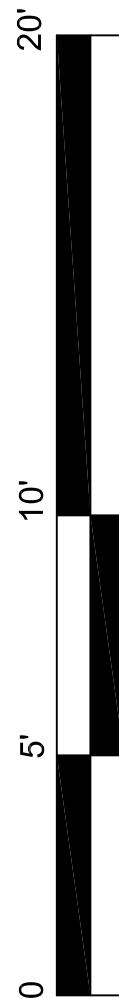
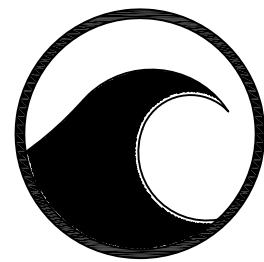


M<sup>3</sup> DESIGNS INC  
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SQUARE FOOTAGE	
FIRST FLOOR	1820 SQ.FT.
SECOND FLOOR	1260 SQ.FT.
THIRD FLOOR	90 SQ.FT.
TOTAL HEATED	3170 SQ.FT.
IMPERVIOUS COVERAGE	
MAX SQ. FT. PER ORDINANCE	2617 SQ.FT.
PROPOSED IMPERVIOUS	2419 SQ.FT.



3802 CAMERON BLVD.  
ISLE OF PALMS, SOUTH CAROLINA  
COVER

REVISIONS

Revised 6/10/25

1136 sq. ft. decks  
3170 sq. ft. of heated  
4306 total sq. ft.



GENERAL NOTES:

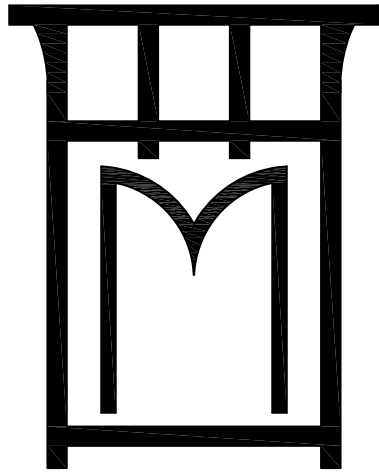
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY OF LOADING DOCKS AND ELEVATORS FOR THE PURPOSES OF DELIVERY, AND ALSO AS TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.
- EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEEPED CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
- PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.
- TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINET WORK WILL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.
- UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH BUILDING MANAGER AND COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.
- ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY BUILDING MANAGER.
- PROVIDE FLASHING AT ALL TYPICAL FLASHING LOCATIONS, INCLUDING DOOR PANS, ROOF FLASHING TO BY SAME MATERIAL AS METAL ROOF AND PROVIDED BY ROOF MANUFACTURER.
- ALL WINDOWS, DOORS, & VENTS TO MEET WIND LOAD REQUIREMENTS AND BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURE SPECS. SEE MANUFACTURE'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS.
- ALL EXTERIOR MATERIALS- SIDING AND TRIM, STUCCO CONVENTIONAL OR SYNTHETIC, AND ROOFING - SHALL BE INSTALLED PER MANUFACTURE'S SPECS AND RECOMMENDATION. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION.
- ALL WALLS, STEPS, AND GARAGE DOORS BELOW FLOOD LEVEL TO BE CLASS 4 OR 5.
- CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS INSTALLED. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS FOR ALL INSTALLED ITEMS.

A SITE PLAN OF  
3802 CAMERON BLVD.  
LOT 2 BLOCK V SECTION BC-2E  
ISLE OF PALMS, SC  
7,479 SQ. FT. = 0.17 AC

IMPERVIOUS COVERAGE	MAX HEATED COVERAGE
MAX SQ. FT. PER ORDINANCE	MAX. HEATED
2617 SQ.FT.	3200 SQ.FT.
PROPOSED IMPERVIOUS	TOTAL HEATED
2419 SQ.FT.	3170 SQ.FT.

