

P&D Builders - Job # 1328

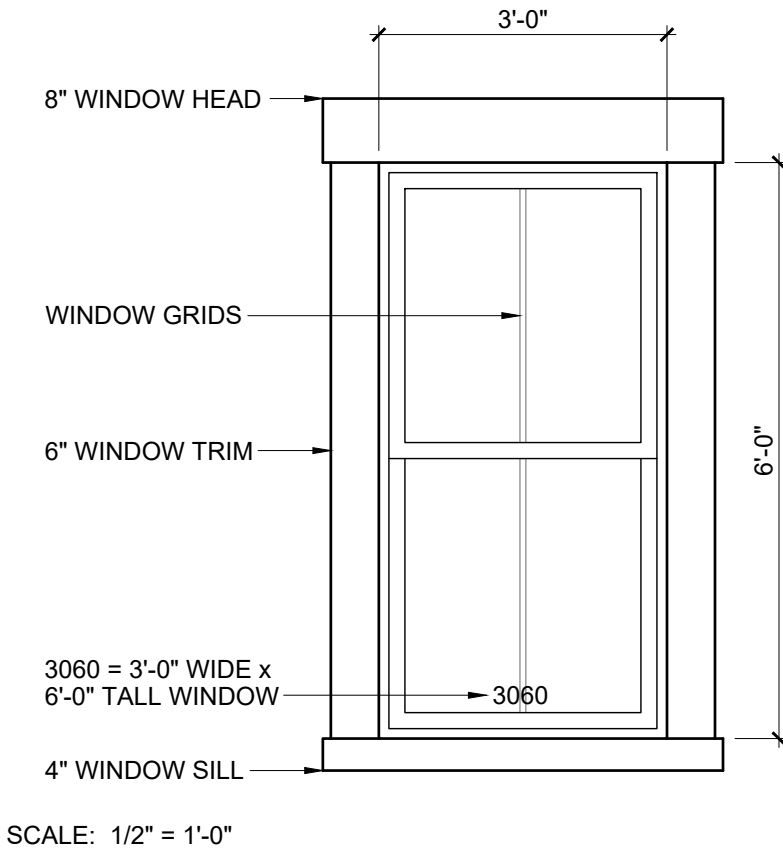


2 REAR ELEVATION

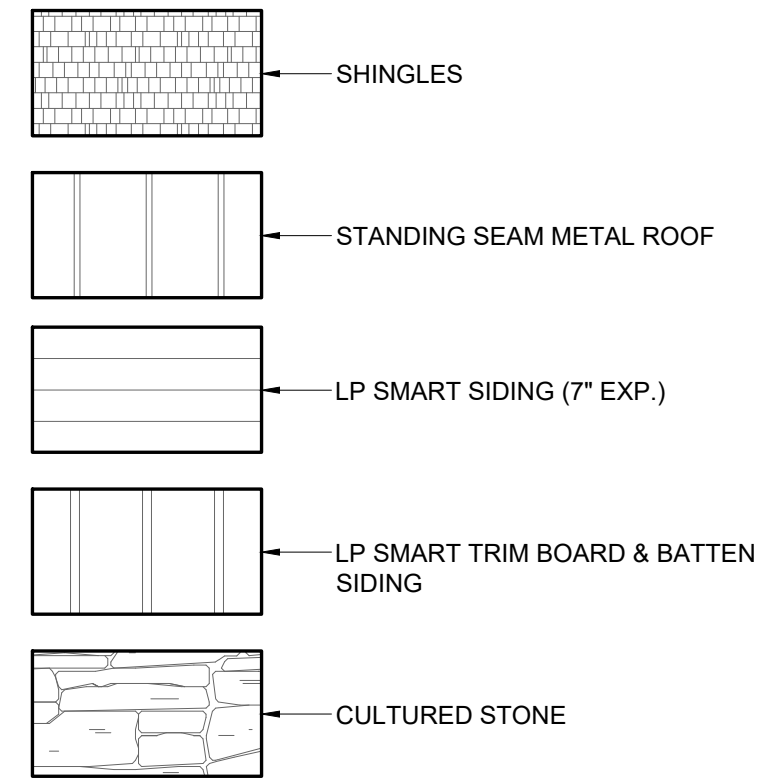


1 FRONT ELEVATION

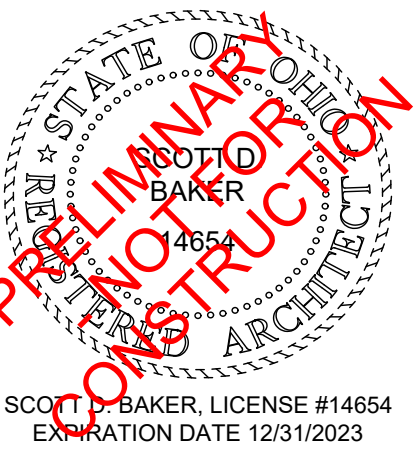
WINDOW TRIM DETAIL



ELEVATION MATERIAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

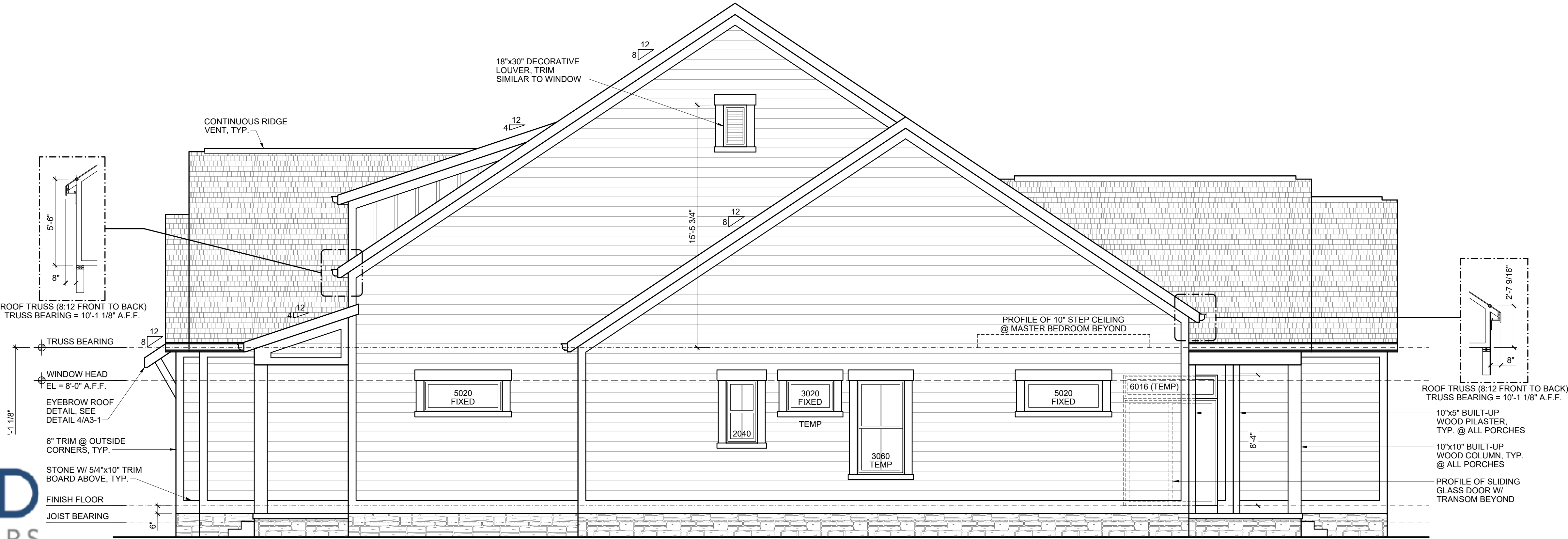


SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-1
DATE: 06.15.2022
CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2023
SBA STUDIOS PROJECT # 2022-128

