

P&D BUILDERS LTD.
59 Grefl Parkway Suite 100
Delaware, Ohio 43015
(740) 201-8079
Fax (740) 201-8084
www.pndbuilders.com

ALL DESIGNS ARE THE SOLE PROPERTY OF P&D BUILDERS LTD. NO REPRODUCTION OR CHANGE OF THESE PLANS MAY BE MADE WITHOUT WRITTEN AND SIGNED CONSENT OF THE ARCHITECT OF THE FIRM.

P&D JOB # 1278

PRELIMINARY DESIGN
NOT TO SCALE - NOT FOR CONSTRUCTION

Danne
Residential Design & Drafting
614.207.6266 danne@pnd.com

REVISION	DATE	BY	DESCRIPTION
1	8/4/17	rdw	concept
2	8/9/17	rdw	concept rev
3	9/5/17	rdw	concept rev
4	9/19/17	rdw	plans/qty

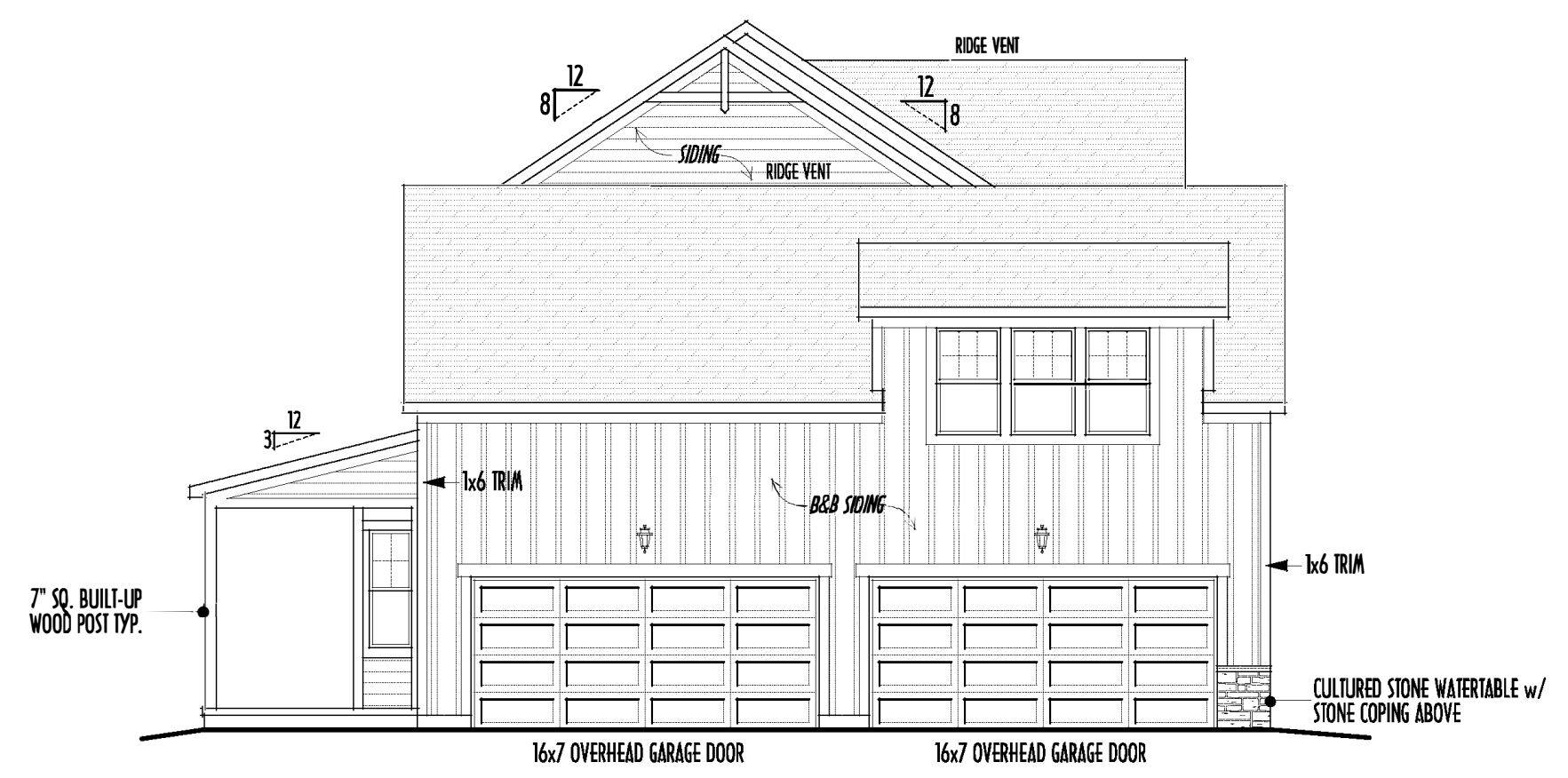
TO SCALE WHEN PRINTED 24x36 - PAPER SIZE 11" x 17" FIELD HATCH (DASHES) - DO NOT SCALE PRINTS