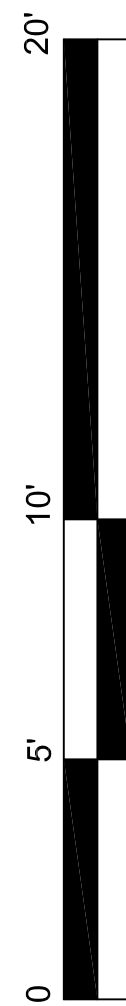
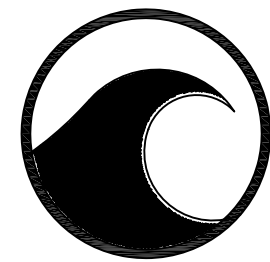
BUILDING NOTES

- CONTRACTOR TO VERIFY ALL REVISIONS WITH OWNERS, AND SUB CONTRACTORS FOR CLARIFICATION, PRIOR TO ANY MODIFICATIONS.
- ANY REVISIONS THAT REQUIRE "CHANGE ORDER FEES", MUST BE APPROVED IN A WRITTEN FORMAT, AND SIGNED BY BOTH OWNER AND CONTRACTOR PRIOR TO WORK. OWNERS ARE NOT RESPONSIBLE FOR CHANGE ORDER FEES THAT ARE NOT APPROVED AND SIGNED BY BOTH, OWNER AND CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CHANGE ORDER DOCUMENTS WITHIN (1) ONE WEEK OF SUBMITTED REVISION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY, TO PROVIDE A THOROUGH "BUILD SCHEDULE" TO THE OWNERS. THIS DOCUMENT SHALL OUTLINE - A VISUAL CALENDAR FOR EACH PHASE OF THE PROJECT: INCLUDING - CITY BUILDING INSPECTIONS, TRADE ROUGH IN AND TRIM OUT (START AND COMPETITION DATES), AND DATES FOR OWNER PROVIDED ITEMS. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE "OWNER PROVIDED ITEMS" (DOCUMENTS AND/OR ITEMS) TO THE CONTRACTOR PER THE "BUILD SCHEDULE".
- SCHEDULING DELAYS ARE NOT THE OWNER'S RESPONSIBILITY, UNLESS "OWNER PROVIDED ITEMS" ARE NOT DELIVERED PER THE AGREED UPON "BUILD SCHEDULE".



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SQUARE FOOTAGE	
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THIRD FLOOR	90 SQ.FT.
TOTAL HEATED	3170 SQ.FT.
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3802 CAMERON BLVD.  
ISLE OF PALMS, SOUTH CAROLINA  
GROUND FLOOR PLAN