P&D Builders - Job # 1328

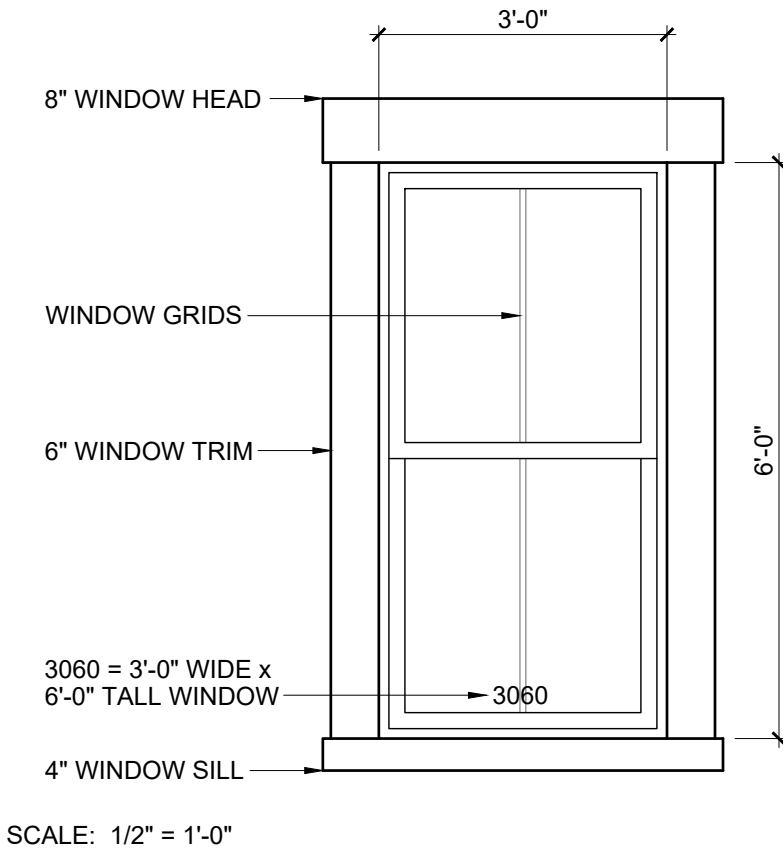


2 LEFT ELEVATION

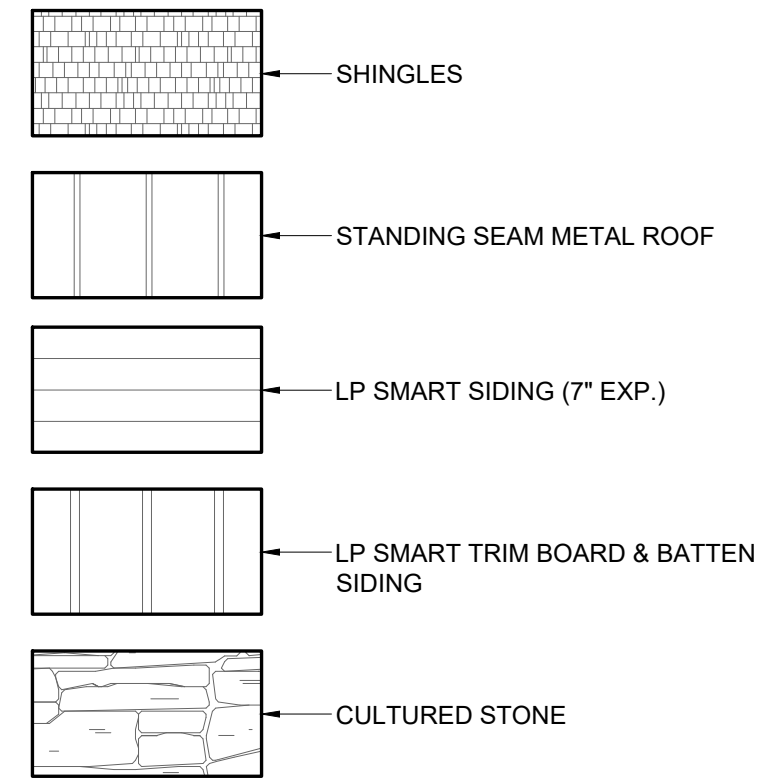


1 RIGHT ELEVATION

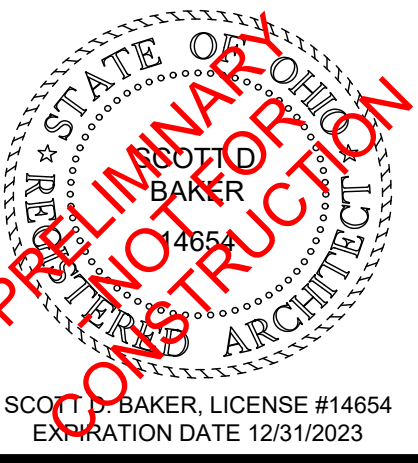
WINDOW TRIM DETAIL



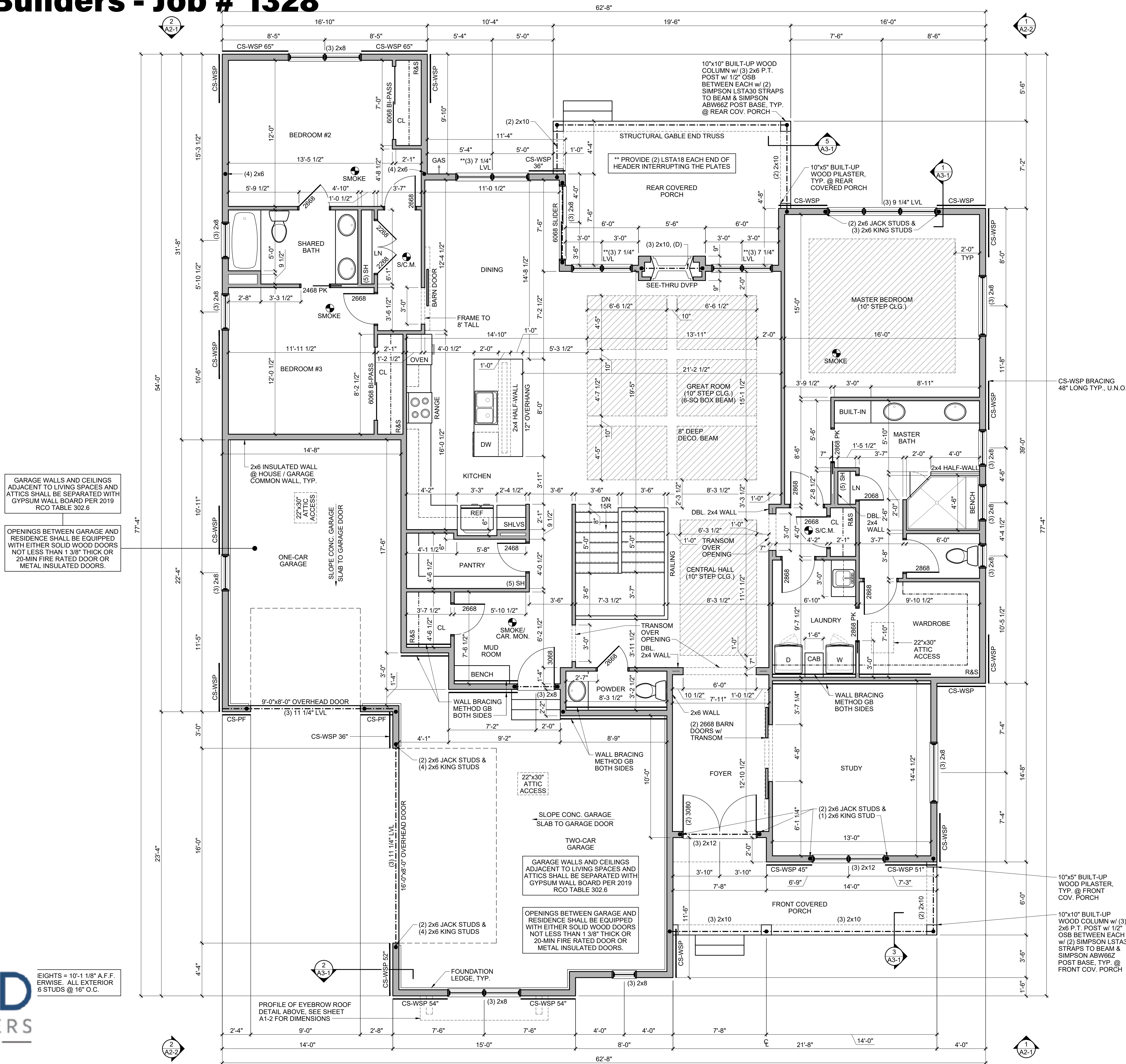
ELEVATION MATERIAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION



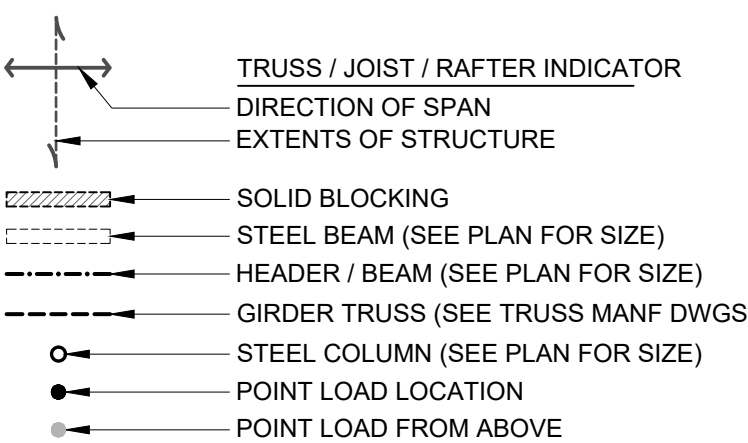
SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-2
DATE: 06.15.2022
CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2023
SBA STUDIOS PROJECT # 2022-128



FLOOR PLAN NOTES

1. ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
2. ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
4. ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
5. EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
6. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES.
8. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND /OR CORRECTION BEFORE PROCEEDING WITH WORK.
9. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
10. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
11. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
12. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE OR DECAY SHALL BE PREPARED WITH TREATMENT OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING
& (1) JACK STUD EACH SIDE OF OPENING. U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



