

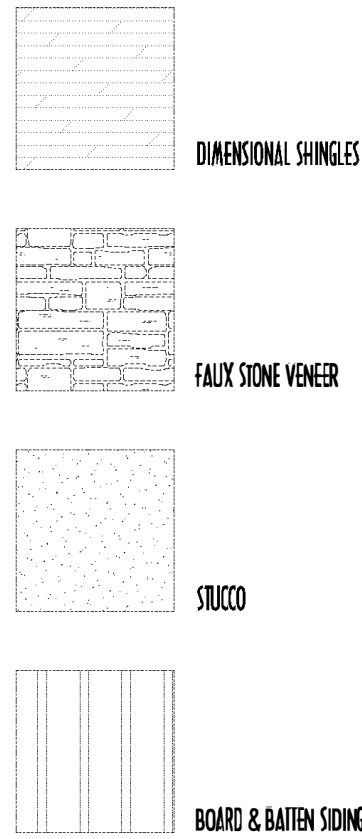


P&D Builders Ltd.
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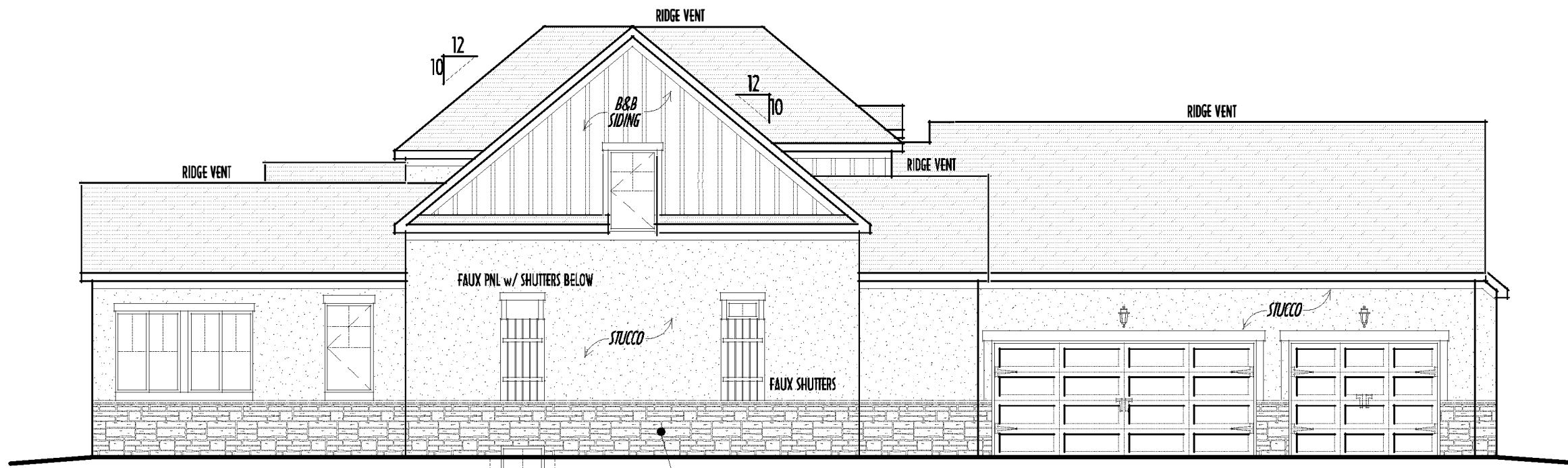
NO. 001 1376

- STANDARD EXTERIOR MATERIAL NOTES:
- ROOF SHINGLES TO BE 30 YEAR DIMENSIONAL
 - PAINT COLORS FROM A HISTORIC PALETTE ARE REQUIRED
 - FRONT ENTRY DOOR TO BE FIBERGLASS OR WOOD
 - ANY ROOF PENETRATIONS WILL OCCUR ON SIDE OR BACK ELEVATIONS, AND BE PAINTED TO MATCH ROOF COLORS
 - GUTTERS ARE REQUIRED TO BE Ogee OR 1/2 ROUND
 - EAVES ARE CLOSED SOFFIT (AS SHOWN ON ROOF DETAIL PG#)
 - ROUGH-IN FOR FUTURE RADON MITIGATION SYSTEM