REVISIONS

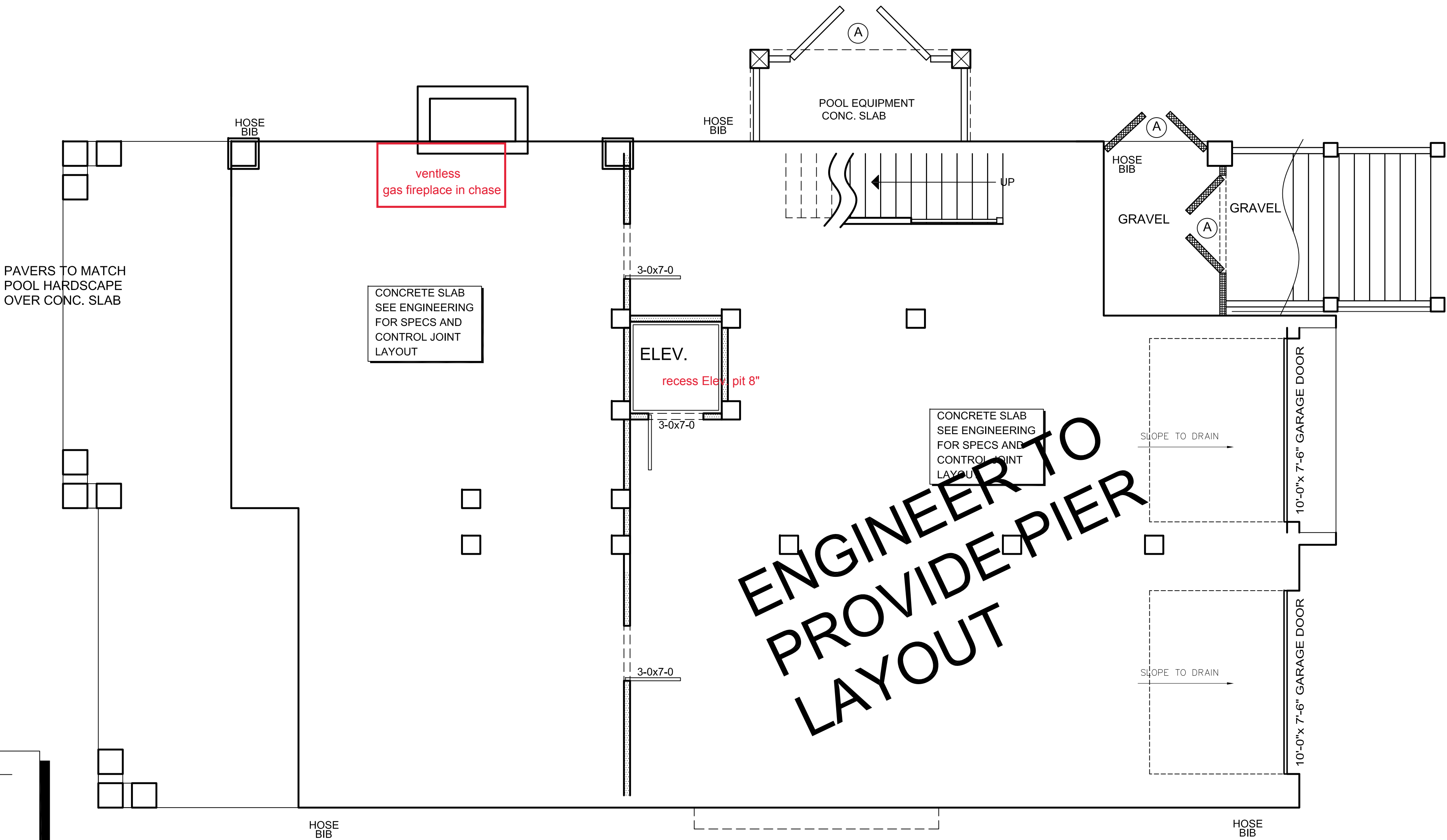
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a03  
DATE  
12-07-24

WALL LEGEND

- TR. 1x6 VERTICAL SCREENING - 3/4" GAP BETWEEN BOARDS.
- TR. 2x4 FRAME WALLS ( NON LOAD BEARING) WITH T 1-11 PLYWOOD, BOTH SIDES - PROVIDE FLOOD VENTS PER ENGINEER.
- 8" CMU MASONRY WALL WITH HEAVY SHELL TABBY STUCCO.
- CMU MASONRY UNIT PIERS WITH HEAVY SHELL TABBY STUCCO.

NOTES:

1. SEE ENGINEER PLANS FOR STRUCTURAL DIMENSIONS.
2. PROVIDE 8"x16" "SMART VENT" FLOOR VENTS PER CODE. REFER TO ENGINEERING FOR FLOOD VENT CALCULATION AND INSTALLATION.
4. ALL MATERIALS BELOW BFE TO BE CLASS 3 OR 4 IN COMPLIANCE WITH FEMA REGULATIONS.
3. COORDINATE WINDOW AND DOOR ROUGH OPENINGS WITH SUPPLIER. PERSONEL DOORS TO BE FIBERGLASS, WINDOWS TO BE EITHER VINYL OR FIBERGLASS TO MEET FEMA REQUIREMENTS.
- (A) PROVIDE DOORS BUILT INTO AND OUT OF THE WOOD SCREENING.