SBA
STUDIOS
ARCHITECTURAL DESIGN
614.562.7761 WWW.SBA-STUDIOS.COM

SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

FIRST FLOOR PLAN

A1-1

DATE: 06.15.2022

INSTRUCTION DOCUMENTS

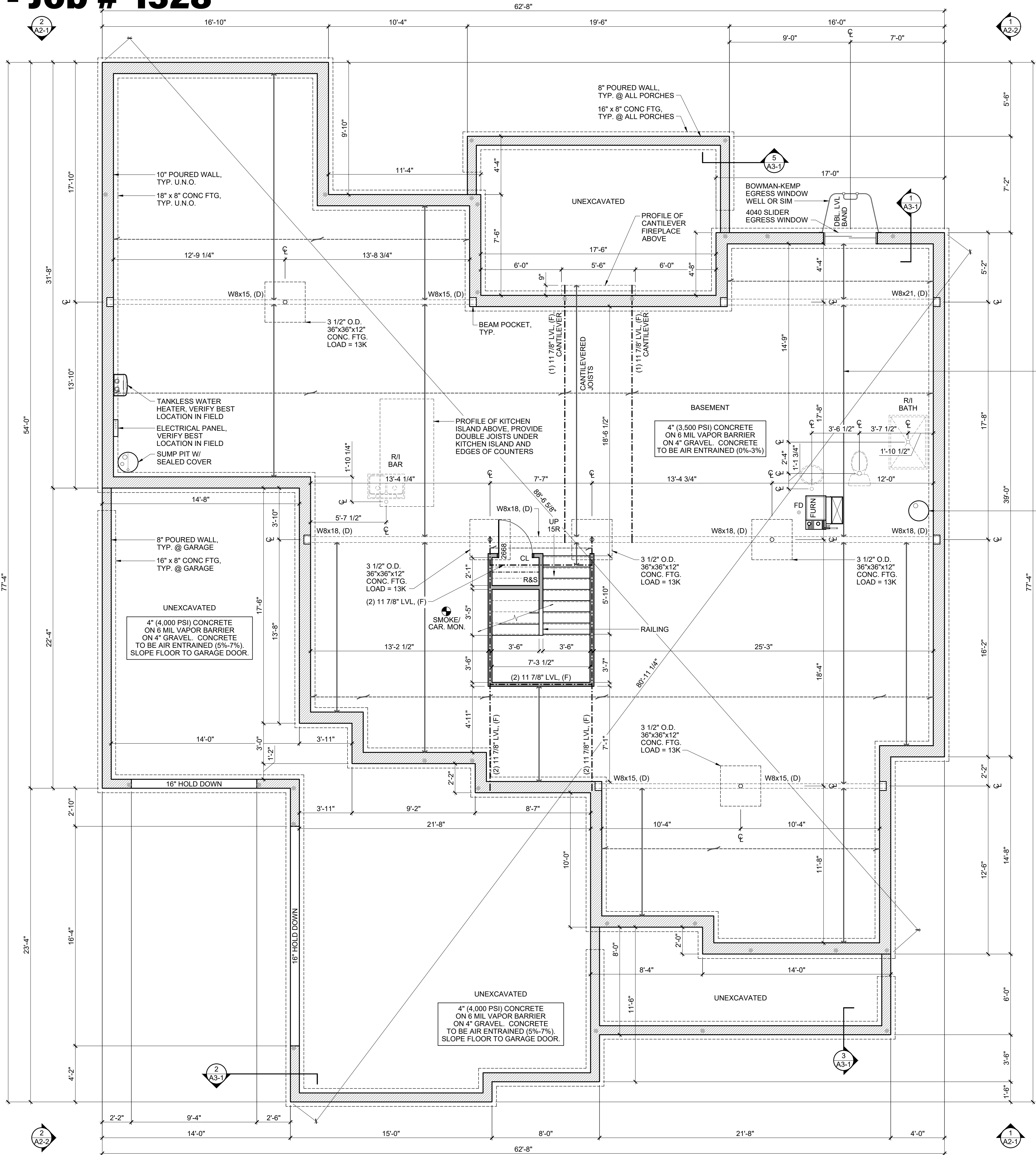
SCOTT D. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2023	CONSTRUCTION DOCUMENTS SBA STUDIOS PROJECT # 2022-128
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WALL HEIGHT = 9'-0"

ITS OVER UNFINISHED
3 TO BE PROVIDED WITH
N PER 2019 RCO 302.13



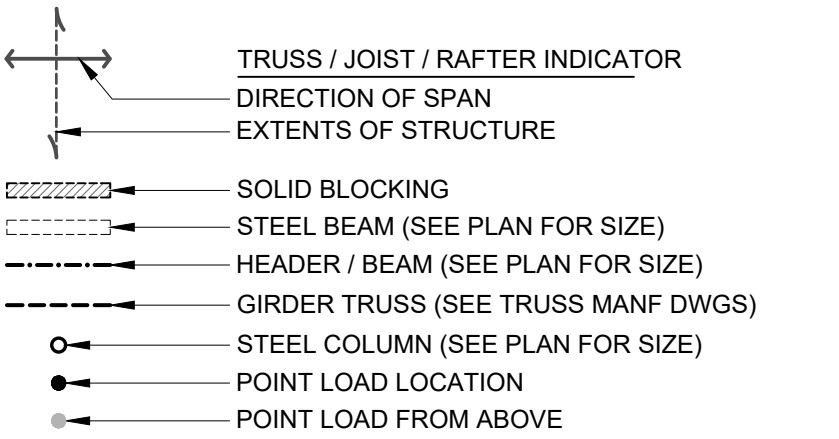
BEAM CONNECTIONS AT OPEN POCKETS IN FOUNDATION,
BEAM CONNECTIONS TO COLUMNS, AND COLUMN
CONNECTIONS TO FOUNDATIONS SHALL COMPLY WITH
2019 RCO SECTIONS 502.6.3 AND 502.9.1 MINIMUM
UNLESS MORE STRICT PROVISIONS ARE SPECIFIED

MOST CHEMICALS USED TO PRESSURE TREAT LUMBER
HAVE BEEN FOUND TO BE INCOMPATIBLE WITH
STANDARD GALVANIZED CONNECTORS, BOLTS AND
SCREWS, AS WELL AS MANY PNEUMATIC NAIL
PRODUCTS. WHEN SELECTING FASTENERS AND/OR
CONNECTORS TO USE WITH TREATED LUMBER, CHECK
FOR CORROSIVE COMPATIBILITY ISSUES. WHEN USING
STAINLESS STEEL OR G-185 HOT DIPPED GALVANIZED
METAL PRODUCTS, THE CONNECTORS AND FASTENERS
MUST BE MADE OF THE SAME MATERIAL.

FOUNDATION NOTES

1. ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" x 8" CONTINUOUS POURED CONCRETE FOOTING. SEE WALL SECTIONS.
2. CONTRACTOR TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION
3. CEILING HEIGHTS IN BASEMENTS WITH HABITABLE SPACES OR HALLWAYS SHALL NOT BE LESS THAN 7'-0" CLEAR, EXCEPT UNDER BEAMS, DUCTS OR OTHER OBSTRUCTIONS WHERE THE CLEAR HEIGHT SHALL BE 6'-4" MINIMUM.
4. ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END.
5. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION.

STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH

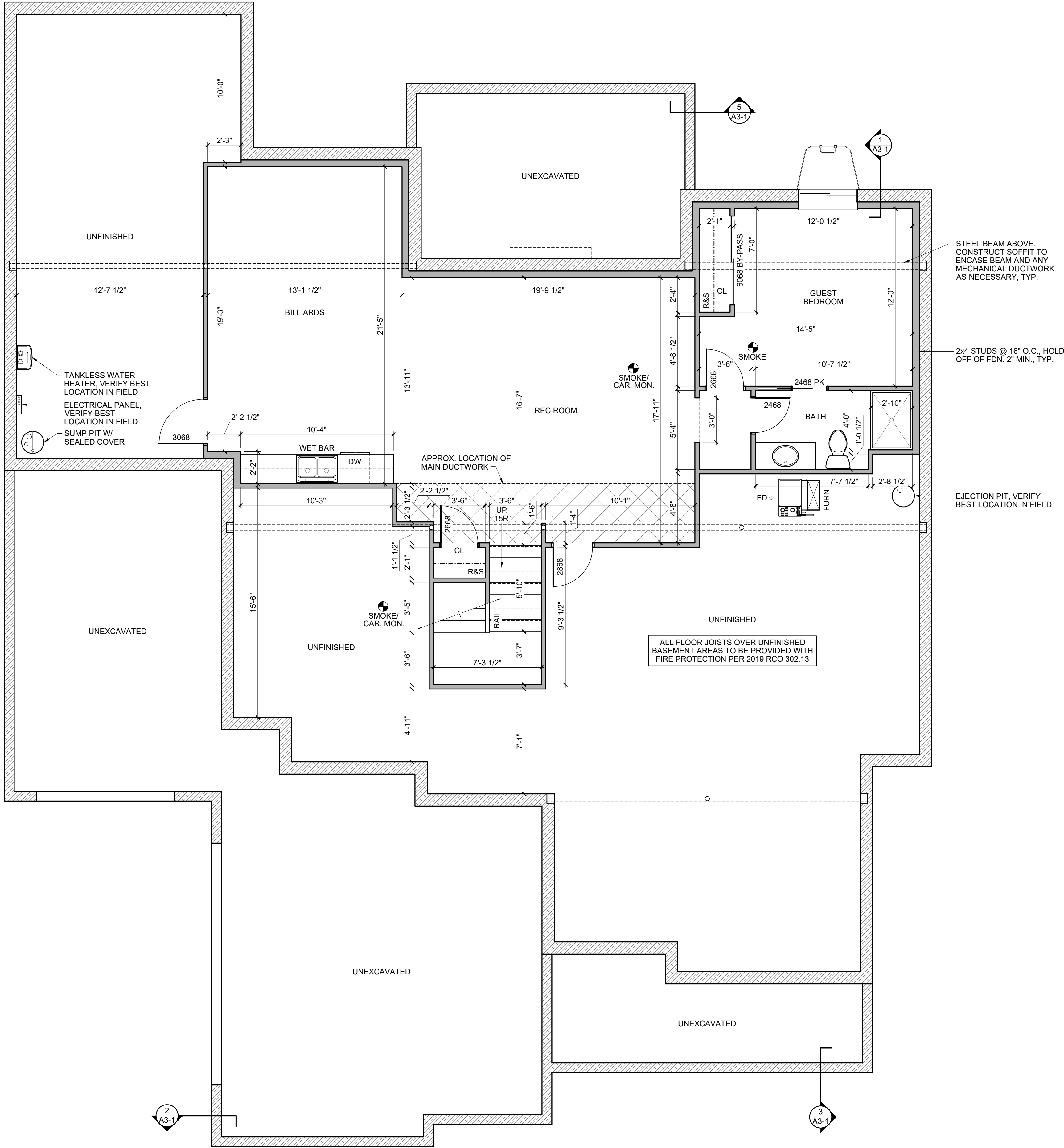
ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING. U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



	SCALE: 1/4" = 1'-0"
	SHEET # / DESCRIPTION
	BASEMENT PLAN
	A1-0
	DATE: 06.15.2022
CONSTRUCTION DOCUMENTS	
SBA STUDIOS PROJECT # 2022-128	

P&D Builders - Job # 1328



FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.

SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER. ALL SMOKE ALARMS TO USE IONIZATION AND PHOTOELECTRIC TECHNOLOGY ON ALL LEVELS. SMOKE ALARMS OUTSIDE OF BEDROOMS TO USE PHOTOELECTRIC TECHNOLOGY

FLOOR PLAN NOTES

- ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
- ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
- ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
- EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
- ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
- CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION

FIN. BASEMENT PLAN

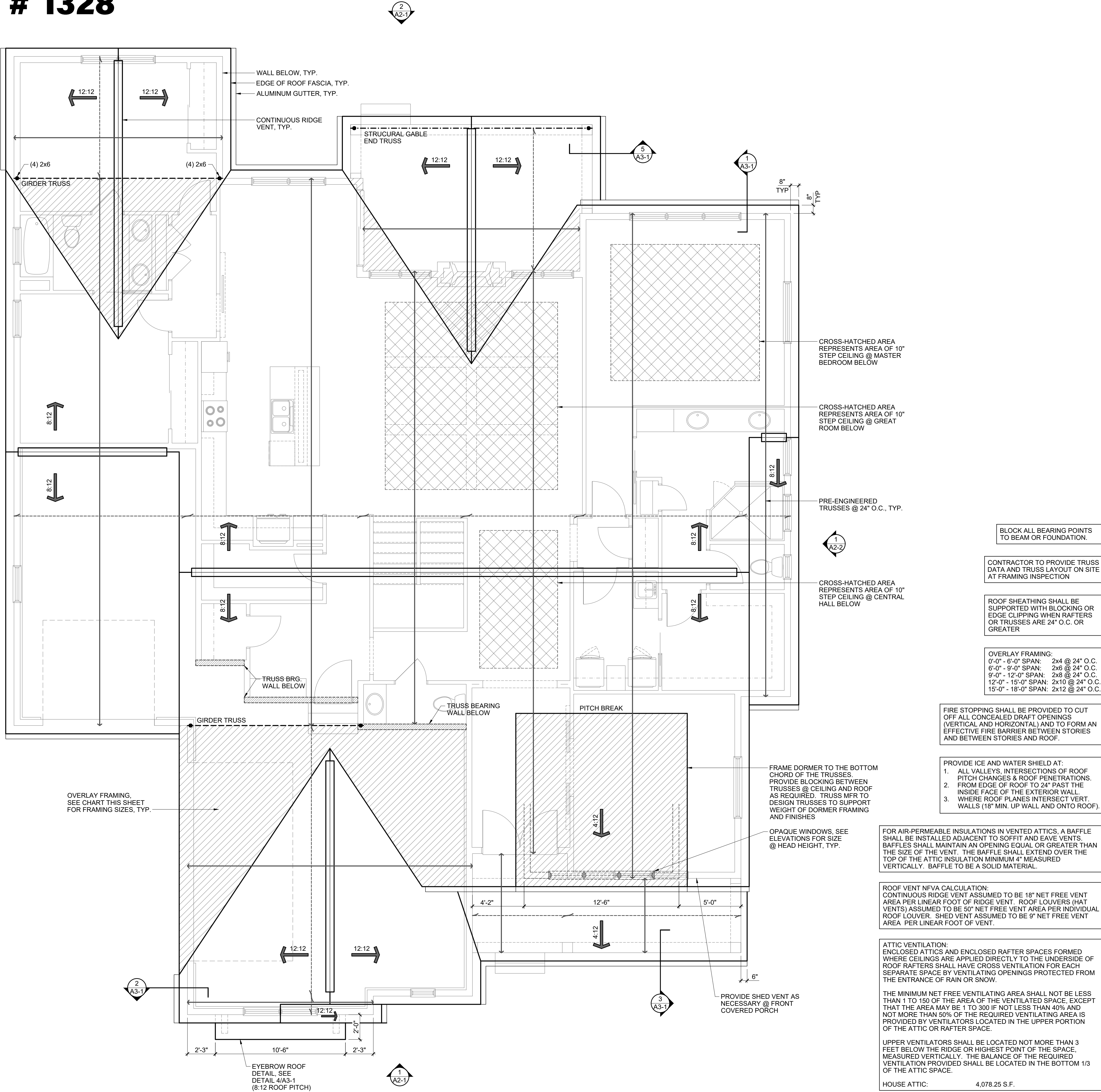
A1-0a

DATE: 06.15.2022

CONSTRUCTION DOCUMENTS

SBA STUDIOS PROJECT # 2022-128

P&D Builders - Job # 1328



ROOF PLAN NOTES

- CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER CODE FOR PROPER ROOF DRAINAGE.
- FALSE CHIMNEYS, DORMERS, CUPOLAS AND OTHER SIMILAR FEATURES SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE FRAMED DOWN INTO THE ROOF TO THE CEILING LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS, OR TRUSSES. THE EXTERIOR SHEATHING SHALL EXTEND DOWN TO THIS LEVEL OTHER THAN WHERE A METAL FLU NEEDS TO GO THROUGH FROM A FIREBOX.
- PROVIDE MINIMUM 22"x30" ATTIC ACCESS OPENING INTO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. PROVIDE MINIMUM 22"x30" ATTIC OPENING INTO OVERLAY FRAMED ROOF AREAS. ATTIC ACCESS OPENINGS FROM CONDITIONED SPACES TO BE GASKETED.
- ROOFS TO HAVE AN 8" OVERHANG FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO OUTSIDE FACE OF FASCIA, U.N.O.

TRUSS NOTES

- TRUSS PROFILES (SEE ELEVATIONS) ARE FOR TRUSS MANUFACTURER'S REFERENCE ONLY. TRUSS MANUFACTURER TO VERIFY ALL TRUSS SIZES AND DIMENSIONS ARE CORRECT PER THE CONSTRUCTION DOCUMENTS.
- FINAL TRUSS LAYOUT AND DESIGN ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. VERIFY INTERIOR SLOPES OF SCISSOR TRUSSES AND HEIGHTS OF TRAY CEILINGS W/ BUILDER / OWNER PRIOR TO FABRICATION. IF TRUSS DESIGN DIFFERS FROM THESE DOCUMENTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT.
- TRUSS MANUFACTURER TO ENSURE TRUSSES ARE DESIGNED SUCH THAT ALL FASCIA ALIGN PER EXTERIOR ELEVATIONS.

RAFTER NOTES

- ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C.
- RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
- RIDGE BOARDS SHALL BE AT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x12 WITH AN ADDITIONAL 2x FURRED TO THE BOTTOM EDGE OF THE 2x12.
- VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
- HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.

STRUCTURAL LEGEND

- TRUSS / JOIST / RAFTER INDICATOR
- DIRECTION OF SPAN
- EXTENTS OF STRUCTURE
- SOLID BLOCKING
- STEEL BEAM (SEE PLAN FOR SIZE)
- HEADER / BEAM (SEE PLAN FOR SIZE)
- GIRDER TRUSS (SEE TRUSS MANF DWGS)
- STEEL COLUMN (SEE PLAN FOR SIZE)
- POINT LOAD LOCATION
- POINT LOAD FROM ABOVE

SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION



SCALE: 1/4" = 1'-0"	SHEET # / DESCRIPTION
	ROOF PLAN
	A1-2
	DATE: 06.15.2022
	CONSTRUCTION DOCUMENTS
SCOTT D. BAKER, LICENSE #14654	SBA STUDIOS PROJECT # 2022-128

P&D Builders - Job # 1328



INDEX OF DRAWINGS

- A0-0 COVER SHEET / INDEX
- A1-0 BASEMENT PLAN
- A1-0a FINISHED BASEMENT PLAN
- A1-1 FIRST FLOOR PLAN
- A1-2 ROOF PLAN
- A2-1 EXTERIOR ELEVATIONS (FRONT & REAR)
- A2-2 EXTERIOR ELEVATIONS (RIGHT AND LEFT SIDES)
- A3-1 WALL SECTIONS / DETAIL
- A4-1 L&V SCHEDULE / STAIR SECTION / NOTES
- A4-2 WALL BRACING
- E1-1 ELECTRICAL PLANS