DESIGNED BY P&D / rdw

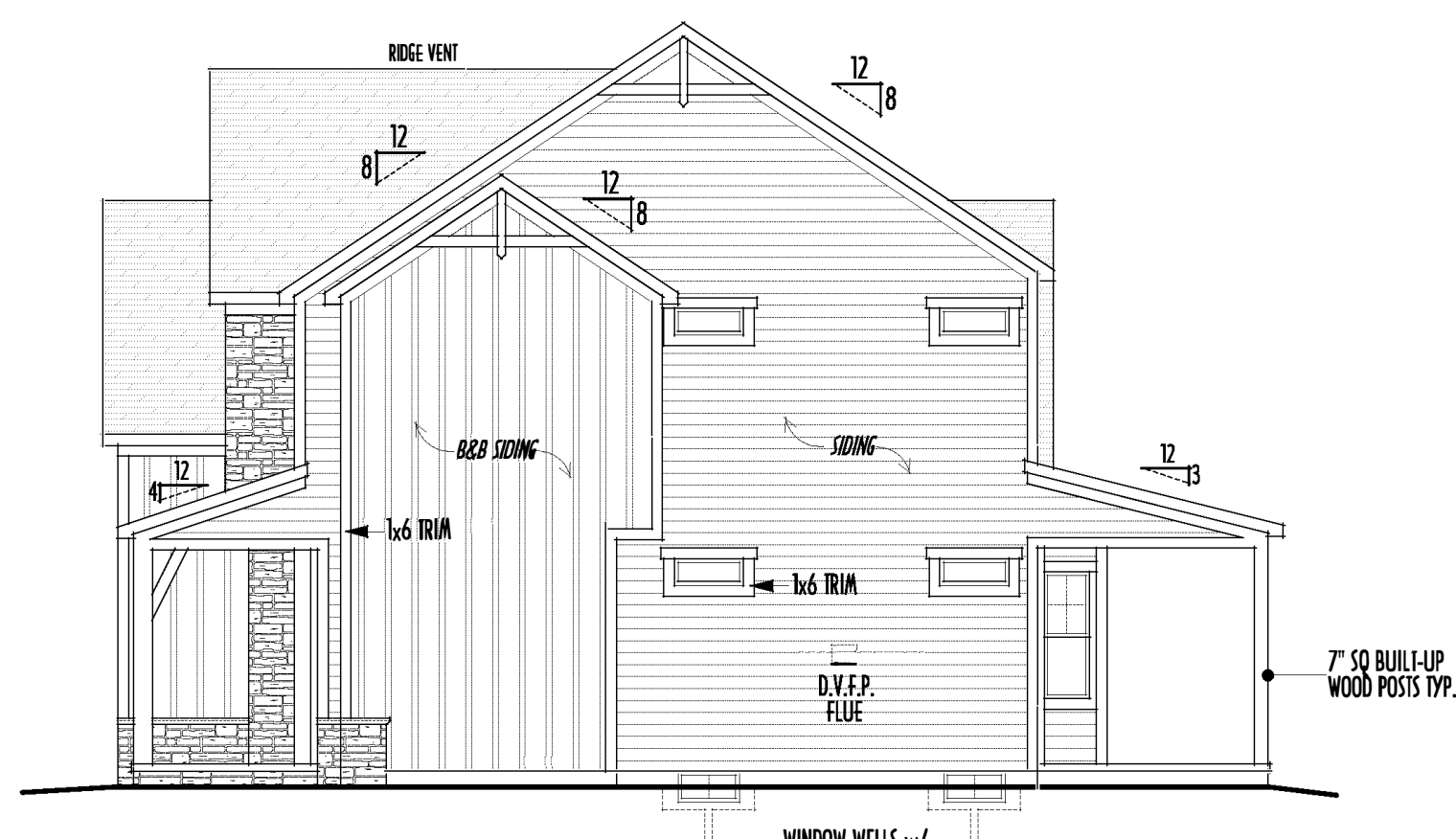
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FRONT ELEVATION
SCALE : 1/4" = 1'-0"



