

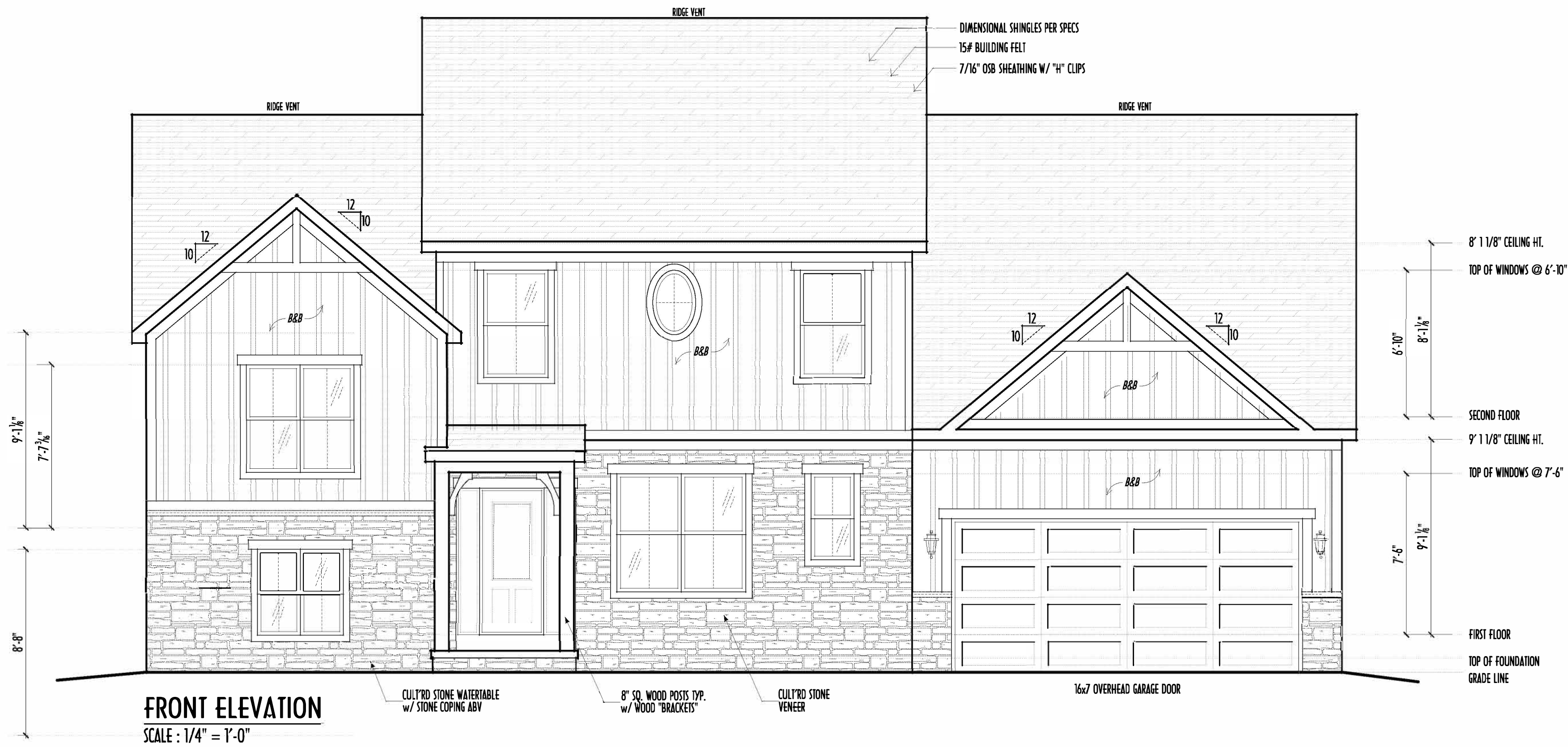
P&D Builders Ltd.
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Delaware, Ohio 43015
(740) 201-8079
Fax (740) 201-8084
www.pndbuilders.com

