

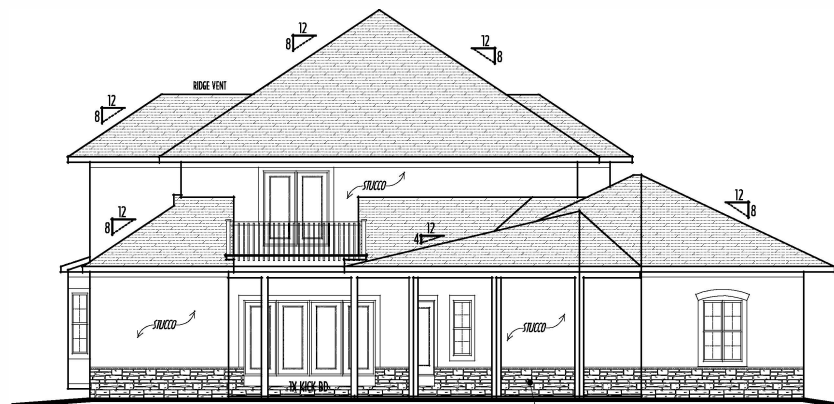
P&D Builders - Job #1230



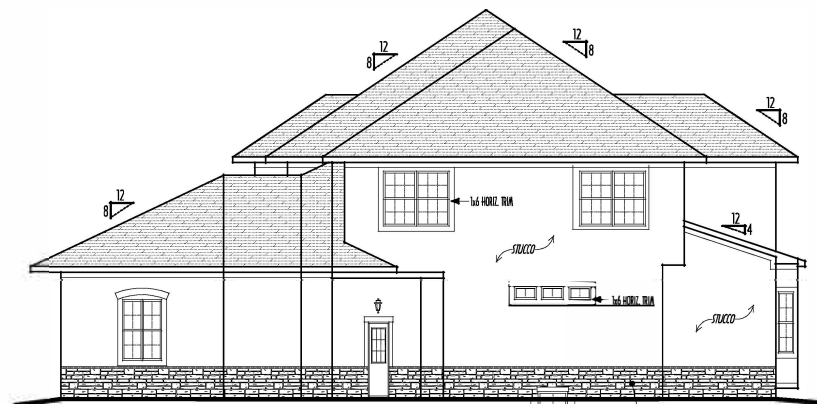
FIRST FLOOR CEILINGS @ 10'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOW HEADERS @ 7'-6" UNLESS NOTED OTHERWISE
SECOND FLOOR CEILINGS @ 9'-11 1/8" UNLESS NOTED OTHERWISE
SECOND FLOOR WINDOW HEADERS @ 7'-6" UNLESS NOTED OTHERWISE
EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS
SEEROOF PLAN FOR SOFFIT & RAKE SIZES
RUN BRICK VENEER 1" PAST FRAMING CORNERS
VENEER WRAPS FRONT CORNERS MIN 6" TRIM UNLESS NOTED
ELEVATIONS AS NECESSARY TO PROVIDE A TISEAL BETWEEN MATERIALS, FRAMING & TRIM
IRS (BRAND & DESIGN) PER CONTRACT
IRS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS W SIZES & ROUGH-OPENINGS WITH SUPPLIER
INE & BRICK VENEER TO GRADE UNLESS NOTED
3R SILCOX EXTENDERS SHALL CO MPLY WITH R-203.6.2.1
ROSION- RESISTANT SCREENED A/ABV FOUNDATION PLATE (3.5" FLANGED)
1" ABV EARTH / 2" ABV PAVING, ALLOWING TRAP'D WATER TO DRAIN)
1/4" FROM FOUNDATION FOR PROPER DRAINAGE



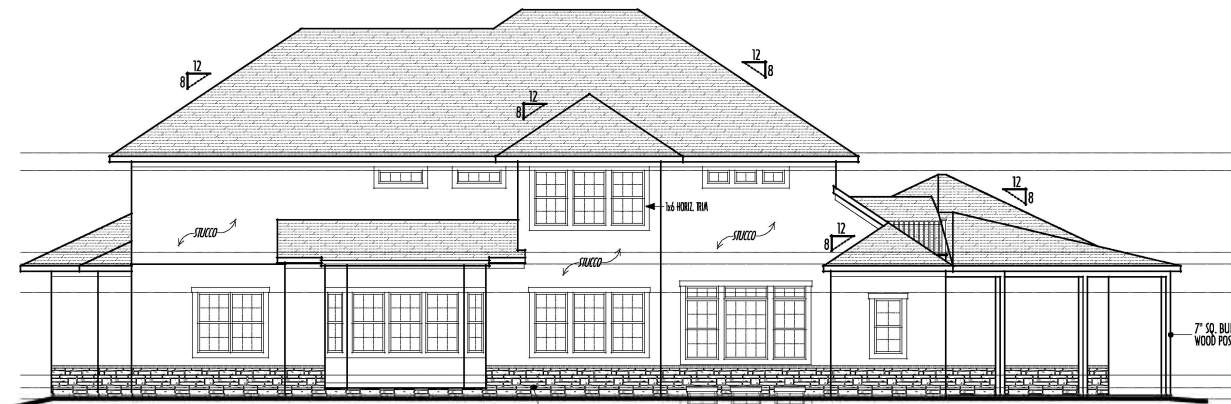
FRONT ELEVATION
SCALE : 1/4" = 1'-0"