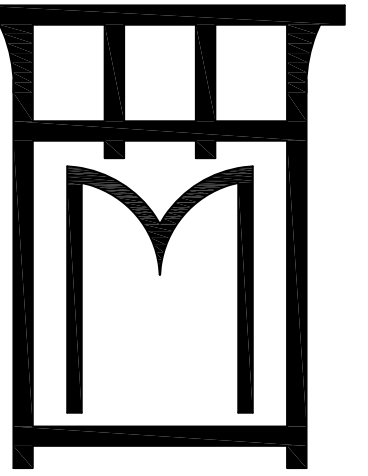
NOTES:

1. PROVIDE SOUND INSULATION IN ALL INTERIOR WALLS AND FLOORS. SOUND INSULATE AROUND ALL INTERIOR PLUMBING DRAIN PIPES.
2. VERIFY ALL DOOR AND WINDOW - ROUGH OPENING SIZES WITH SUPPLIER AND FRAMER PRIOR TO FRAMING.
3. PROVIDE BLOCKING FOR ANY AND ALL CABINETS, BATHROOM ACCESORIES AND LIGHTING. VERIFY LOCATIONS WITH OWNERS.
4. INSULATION  
- ROOF - OPEN CELL SPRAY FOAM.  
- EXTERIOR WALLS - BATT INSULATION ( MAXX. R-VALUE).  
- FIRST FLOOR - CLOSED CELL SPRAY FOAM INSULATION.
5. JOB VERIFY RISE AND RUN ON ALL STAIRS.
6. FIRST COURSE OF PLYWOOD SHEATHING, AND ALL AREAS THAT PORCHS AND DECK CONNECT TO BE TREATED PLYWOOD.
7. PRIOR TO FRAMING, VERIFY THAT ALL PLUMBING DROPS, PLUMBING FIXTURE LOCATIONS, ELECTRICAL FIXTURE LOCATIONS, AND HVAC COMPONENTS, ARE CLEAR OF FLOOR JOISTS, STRUCTURAL BEAMS, AND PIERS. IF ANY ARE IN CONFLICT, HAVE ENGINEER'S WRITTEN APPROVAL FOR ANY STRUCTURAL MODIFICATIONS.
8. VERIFY ALL ELECTRICAL AND PLUMBING FIXTURES LOCATIONS WITH OWNERS DURING FRAMING.
9. WINDOW AND DOOR SIZES ARE IN FEET AND INCHES.  
WINDOWS - 3060 = 3'-0" x 6'-0"  
DOORS - 3-0x8-0 = 3'-0" x 8'-0"

GROUND FLOOR PLAN

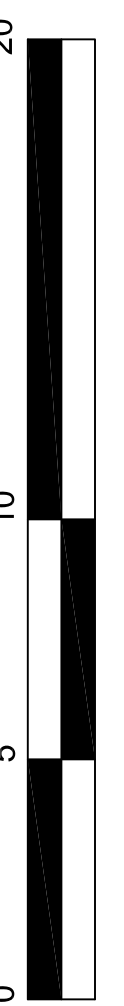
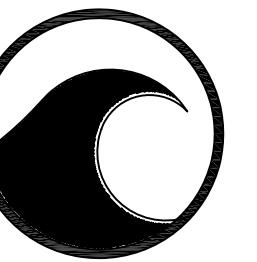
1/4" = 1'-0"