LEFT ELEVATION
SCALE : 1/8" = 1'-0"



RIGHT ELEVATION
SCALE : 1/8" = 1'-0"

FINAL WINDOW DESIGN PER PROVIDER. ALL FRAMING ROUGH-OPENINGS TO BE BASED ON FINAL LAYOUT ONLY.
EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS) MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER.
GRADE ELEVATION SHOWN IS APPROXIMATE. FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY.



BACK ELEVATION
SCALE : 1/8" = 1'-0"

FIRST FLOOR CEILINGS @ 9'-1 1/8" UNLESS NOTED OTHERWISE.
FIRST FLOOR WINDOW HEADERS @ 7'-6" UNLESS NOTED OTHERWISE.
SECOND FLOOR CEILINGS @ 8'-1 1/8" UNLESS NOTED OTHERWISE.
SECOND FLOOR WINDOW HEADERS @ 6'-10" UNLESS NOTED OTHERWISE.
EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS.
SEE ROOF PLAN FOR SOFFIT & RAKE SIZES.
RUN BRICK VENEER 1" PAST FRAMING CORNERS.
CULTURED STONE VENEER WRAPS FRONT CORNERS MIN 6" INTO 1X6 WOOD TRIM UNLESS NOTED.
FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM.
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT.
WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. CONFIRM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER.
RUN STUCCO, STONE & BRICK VENEER TO GRADE UNLESS NOTED.
WEEP SCREEDS FOR STUCCO EXTERIORS SHALL COMPLY WITH R-703.6.2.1 (#26 GALV CORROSION-RESISTANT SCREED AT/ABV FOUNDATION PLATE (3.5" FLANGE) PLACED AT MIN 4" ABV EARTH / 2" ABV PAVING, ALLOWING TRAP'D WATER TO DRAIN.)
SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE.

- DIMENSIONAL SHINGLES
- FAUX STONE VENEER
- HORIZ. LAP SIDING
- BOARD & BATTEN SIDING

FIRST FLR LIVING SP =	1,483 SQ. FT.
SECOND FLR LIVING SP =	1,785 SQ. FT.
TOTAL LIVING SP =	3,268 SQ. FT.
OPT. BONUS RM ABV GARAGE =	322 SQ. FT.

2ND FLR



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P&D 1278, 12/18/2017, 12/18/2017, 12/18/2017

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3	9/5/17	rdw	concept rev
4	9/19/17	rdw	prelim/qty

