

jBairdlaw
4117 Hillsboro Road, Suite 103-165
Nashville, Tennessee 37215

State: 0.00
Clerk: 0.00
Other: 2.00
Total: 22.00

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in Record Book
3580
Pgs 338-341

**AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS AND
RESTRICTIONS FOR FOXLAND PARK VILLAS
A FOXLAND NEIGHBORHOOD**

This Amendment to Declaration of Covenants, Conditions and Restrictions for Foxland Park Villas, a Foxland Neighborhood (this "Amendment") is made as of the 15th day of May, 2012, by Goodall Inc. Builders pursuant to Article II (and as Declarant under) that Declaration of Covenants, Conditions and Restrictions for Foxland Park Villas, a Foxland Neighborhood, of record in Record Book 3502, Pages 541-563, Register's Office for Sumner County, Tennessee (as amended, the "Declaration") and by Green Trails, LLC, a Tennessee limited liability company, as Owner of the real property described on Exhibit "A" attached hereto.

1. The Declaration is hereby amended by the adding to the Neighborhood the property described on Exhibit "A" attached hereto, thus bringing the same within the definition of "Property", and subjecting the same to the provisions of the Declaration.
2. Capitalized terms not specifically defined herein shall have the meanings given them in the Declaration.
3. Except as modified by this Amendment, the Declaration remains in full force and effect as executed and recorded.

IN WITNESS WHEREOF, the undersigned have caused this Amendment to Declaration of Covenants, Conditions and Restrictions for Foxland Park Villas, a Foxland Neighborhood, to be executed by their duly authorized representatives as of the date first above written.

GOODALL INC. BUILDERS, a
Tennessee corporation

GREEN TRAILS, LLC. a
Tennessee limited liability company

By: ROB
Robert H. Goodall, Jr., President

By: [Signature]
Title: Clad Manager

Personally appeared before me, Carolyn S. Cathey a Notary Public, Robert H. Goodall, Jr., with whom I am personally acquainted, who acknowledged that he executed the foregoing instrument for the purposes therein contained and who further acknowledged that he is president of Goodall Inc. Builders, a Tennessee corporation, being authorized to execute the foregoing instrument on behalf of the corporation.

WITNESS MY HAND, at office this 14th day of May, 2012.

Carolyn S. Cathey
Notary Public



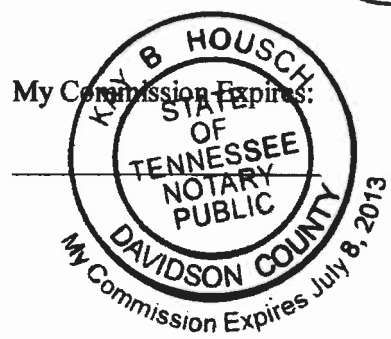
My Commission Expires: 3-16-2013

STATE OF TENNESSEE
COUNTY OF Davidson

Personally appeared before me, Karl Housch, a Notary Public, Rick Deckbar, with whom I am personally acquainted, who acknowledged that he executed the foregoing instrument for the purposes therein contained and who further acknowledged that he is Chief Manager of Green Trails, LLC, a Tennessee limited liability company, being authorized to execute the foregoing instrument on behalf of the company.

WITNESS MY HAND, at office this 15th day of May, 2012.

Karl Housch
Notary Public



located south of U.S. Highway 31E and East of Foxland Boulevard being a portion of property conveyed to Oakbrook Realty & Investments II, LLC by deed of record in Record Book 3385, Page 103, Register's Office of Sumner County, Tennessee and being more particularly described as follows:

FOXLAND PHASE 9 TRACT 1

BEGINNING in the easterly right-of-way of said Foxland Boulevard at a southwesterly corner of Open Space and P.U.D.E. as shown on Foxland Phase 9, Section 1 Final Plat, of record in Plat Book 27, Page 114, R.O.S.C.;

THENCE, with the southerly line of said Phase 9, Section 1 and with property conveyed to Oakbrook Realty & Investments II, LLC by deed of record in Record Book 3385, Page 103, R.O.S.C. S89°00'13"E, 567.97 feet;

THENCE, with a severance line the following calls:

N02°32'03"E, 105.15 feet;

S87°27'57"E, 50.00 feet;

S02°32'03"W, 160.07 feet;

With a curve to the left an arc distance of 74.49 feet, said curve having a central angle of 17°43'00", a radius of 240.91 feet, a tangent of 37.55 feet and a chord of S06°19'27"E, 74.20 feet;

S15°10'57"E, 237.81 feet;

With a curve to the right an arc distance of 74.89 feet to the northerly terminus of Reynard Drive, said curve having a central angle of 15°36'46", a radius of 274.83 feet, a tangent of 37.68 feet and a chord of S07°22'30"E, 74.66 feet;

THENCE, with said Reynard Drive the following calls:

N89°34'07"W, 50.00 feet to the westerly right-of-way line of said Reynard Drive;

S00°25'53"W, 20.64 feet;

With a curve to the right an arc distance of 39.27 feet to the northerly right-of-way line of Albatross Way, said curve having a central angle of 90°00'00", a radius of 25.00 feet, a tangent of 25.00 feet and a chord of S45°25'53"W, 35.36 feet;

THENCE, with a severance line the following calls:

N00°25'51"E, 157.63 feet;

N89°00'13"W, 541.34 feet to the easterly right-of-way line of Foxland Boulevard;

THENCE, along said right-of-way the following calls:

N00°10'51"W, 15.71 feet;

With a curve to the right, an arc distance of 38.29 feet, said curve having a central angle of 87°45'40", a radius of 25.00 feet, a tangent of 24.04 feet, and a chord of N45°16'54"W, 34.66 feet;

N01°24'04"W, 70.00 feet;

With a curve to the right an arc distance of 36.28 feet, said curve having a central angle of 83°08'10", a radius of 25.00 feet, a tangent of 22.17 feet, and a chord of N40°10'01"E, 33.18 feet;

N03°37'34"W, 50.47 feet;

With a curve to the right an arc distance of 34.15 feet, said curve having a central angle of 78°15'29", a radius of 25.00 feet, a tangent of 20.34 feet and a chord of N44°07'00"W, 31.55 feet;

With a curve to the left an arc distance of 75.35 feet, said curve having a central angle of 06°15'25", a radius of 690.00 feet, a tangent of 37.71 feet, and a chord of N08°07'01"W, 75.31 feet;

With a curve to the right an arc distance of 23.50, said curve having a central angle of 89°45'13", a radius of 15.00 feet, a tangent of 14.94 feet and a chord of N33°37'53"E, 21.17 feet;

N15°40'37"W, 22.13 feet to the Point of Beginning;

Containing 221,748 Square Feet, or 5.09 Acres, more or less.

Being the same property conveyed to Green Trails, LLC, a Tennessee limited liability company by deed recorded in Record Book 3580, page 329, Register's office of Sumner County, Tennessee.