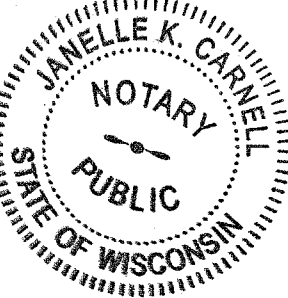
Sept 30 2025
Date

Glen A. Michalsen
Title: Senior Vice President

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

Personally came before me this 30th day of September, 2025, Glen Michalsen, to me known to be the person who executed the foregoing instrument and to me known to be such officer of said corporation and acknowledged the same.

Janelle K Carnell
Notary Public
Name: Janelle K Carnell
State of Wisconsin
My Commission Expires: 2-12-29



Prepared by:
PINNACLE ENGINEERING GROUP
20725 WATERTOWN ROAD 1 SUITE 100
BROOKFIELD, WI 53186
OFFICE: (262) 754-8888
WWW.PINNACLE-ENGR.COM

Owner/Developer
MLG Dousman Investment LLC.
Attn: Joseph Bukovich
19000 W. Bluemound Road
Brookfield, WI 53045
PH: 262-424-5997

This instrument drafted by John P. Konopacki, PLS-Registration No. S-2461

PINNACLE ENGINEERING GROUP

VILLAGE PLAN COMMISSION APPROVAL CERTIFICATE

Resolved, that the plat known as TALBOT'S WOODS, being a part of the Northeast 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 2, Township 6 North, Range 17 East, and the Southeast 1/4 and Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 35, Township 7 North, Range 17 East, in the Village of Dousman, Waukesha County, Wisconsin, is hereby approved by the Village Plan Commission on this 27 day of January, 2025.

Cindy Queen
Cindy Queen, Village President

John Roth
John Roth, Village Clerk



VILLAGE BOARD APPROVAL CERTIFICATE

Resolved, that the plat known as TALBOT'S WOODS, being a part of the Northeast 1/4 and Northwest 1/4 of the Northeast 1/4 and the Northeast 1/4 and Northwest 1/4 of the Northwest 1/4 of Section 2, Township 6 North, Range 17 East, and the Southeast 1/4 and Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 and Southwest 1/4 of the Southwest 1/4 of Section 35, Township 7 North, Range 17 East, in the Village of Dousman, Waukesha County, Wisconsin, is hereby approved by the Village Board. The Village of Dousman also hereby approves and accepts all dedications shown hereon.

All conditions have been met as of this 17 day of May, 2025.

I hereby certify the foregoing is a true and correct copy of a resolution adopted by the Village Board of the Village of Dousman this 29 day of September, 2025.

Cindy Queen
Cindy Queen, Village President

John Roth
John Roth, Village Clerk



VILLAGE OF DOUSMAN TREASURER'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

I, John Roth, being duly appointed, qualified and acting Treasurer of the Village of Dousman, do hereby certify in accordance with the records in my office, there are no unpaid taxes or special assessments as of September 29, 2025 on any of the lands included in the plat of TALBOT'S WOODS.

September 29, 2025
Date

John Roth
John Roth, Village Treasurer



WAUKESHA COUNTY TREASURER'S CERTIFICATE

STATE OF WISCONSIN)
WAUKESHA COUNTY) SS

Theresa A. Scholtz
I, Theresa A. Scholtz, being duly elected appointed, qualified and acting County Treasurer of the County of Waukesha, do hereby certify that the records in my office show no unpaid taxes and no unredeemed tax sales or special assessments as of September 30, 2025 on any of the lands included in the plat of TALBOT'S WOODS.

September 30, 2025
Date

Theresa A. Scholtz
Theresa A. Scholtz, County Treasurer, Depots

GENERAL NOTES

1. All measurements have been made to the nearest one-hundredth of a foot and all angular measurements have been made to the nearest one second.
2. Dimensions along curves are arc lengths.
3. All roads within this plat are dedicated to the public for road purposes.
4. Flood Zone Classification: The Surveyed Property lies with in Zone "X" of the Flood Insurance Rate Map Community Panel No. 55133C0164H with an effective date of NOVEMBER 05, 2014. Zone "X" areas are determined to be outside the 0.2% annual chance floodplain.
5. Primary Environmental Corridor and Wetlands were delineated by Wetland and Waterways Consulting, Inc. September, 2021. The Wetland was delineated on September 20 and 21, 2021 and the Primary Environmental Corridor was delineated on September 21 and 22, 2021.
6. Outlot statement: each individual lot owner shall have an undividable fractional ownership in Outlots 1 through 8 and 10 through 12. The Village of Dousman and Waukesha County shall not be liable for any fees or special charges in the event they become the owner of any Lot or Outlot in the Subdivision be reason of tax delinquency. Outlot 13 will be owned by the subdivider/applicant for future development purposes. Outlot 9 is to be transferred to the adjacent property owner of the unplatted lands to provide access to said unplatted lands.
7. The pedestrian and bicycle easements shown are for the benefit of the lot owners in Talbot's Woods. The existing trail within Outlots 2 and 13 is the Glacial Drumlin State Trail. The Glacial Drumlin State Trail is an existing public trail.
8. Building setback lines on the residential Lots (Lots 1 - 17) are 30' street, 25' rear and 8' or 10' side yards so that there is a minimum 18' setback between primary structures on adjacent lots. Building setback on residential Lots (Lots 18 - 58) are 30' street, 25' rear and sides are 10'.
9. Trans 233 Notes:
 - a. Setback Note: There shall be no improvements or structures placed between the highway and the setback line without a Special Exception from the Department of Transportation. This shall be a restriction for the benefit of the public under §236.293, Stats., and shall be enforceable by the Department of Transportation.
 - b. Access Note: §233.05(1) All Lots and Blocks are hereby restricted so that no owner, possessor, user, licensee, other person shall have any right of direct vehicular ingress or egress with U.S.H. 18 or S.T.H 67, as shown on the plat; it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to §236.293, Stats., and shall be enforceable by the Department of Transportation.
 - c. Noise Note: §233.105(1) The lots of this land division may experience noise at the levels exceeding the levels in § Trans 405.04, Table I. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the Department to the highway's through-lane capacity.
 - d. Vision Corner: §233.105(2) No structure or improvement of any kind is permitted within the vision corner. No vegetation within the vision corner may exceed 30 inches in height. This requirement is for Outlot 10 where Talbot's Woods Dr. connects to Sunset Dr. (U.S.H 18).

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by MLG DOUSMAN INVESTMENT, LLC, Grantor, to

WISCONSIN ELECTRIC POWER COMPANY and WISCONSIN GAS, LLC, Wisconsin corporations doing business as We Energies, Grantee, SPECTRUM MID-AMERICA, LLC, Grantee, and WISCONSIN BELL, INC. doing business as AT&T Wisconsin, a Wisconsin corporation, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.