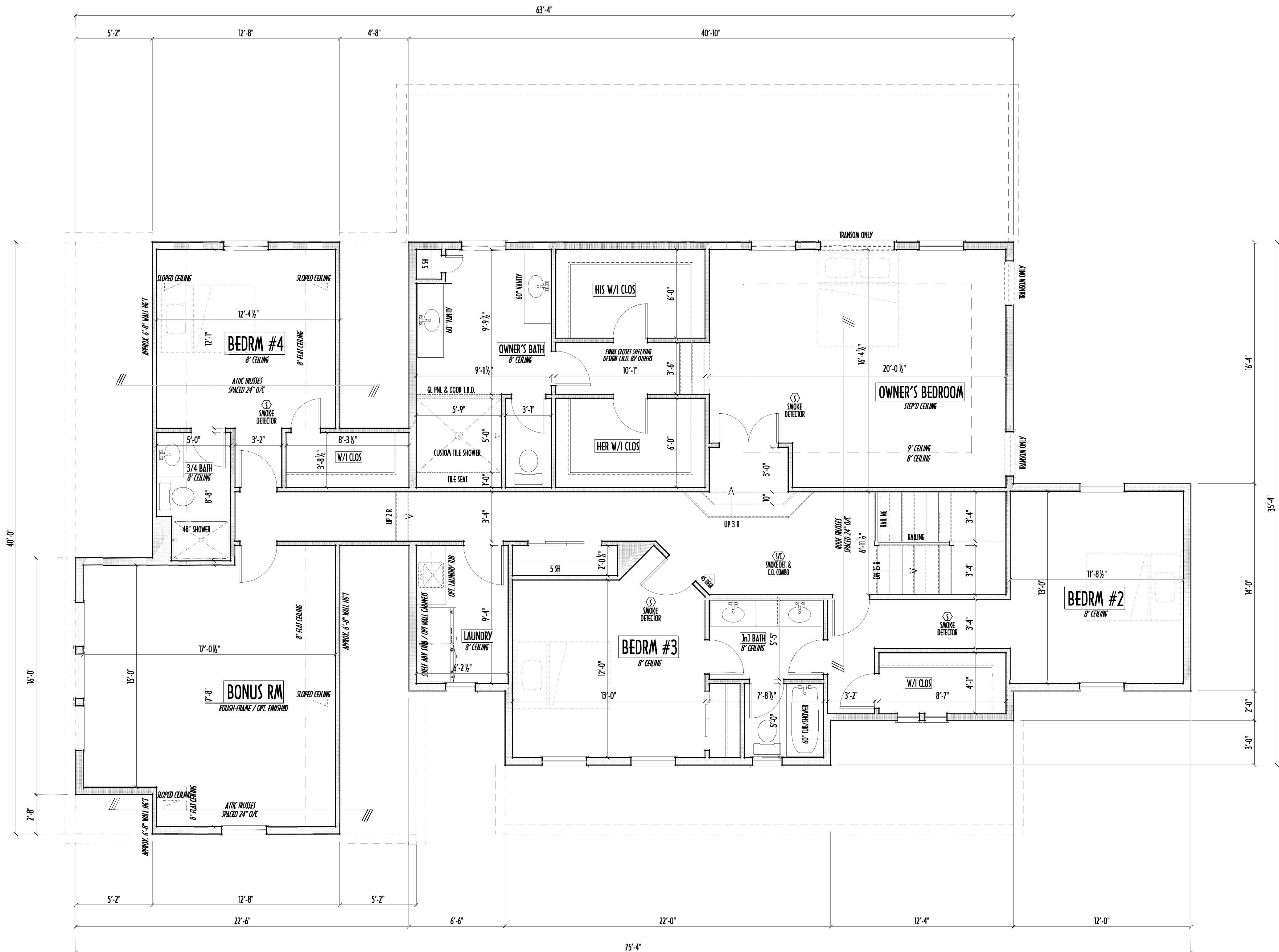
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SECOND FLOOR CEILINGS AT 8'-3 1/8" ROUGH UNLESS NOTED
SECOND FLOOR WINDOWS HEADERS AT 6'-10" UNLESS NOTED
EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O/C UNLESS NOTED)
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)
SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDROOMS 30 PSF)
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED
IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS REQUIREMENTS (MIN. 20" WIDE X 24" TALL & 5.7 SQ. FT.) PER I.C.C. 310
CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER AND ADJUST FRAMING DIMENSIONS AS NECESSARY
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REA-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)
INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLUE INSPECTION
FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER R20 314 & 315 <75 FSR, <450 SDR PER ASTM E94



SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

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PLEASE NOTE: PRELIMINARY DESIGNS ARE SUBJECT TO CHANGE DUE TO STRUCTURAL OR LOAD REQUIREMENTS. ITEMS SHOWN MAY BE OPTIONAL/VENTILATION. PLEASE REFER TO YOUR CONTRACT FOR SPECIFICATIONS & DESCRIPTIONS.

FND/BSMT

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ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.