FRONT ELEVATION
SCALE : 1/4" = 1'-0"

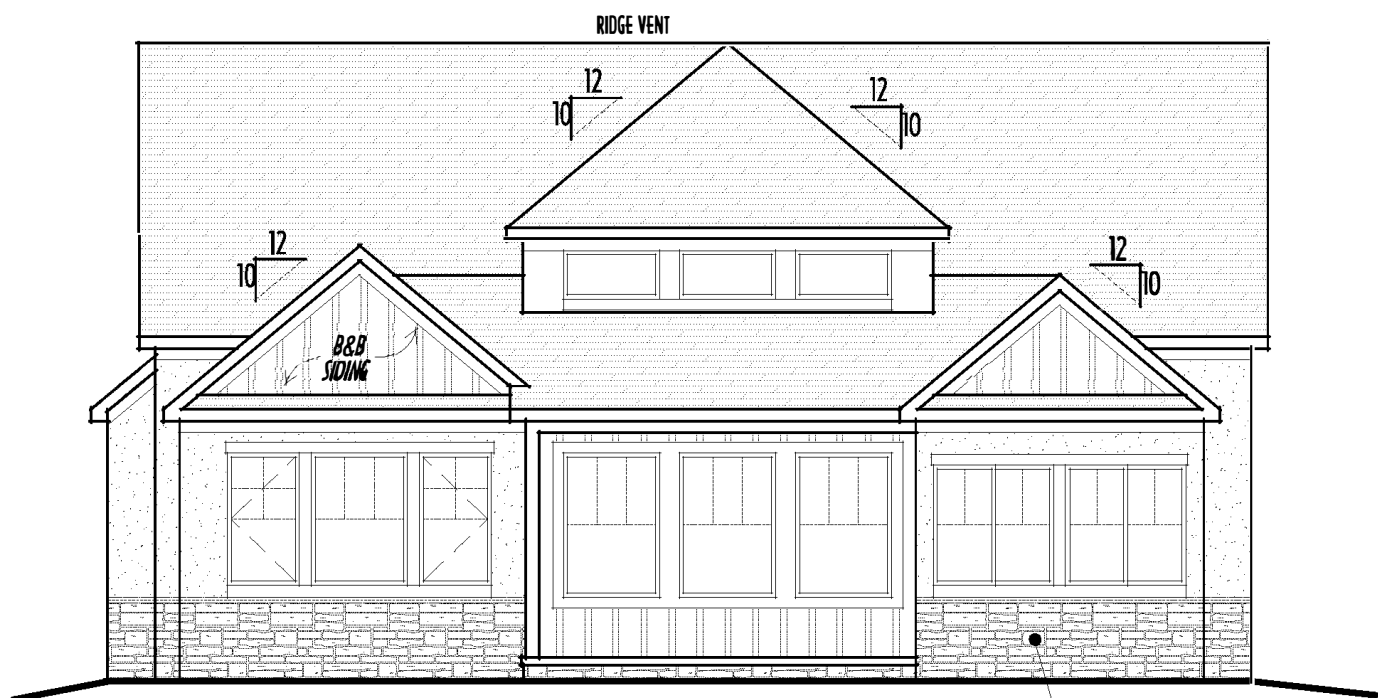
FIELD DESIGN FOR ONE STEP DOWN
TO MATCH RAISE PACKAGE AS NECESSARY
EXACT DOOR & SIDELIGHT STYLE
TO BE DETERMINED BY CLIENT



LEFT ELEVATION
SCALE : 1/8" = 1'-0"