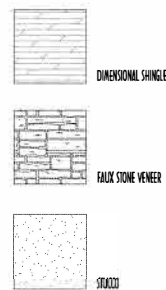
LEFT ELEVATION
SCALE : 1/8" = 1'-0"



RIGHT ELEVATION
SCALE : 1/8" = 1'-0"



BACK ELEVATION
SCALE : 1/8" = 1'-0"



FIRST FLOOR =	2,763 SQ.FT.
SECOND FLOOR =	2,287 SQ.FT.
TOTAL LIVING SPACE =	5,050 SQ.FT.
OPT. FIN BSMI=	1,525 SQ.FT.

PLEASE NOTE: PRELIMINARY DESIGN ARE SUBJECT TO CHANGE DUE TO STRUCTURAL, OR CODE REQUIREMENTS. ITEMS SHOWN MAY BE OPTIONAL/EXTRA. PLEASE REFER TO YOUR CONTRACT FOR SPECIFICATIONS & DESCRIPTIONS.

ELEVATIONS

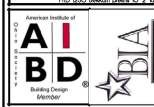


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NO. 1230

PRELIMINARY DESIGN
NOT TO SCALE - NOT FOR CONSTRUCTION



REVISION DATE	BY:	DATE
8/30/16	rwd	concept
9/5/16	"	concept w/
10/2/16	"	prelims

TO SCALE WHEN VIEWED 3/4" = 1" PER SIDE 1" = 1'-0" FULL-HEIGHT DIMENSION - DO NOT SCALE FROM

DESIGNED BY P&D / rwd

PAGE: 5 of 10

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THE 1990-1991 SEASON OF A DROCK



REVISION DATE	BY:	Prin/CD
8/30/16	nwd	concept
9/5/16	" "	concept rev
10/2/16	" "	final time

GRAPHIC SCALE WHEN PRINTED 24x36 - PAPER SIZE "D"

0 2' 4' 6'

FIELD VERIFY DIMENSIONS - DO NOT SCALE PRINTS

P&D / rwd

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P & D
BUILDERS
EST. 1962

FLOOR PLAN

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[illegible]

Revised 12/10. Additional updates 12/21/16 and 12/22/16.



REVISION DATE	BY:	Prblm/CD
8/30/16	rwd	concept
9/5/16	" "	concept rev
10/2/16	" "	prelims



P&D / rwd

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SECOND FLOOR CEILINGS AT 9'-1 1/8" ROUGH UNLESS NOTED
SECOND FLOOR WINDOWS HEADERS AT 7' -6" UNLESS NOTED

EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O/C UNLESS NOTED)
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)

SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEARMS 30 PSF)

WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED

IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS REQUIREMENTS (MIN. 20" WIDE X 24" TALL & 5.7 SQ.FT.) PER R.C.O. 310

CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER
AND ADJUST FRAMING DIMENSIONS AS NECESSARY

NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN
ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY

FINAL/INSTALLED INSULATION VALUES SHOULD MATCH
REM-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN
ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)

INSTALL ALL LVL & LSL BEAMS WITH
LABELS VISIBLE FOR BLDG INSPECTION

FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCO314 & 315
 <75 FSR, <450 SOR PER ASTM E84