GENERAL HOUSE INFORMATION

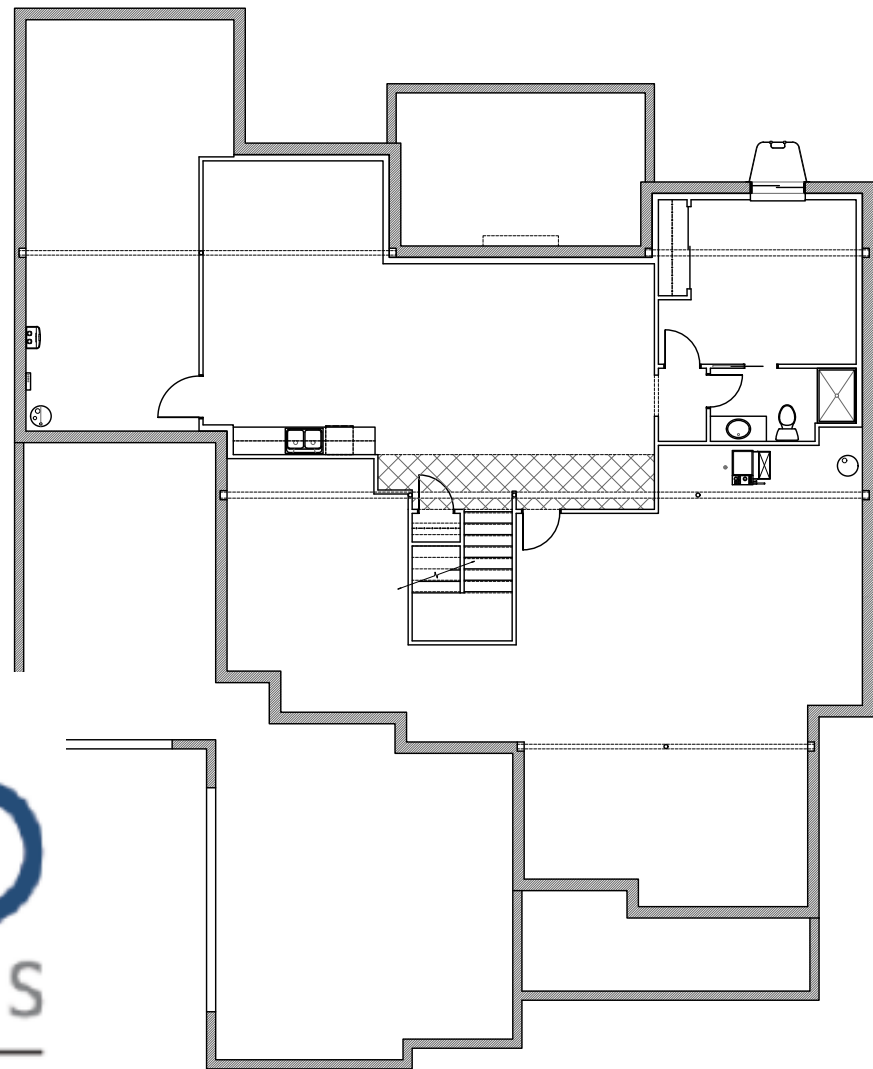
HOUSE SQUARE FOOTAGE:	2,645 S.F.
BASEMENT SQUARE FOOTAGE:	2,423 S.F.
FINISHED BASEMENT SQUARE FOOTAGE:	951 S.F.
FRONT COVERED PORCH SQUARE FOOTAGE:	145 S.F.
REAR COVERED PORCH SQUARE FOOTAGE:	214 S.F.
GARAGE SQUARE FOOTAGE:	880 S.F.
HOUSE WIDTH:	62'-8"
HOUSE DEPTH:	77'-4"
HOUSE HEIGHT:	34'-0 7/8"