RIGHT ELEVATION
SCALE : 1/8" = 1'-0"



BACK ELEVATION
SCALE : 1/8" = 1'-0"

FINAL WINDOW DESIGN PER PROVIDER. ALL FRAMING ROUGH-OPENINGS TO BE BASED ON FINAL LAYOUT ONLY

EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS) MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER

GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY

FIRST FLOOR CEILINGS @ 9'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOW HEADERS @ 7'-6" UNLESS NOTED OTHERWISE

SECOND FLOOR CEILINGS @ 8'-1 1/8" UNLESS NOTED OTHERWISE
SECOND FLOOR WINDOW HEADERS @ 6'-10" UNLESS NOTED OTHERWISE

EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS
SEE ROOF PLAN FOR SOFFIT & RAKE SIZES

RUN BRICK VENEER 1" PAST FRAMING CORNERS
CULTURED STONE VENEER WRAPS FRONT CORNERS MIN 6"

INTO 1X6 WOOD TRIM UNLESS NOTED
FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A

A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

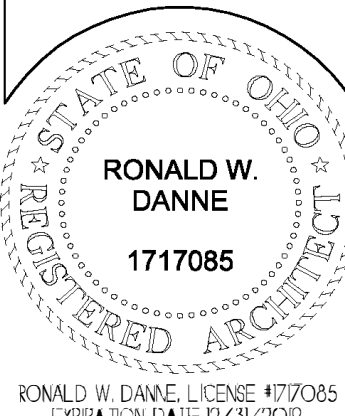
WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
CONFIRM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER

RUN STUCCO, STONE & BRICK VENEER TO GRADE UNLESS NOTED

WEEP SCREENS FOR STUCCO EXTERIORS SHALL COMPLY WITH R-703.6.2.1
(#36 GALV CORROSION-RESISTANT SCREENED AT/ABV FOUNDATION PLATE (3.5" FLANGED)
PLACED AT MIN 4" ABV EARTH / 2" ABV PAVING, ALLOWING TRAP'D WATER TO DRAIN)

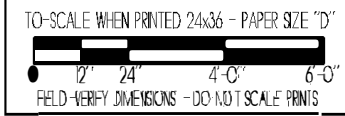
SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

FIRST FLR LIVING SP =	1,714 SQ.FT.
SECOND FLR LIVING SP =	664 SQ.FT.
TOTAL LIVING SP =	2,378 SQ.FT.
3-SEASON RM =	132 SQ.FT.
OPT. FINISHED BSMT =	xxx SQ.FT.