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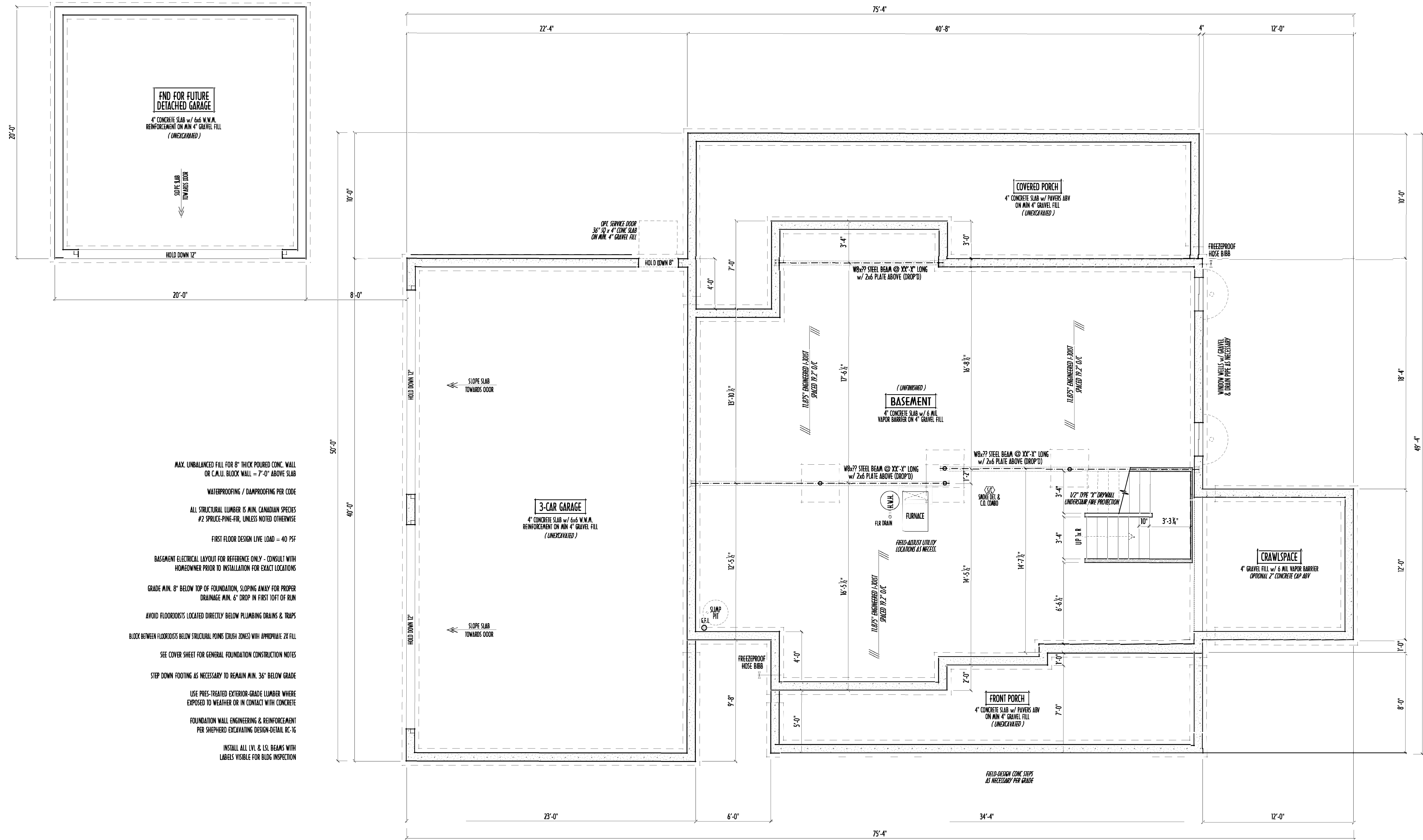
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FOUNDATION / BASEMENT PLAN
SCALE : 1/4" = 1'-0"

BASEMENT SLAB =	1,241 SQ. FT.
FRONT PORCH =	225 SQ. FT.
GARAGE SLAB =	860 SQ. FT.
BACK PORCH SLAB =	389 SQ. FT.
CRAWLSPACE AREA =	121 SQ. FT.
FUTURE DETACHED GARAGE SLAB =	360 SQ. FT.

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