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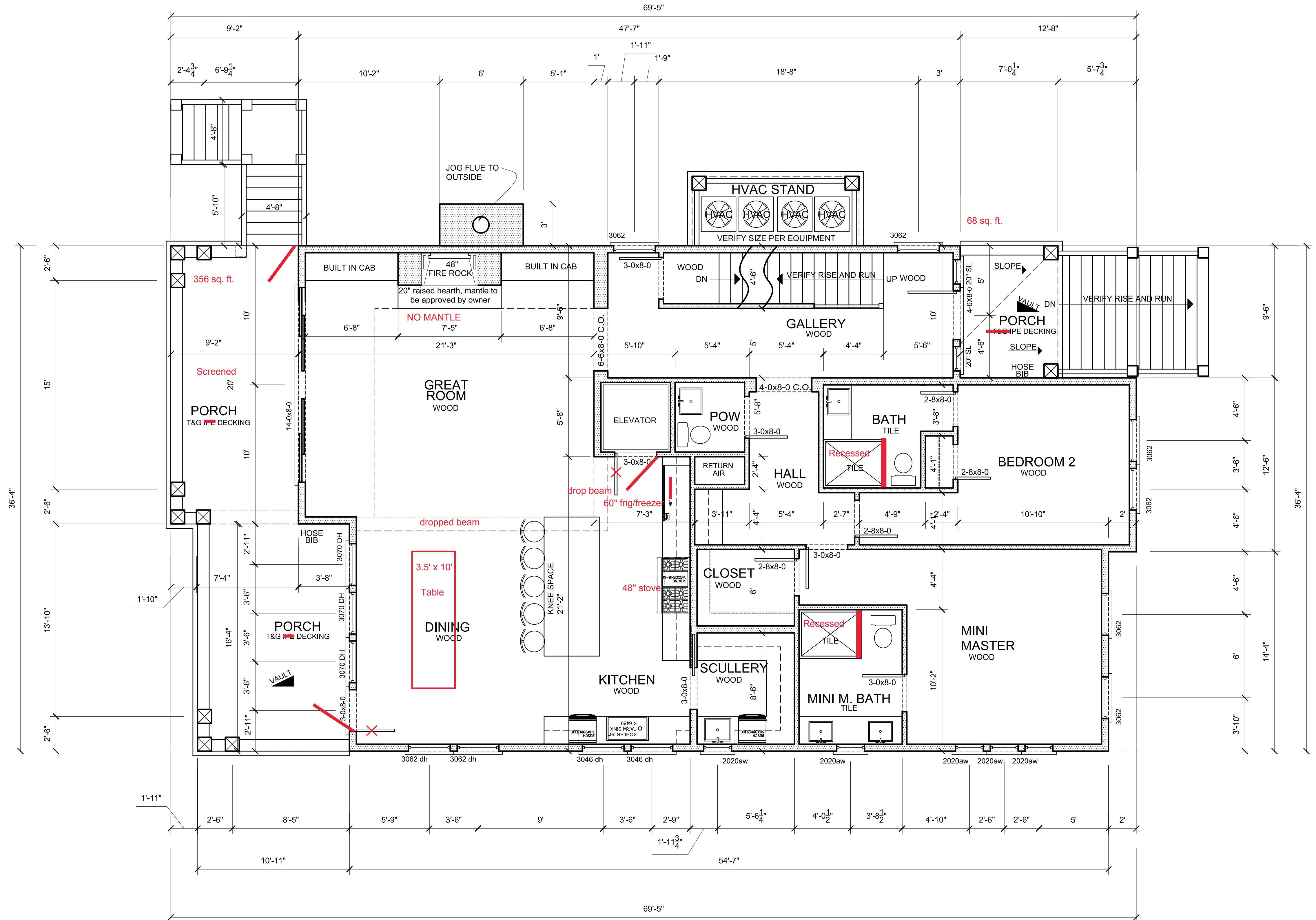
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MAX SQ. FT. PER ORDINANCE	2617 SQ.FT.
PROPOSED IMPERVIOUS	2419 SQ.FT.