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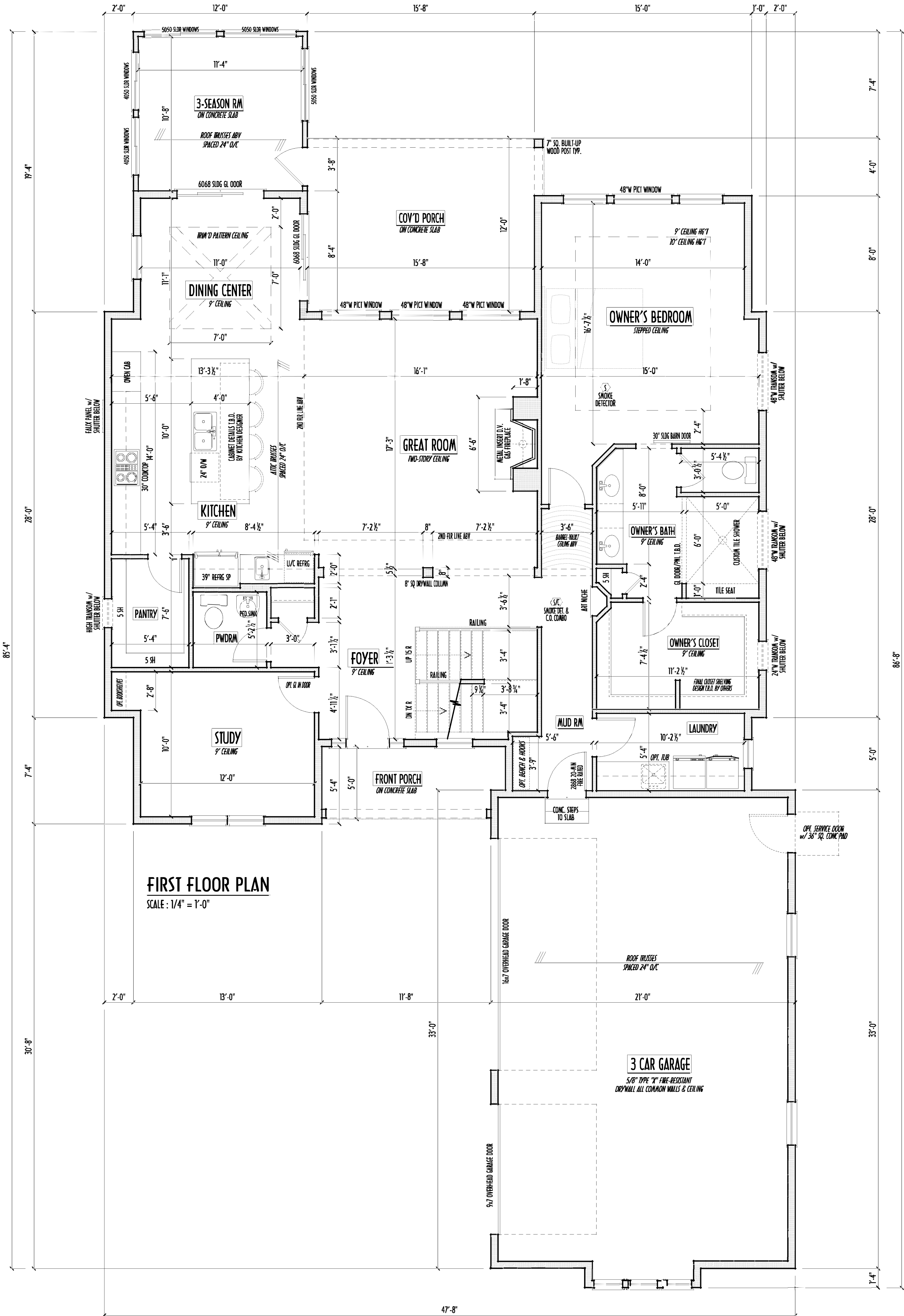
REVISION DATE	BY	REVISION
1/6/19	rwd	concept
1/16/19	rwd	concept rev
1/25/19	rwd	prelims
1/31/19	rwd	prelim rev



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FIRST FLOOR CEILINGS AT 9'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOWS HEADERS AT 7'-6" UNLESS NOTED OTHERWISE
CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP
FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO CONFORM TO 2015 I.C.C. AND/OR APPLICABLE LOCAL CODES
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT
CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HGT'S w/ PROVIDER
CONFIRM FLOORING & FINISH MATERIALS w/ JOB SUPERVISOR (PER CONTRACT)
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF WOOD FRAMING LENGTHS AND/OR PENETRATION
AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT MIDSPAN PER CODE
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REA-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)
INSTALL ALL LVL & ISL BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION



PLEASE NOTE: PRELIMINARY DESIGN ARE SUBJECT TO CHANGE DUE TO STRUCTURAL OR CODE REQUIREMENTS. ITEMS SHOWN MAY BE OBTAINED EXTRA. PLEASE REFER TO YOUR CONTRACT FOR SPECIFICATIONS & DESCRIPTIONS.