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10/3/2016 9:35 PM

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FND/BSMT

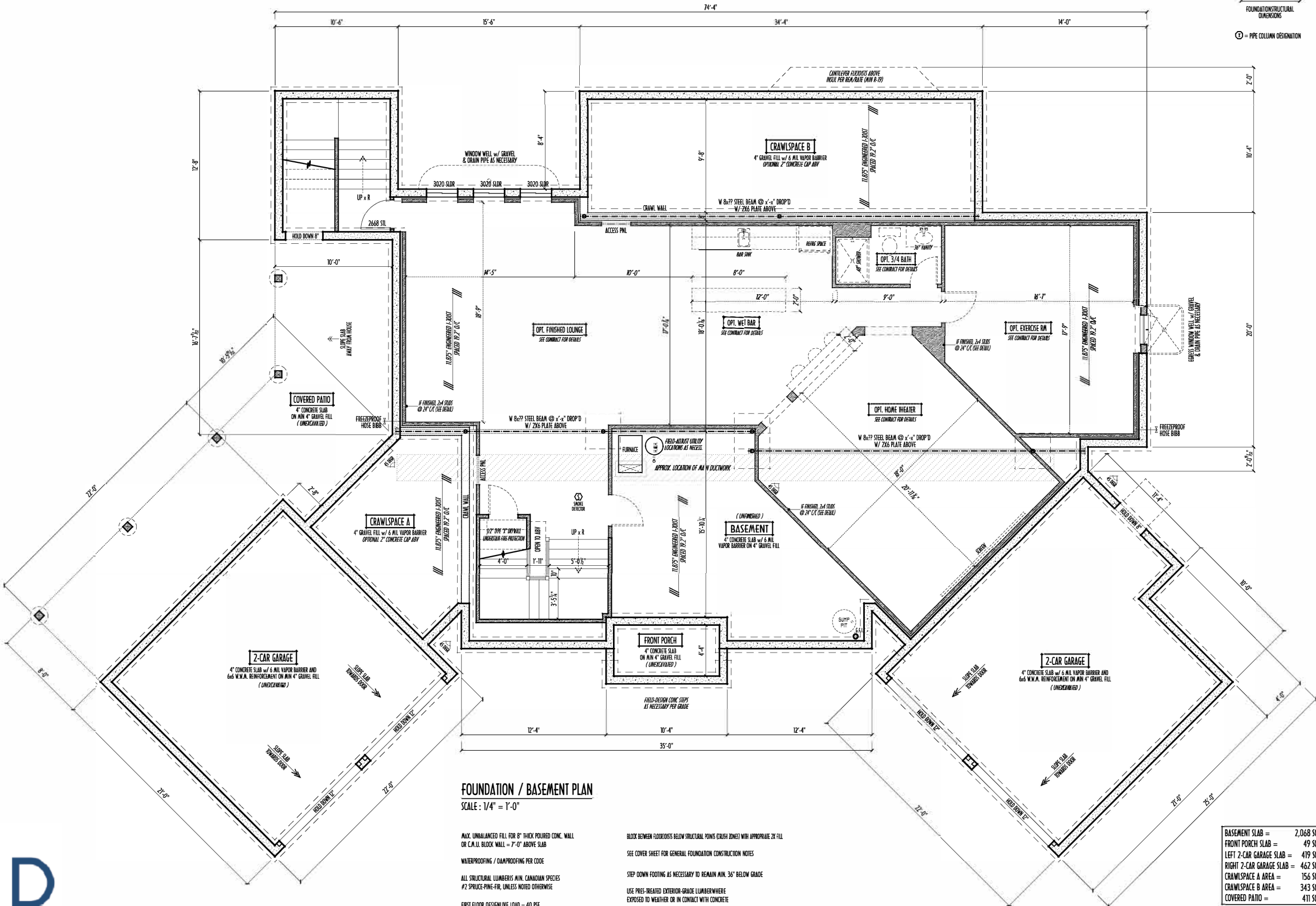


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1230

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FOUNDATION / BASEMENT PLAN
SCALE: 1/4" = 1'-0"

MAX. UNBALANCED FILL FOR 8" THICK POURED CONC. WALL OR C.A.U. BLOCK WALL = 7'-0" ABOVE SLAB

WATERPROOFING / DAMPROOFING PER CODE

ALL STRUCTURAL LUMBER IS MIN. CANADIAN SPECIES #2 SPLYCE-PINE-FIR, UNLESS NOTED OTHERWISE

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF

BASEMENT ELECTRICAL LAYOUT FOR REFERENCE ONLY - CONSULT WITH HOMEOWNER PRIOR TO INSTALLATION FOR EXACT LOCATIONS

GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY FOR PROPER DRAINAGE MIN. 6" DROP IN FIRST FOOT OF RUN

AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS & TRAPS

BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES) WITH APPROPRIATE 2X FILL

SEE COVER SHEET FOR GENERAL FOUNDATION CONSTRUCTION NOTES

STEP DOWN FOOTING AS NECESSARY TO REMAIN MIN. 36" BELOW GRADE

USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE

FOUNDATION WALL ENGINEERING & REINFORCEMENT PER SHEPHERD/CRAWFORD DESIGN-DETAIL RC-1G

INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION

BASEMENT SLAB =	2,068 SQ.FT.
FRONT PORCH SLAB =	49 SQ.FT.
LEFT 2-CAR GARAGE SLAB =	419 SQ.FT.
RIGHT 2-CAR GARAGE SLAB =	462 SQ.FT.
CRAWLSPACE A AREA =	156 SQ.FT.
CRAWLSPACE B AREA =	343 SQ.FT.
COVERED PATIO =	411 SQ.FT.

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