3802 CAMERON BLVD.  
ISLE OF PALMS, SOUTH CAROLINA  
FIRST FLOOR PLAN

REVISIONS

SHEET  
a04  
DATE  
12-07-24

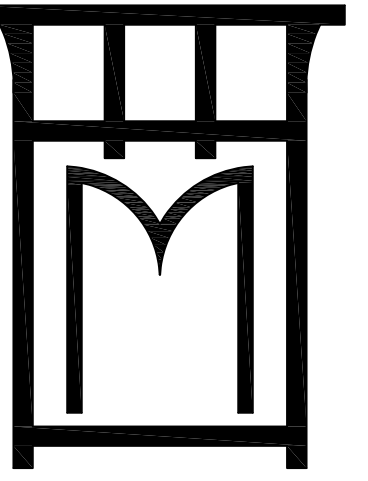


#### NOTES:

1. PROVIDE SOUND INSULATION IN ALL INTERIOR WALLS AND FLOORS. SOUND INSULATE AROUND ALL INTERIOR PLUMBING DRAIN PIPES.
2. VERIFY ALL DOOR AND WINDOW - ROUGH OPENING SIZES WITH SUPPLIER AND FRAMER PRIOR TO FRAMING.
3. PROVIDE BLOCKING FOR ANY AND ALL CABINETS, BATHROOM ACCESSORIES AND LIGHTING. VERIFY LOCATIONS WITH OWNERS.
4. INSULATION
  - ROOF - OPEN CELL SPRAY FOAM.
  - EXTERIOR WALLS - BATT INSULATION ( MAXX. R-VALUE).
  - FIRST FLOOR - CLOSED CELL SPRAY FOAM INSULATION.
5. JOB VERIFY RISE AND RUN ON ALL STAIRS.
6. FIRST COURSE OF PLYWOOD SHEATHING, AND ALL AREAS THAT PORCHS AND DECK CONNECT TO BE TREATED PLYWOOD.
7. PRIOR TO FRAMING, VERIFY THAT ALL PLUMBING DROPS, PLUMBING FIXTURE LOCATIONS, ELECTRICAL FIXTURE LOCATIONS, AND HVAC COMPONENTS, ARE CLEAR OF FLOOR JOISTS, STRUCTURAL BEAMS, AND PIERS. IF ANY ARE IN CONFLICT, HAVE ENGINEER'S WRITTEN APPROVAL FOR ANY STRUCTURAL MODIFICATIONS.
8. VERIFY ALL ELECTRICAL AND PLUMBING FIXTURES LOCATIONS WITH OWNERS DURING FRAMING.
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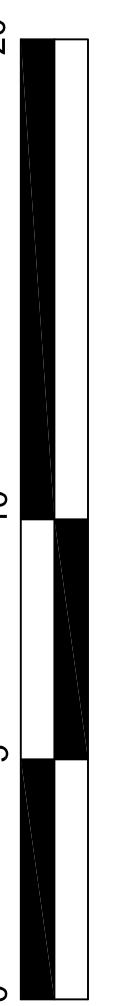
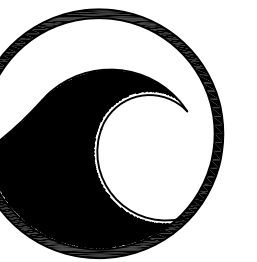
FIRST FLOOR PLAN

1/4" = 1'-0"