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1ST FLR

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PRO JOB #

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PRELIMINARY DESIGN
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REVISION DATE:	BY:	FILED/ID
1/6/19	rwd	concept
1/8/19 & 1/14/19	...	concept rev
1/25/19 & 1/27/19	...	prelims
1/31/19	...	prelim rev

TO SCALE WHEN PRINTED 24"X36" PAPER SIZE 11"

1"=8'-0"

FIELD VERIFY DIMENSIONS - DO NOT SCALE DIMS

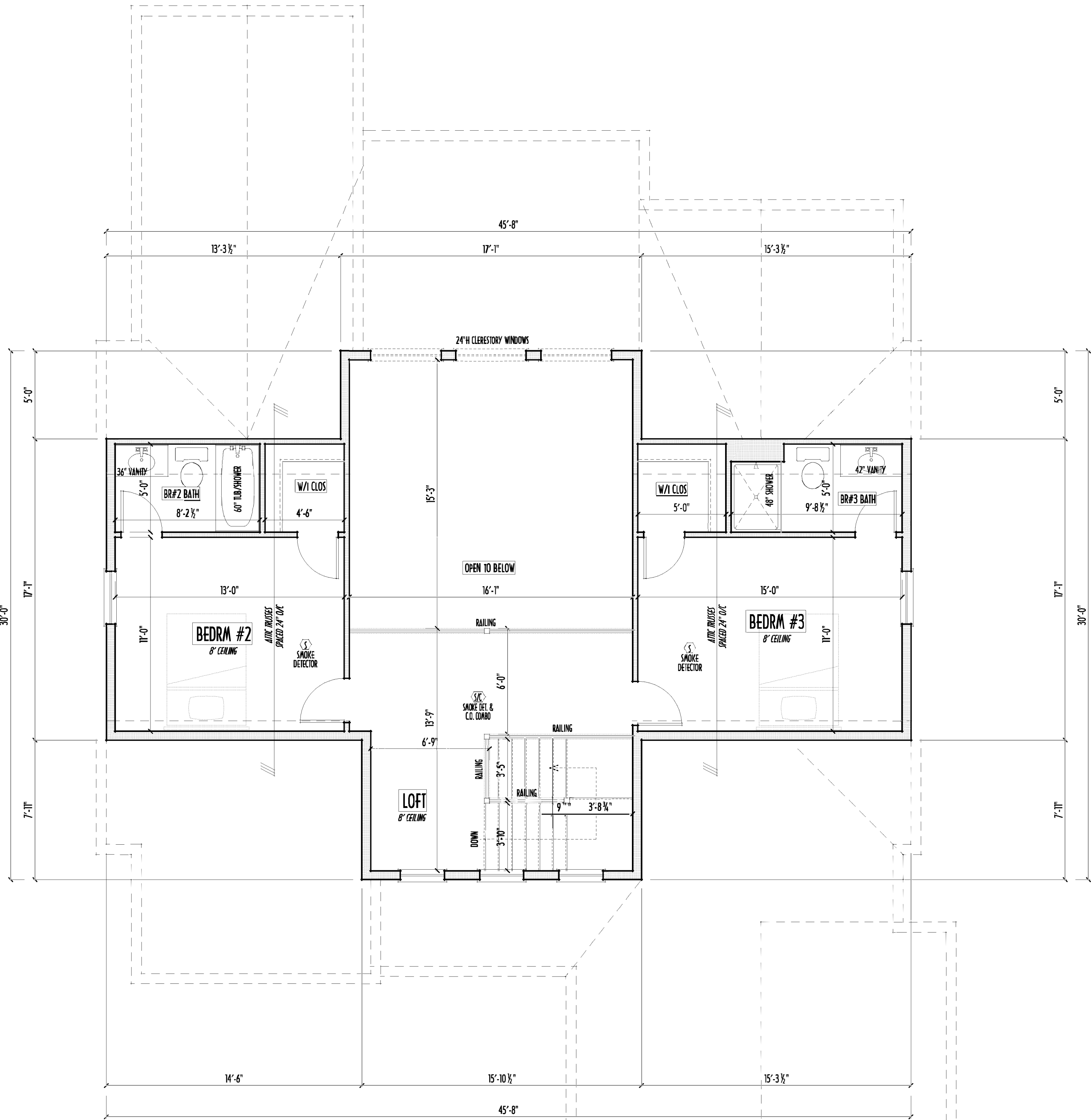
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SECOND FLOOR CEILINGS AT 8'-1 1/8" ROUGH UNLESS NOTED
SECOND FLOOR WINDOWS HEADERS AT 6'-10" UNLESS NOTED
EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O/C UNLESS NOTED)
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)
SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDRMS 30 PSF)
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED
IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS REQUIREMENTS (MIN. 20" WIDE X 24" TALL & 5.7 SQ.FT.) PER R.C.O. 310
CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER AND ADJUST FRAMING DIMENSIONS AS NECESSARY
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REA-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)
INSTALL ALL LVL & LSI BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION
FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCO 314 & 315 <75 PSR, <450 SDR PER ASTM E64