GENERAL REQUIREMENTS

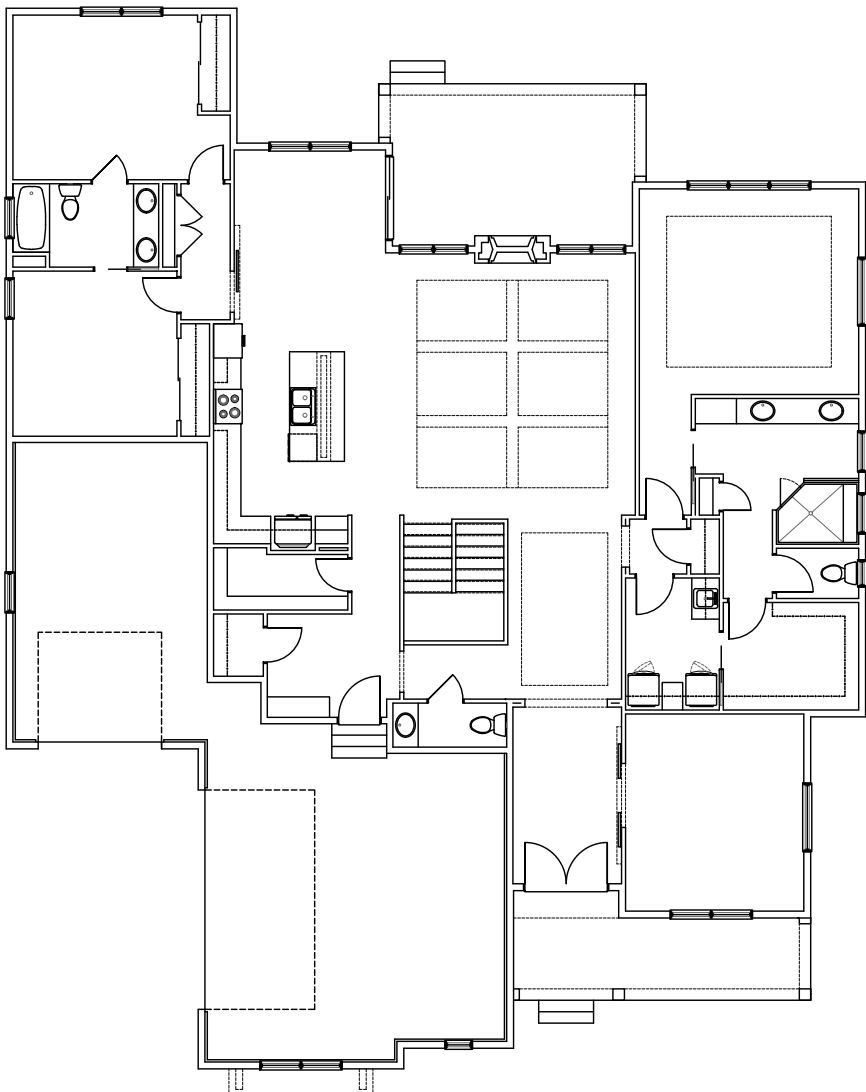
- GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO
- ELEMENTS OF CONSTRUCTION, WHETHER OR NOT SPECIFICALLY NOTED ON THESE DRAWINGS, ARE TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL BUILDING CODES.
- IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT CODE SHALL GOVERN. BUILDER SHALL BE FAMILIAR W/ PROVISIONS OF ALL APPLICABLE CODES AND INSURE COMPLIANCE OF WORK WITH THOSE CODES.
- THIS IS "BUILDERS SET OF DRAWINGS", IT REQUIRES THE BUILDER USING THESE DRAWINGS TO BE FAMILIAR WITH GENERAL BUILDING AND CONSTRUCTION PRINCIPALS AS WELL AS BUILDING CODE REQUIREMENTS. IF THE BUILDER USING THESE DRAWINGS NEEDS SPECIFIC INFORMATION NOT PROVIDED IN THIS SET OF DRAWINGS THE BUILDER SHOULD NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY, AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/BUILDER CONTRACT IS, AND SHALL BE, THE BUILDER'S RESPONSIBILITY.
- BUILDER SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- CHANGES TO THESE DRAWINGS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY IN WRITING. SBA STUDIOS, LLC ASSUMES NO RESPONSIBILITY FOR CHANGES TO THESE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.
- THESE DRAWINGS SHOULD NOT BE SCALED. IN CASE OF DISCREPANCY, THE WRITTEN DIMENSIONS SHALL RULE. VERIFY WITH ARCHITECT BEFORE PROCEEDING WITH WORK.
- CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES
- ALL INTERIOR DIMENSIONS ARE TO ARE TO ROUGH FACE OF STUDS, BLOCK OR OTHER ROUGH FRAMING.
- ALL EXTERIOR DIMENSIONS ARE TO ROUGH FACE OF BLOCK, POURED CONCRETE, OR SHEATHING.
- ALL MATERIALS USED ARE TO BE NEW, FIRST CLASS QUALITY BUILDING MATERIALS. STORE ALL MATERIALS IN SUCH A MANNER SO AS NOT TO OVERSTRESS OR DAMAGE ANY STRUCTURE OR MATERIALS DURING INSTALLATION.
- CONTRACTOR TO PROVIDE BLOCKING, AS NECESSARY, IN WALLS AND CEILINGS TO ANCHOR ALL WALL AND CEILING MOUNTED FIXTURES / EQUIPMENT. FIELD VERIFY LOCATIONS WITH OWNER.

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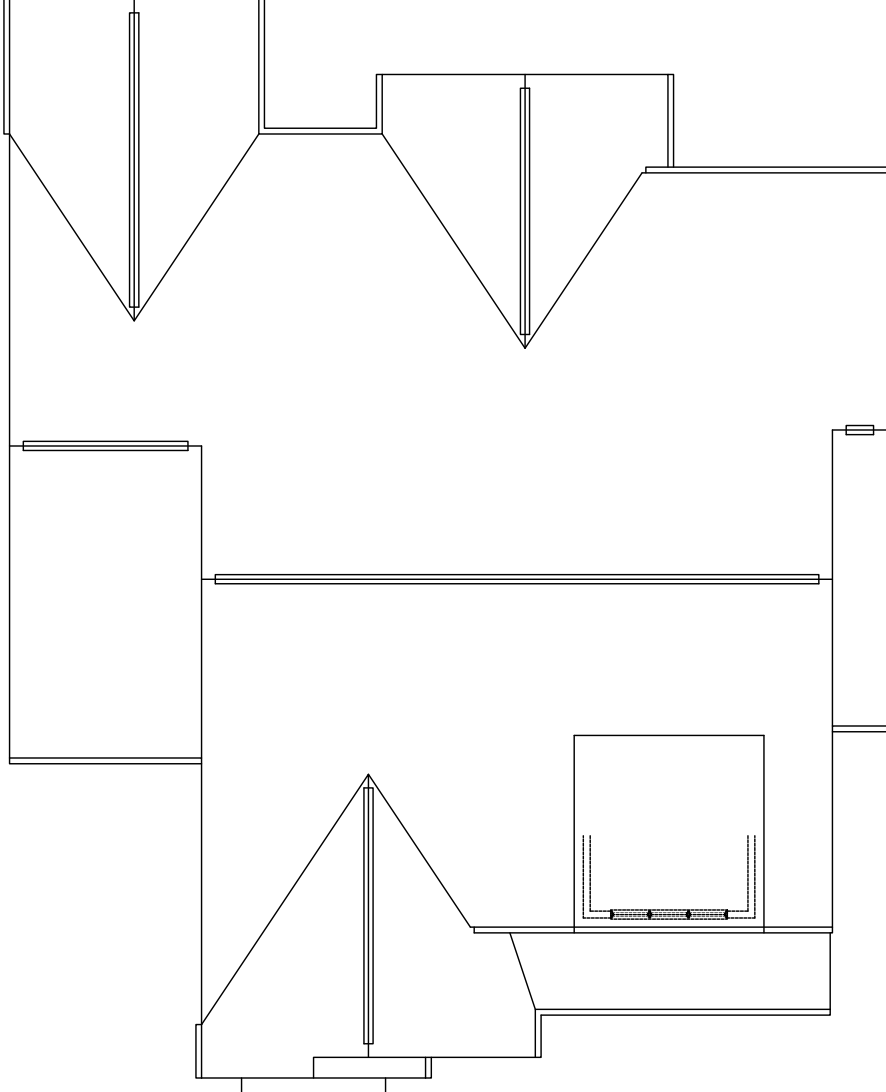
FINISHED BASEMENT PLAN



FIRST FLOOR PLAN



ROOF PLAN



SCALE: VARIES
SHEET # / DESCRIPTION
COVER SHEET
A0-0
DATE: 06.15.2022
CONSTRUCTION DOCUMENTS
SBA STUDIOS PROJECT # 2022-128