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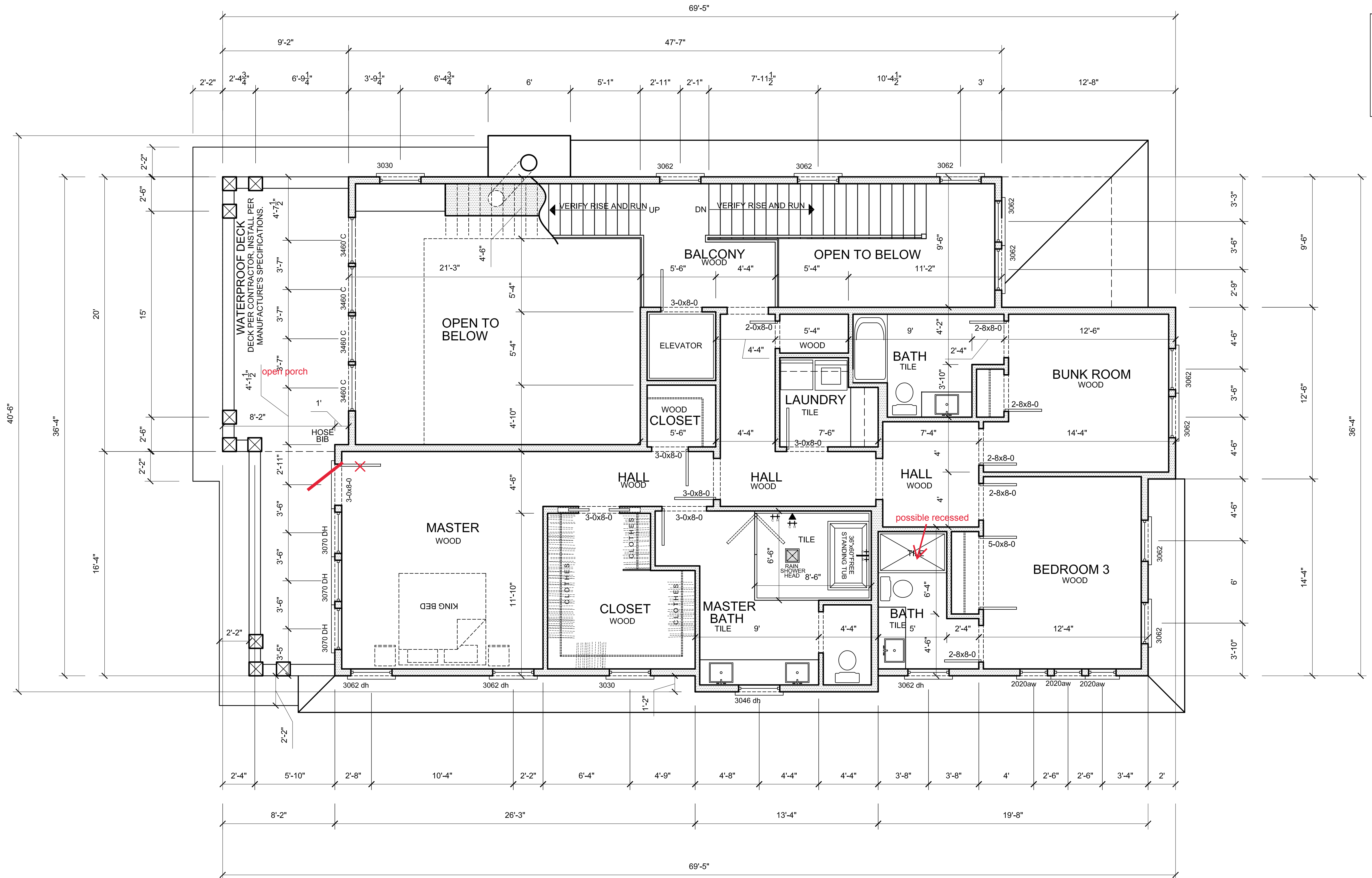
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PROPOSED IMPERVIOUS	2419 SQ.FT.



3802 CAMERON BLVD.  
ISLE OF PALMS, SOUTH CAROLINA  
SECOND FLOOR PLAN

REVISIONS

SHEET  
a05  
DATE  
12-07-24



NOTES:

1. PROVIDE SOUND INSULATION IN ALL INTERIOR WALLS AND FLOORS. SOUND INSULATE AROUND ALL INTERIOR PLUMBING DRAIN PIPES.
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SECOND FLOOR PLAN

1/4" = 1'-0"