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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2ND FLR



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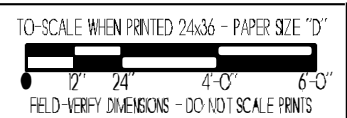
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PRELIMINARY DESIGN
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STATE OF OHIO
REGISTERED ARCHITECT
RONALD W. DANNE
1717085
RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2019

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REVISION DATE	BY	REVISION
1/6/19	rwd	concept
1/13/19 & 1/14/19	"	concept rev
1/25/19 & 1/27/19	"	prelims
1/31/19	"	prelim rev



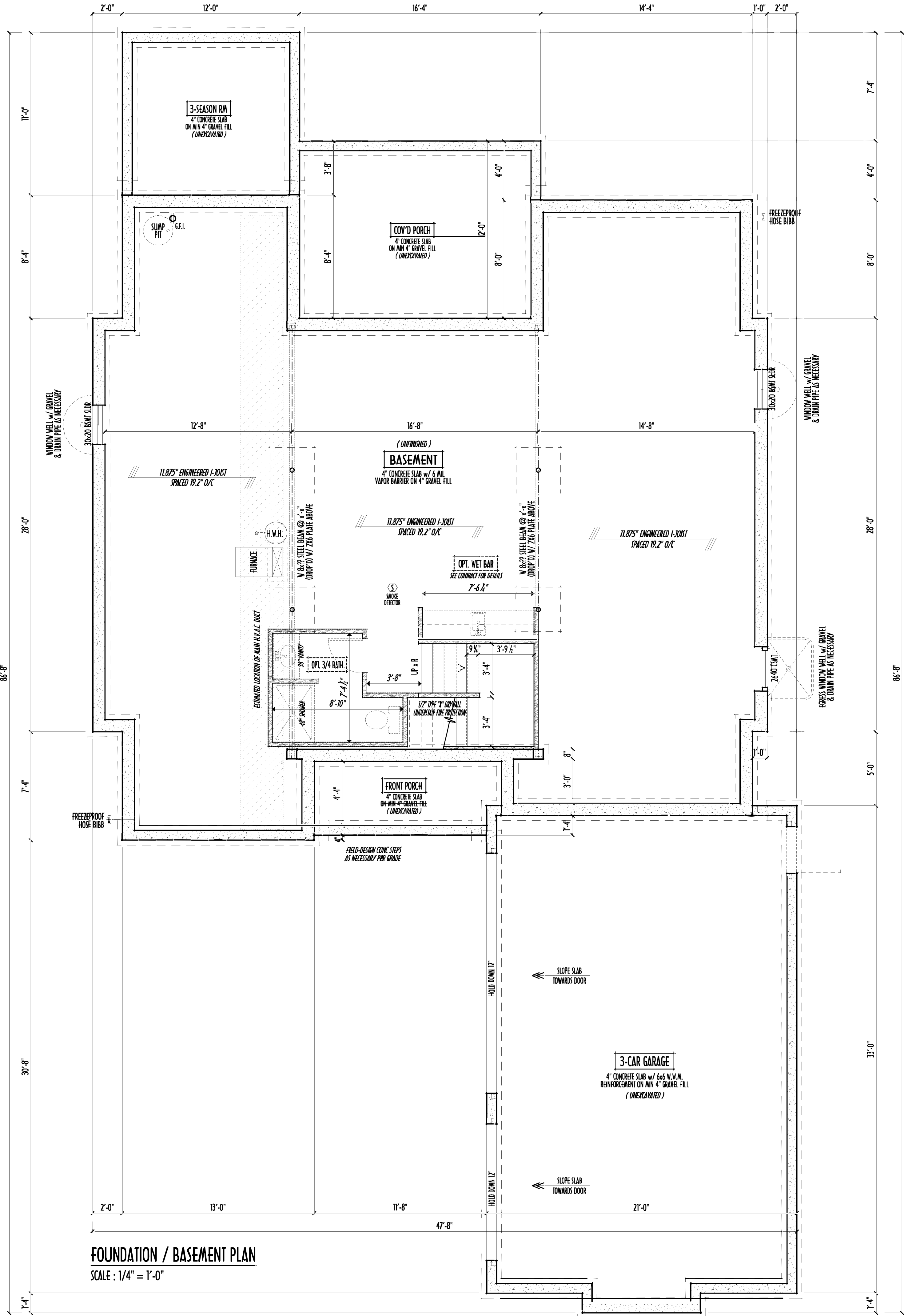
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- MAX. UNBALANCED FILL FOR 8" THICK POURED CONC. WALL OR C.A.U. BLOCK WALL = 7'-0" ABOVE SLAB
- WATERPROOFING / DAMPROOFING PER CODE
- ALL STRUCTURAL LUMBER IS MIN. CANADIAN SPECIES #2 SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE
- FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
- BASEMENT ELECTRICAL LAYOUT FOR REFERENCE ONLY - CONSULT WITH HOMEOWNER PRIOR TO INSTALLATION FOR EXACT LOCATIONS
- GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY FOR PROPER DRAINAGE MIN. 6" DROP IN FIRST 10FT OF RUN
- AVOID FLOODDOCKS LOCATED DIRECTLY BELOW PLUMBING DRAINS & TRAPS
- BLOCK BETWEEN FLOODDOCKS BELOW STRUCTURAL POINTS (CROSS ZONES) WITH APPROPRIATE ZF FILL
- SEE COVER SHEET FOR GENERAL FOUNDATION CONSTRUCTION NOTES
- STEP DOWN FOOTING AS NECESSARY TO REMAIN MIN. 36" BELOW GRADE
- USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE
- FOUNDATION WALL ENGINEERING & REINFORCEMENT PER SHEPHERD EXCAVATING DESIGN-DETAIL RC-16
- INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLOG INSPECTION



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RONALD W. DANNE LICENSE #1717085
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1/25/19 & 1/27/19	"		prelims
1/31/19	"		prelim rev

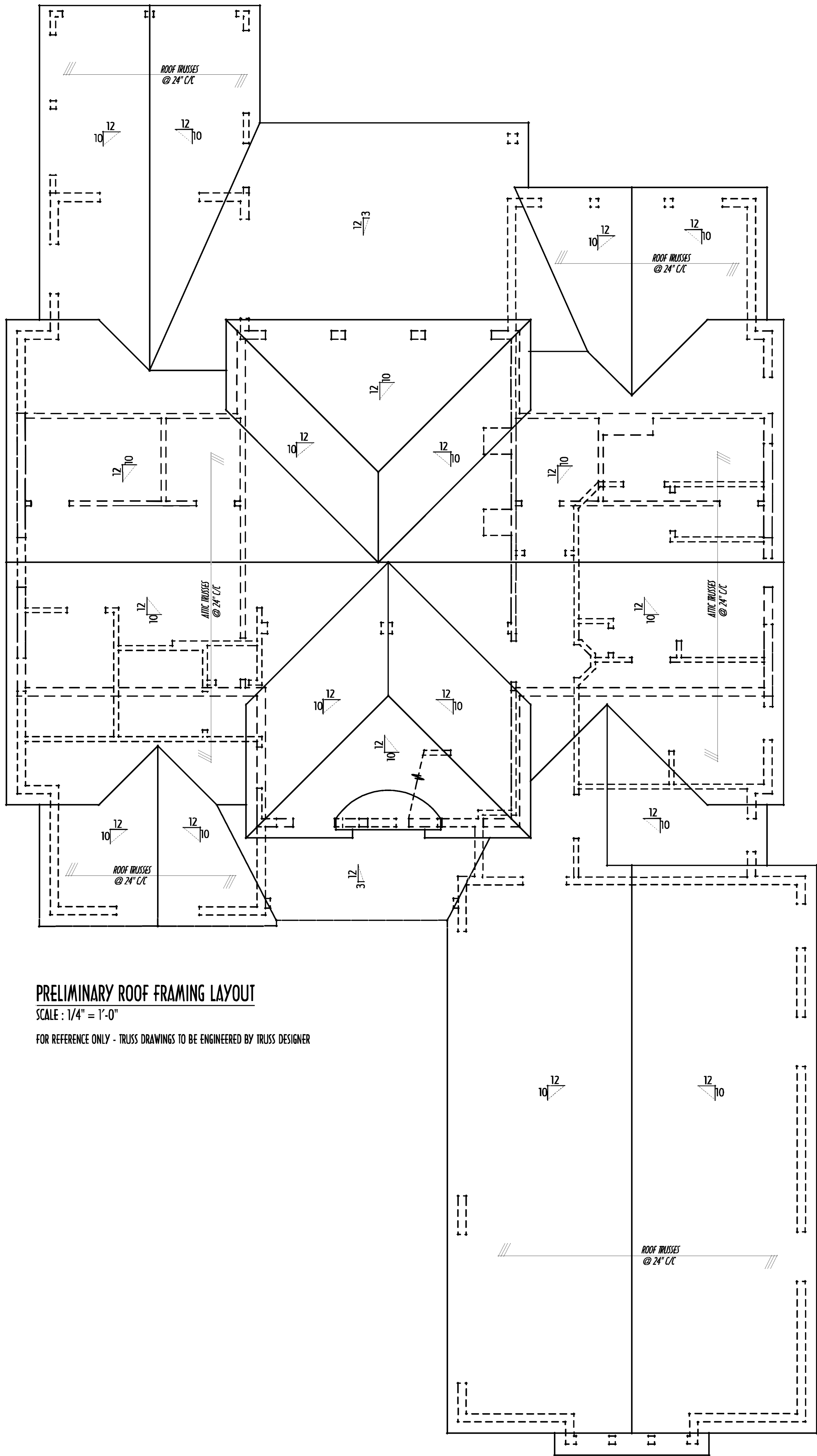
10-SCALE WHEN PRINTED 24x36 - PAPER SIZE 11x17
FIELD DIMENSIONS - 1/4" = 1'-0" SCALE (1/4" = 1'-0")

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PRELIMINARY ROOF FRAMING LAYOUT
SCALE : 1/4" = 1'-0"
FOR REFERENCE ONLY - TRUSS DRAWINGS TO BE ENGINEERED BY TRUSS DESIGNER

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ROOF

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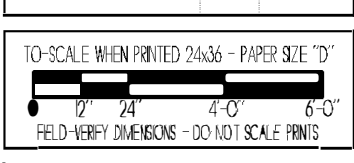
JOB LOCATION

A NEW VISION FROM AN OLD CONSTRUCTION

STATE OF OHIO
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1717085
RONALD W. DANNE LICENSE #1717085
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