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1505

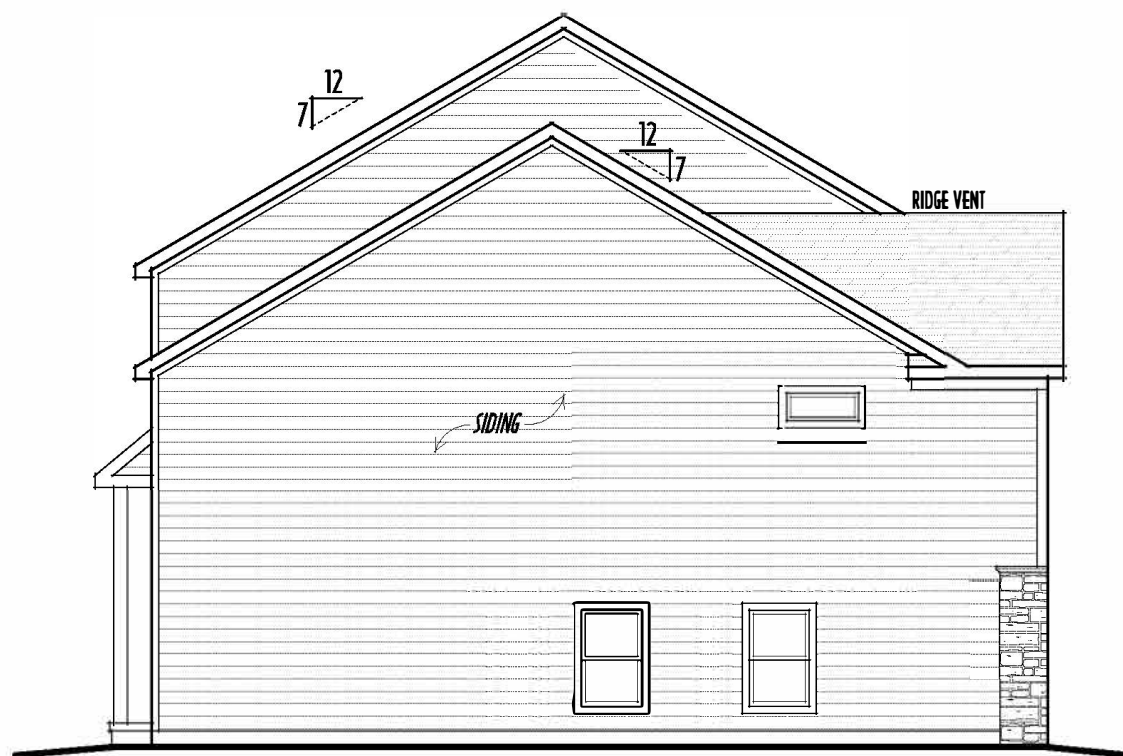
1505

PRELIMINARY DESIGN - NOT FOR CONSTRUCTION



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

FIELD DESIGN FOR ONE STEP DOWN
TO WALK W/RAIL FINGER AS NECESSARY
EXACT DOOR & SILL/SLIGHT STYLE
TO BE DETERMINED BY CLIENT



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

FIRST FLOOR CEILINGS @ 9'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOW HEADERS @ 7'-5" UNLESS NOTED OTHERWISE
SECOND FLOOR CEILINGS @ 8'-1 1/8" UNLESS NOTED OTHERWISE
SECOND FLOOR WINDOW HEADERS @ 6'-0" UNLESS NOTED OTHERWISE

EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS

SEE ROOF PLAN FOR SOFFIT & RAKE SIZES

RUN BRICK VENEER 1" PAST FRAMING CORNERS

CULTURED STONE VENEER WRAPS FRONT CORNERS MIN 6"
INTO 1X6 WOOD TRIM UNLESS NOTED

FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A
A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM

WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
CONFIRM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER

RUN STUCCO, STONE & BRICK VENEER TO GRADE UNLESS NOTED

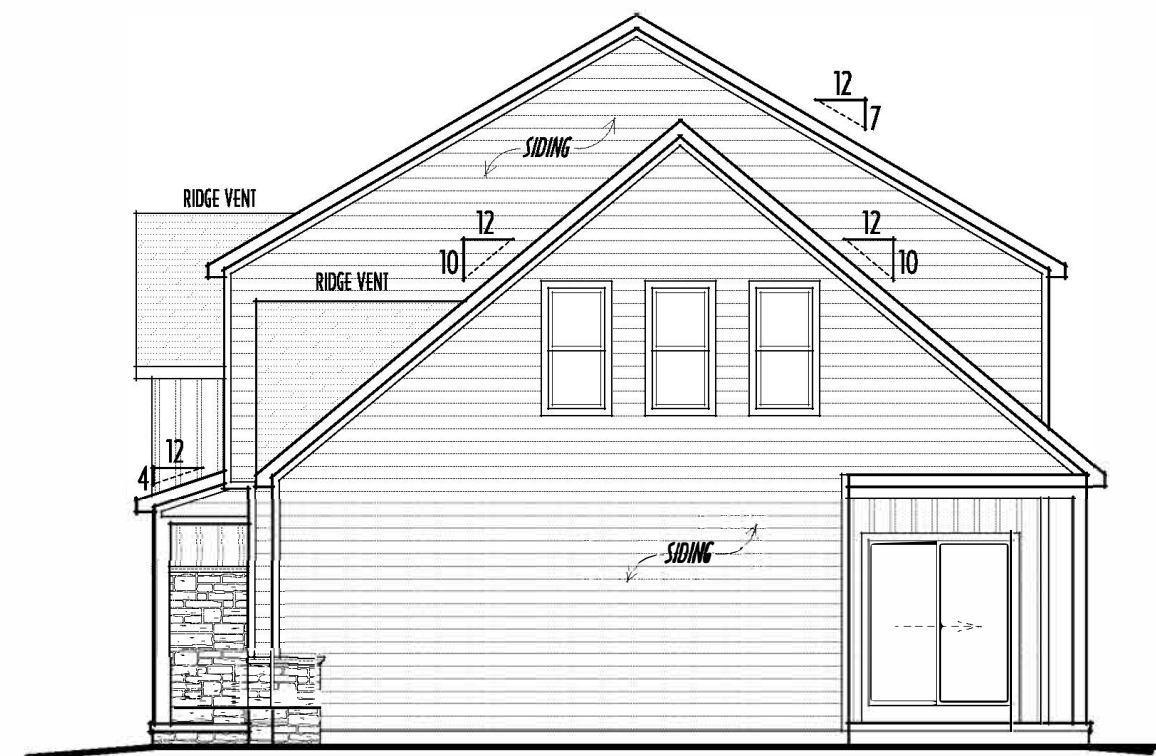
WEED SCREENS FOR STUCCO EXTERIORS SHALL COMPLY WITH 8-703.6.2.1
(#26 GALV CORROSION-RESISTANT SCREEN AT/ABV FOUNDATION PLATE (3.5" FLANGE)
PLACED AT MIN 4" ABV EARTH / 2" ABV PAVING, ALLOWING TRAP'D WATER TO DRAIN)

SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

FINAL WINDOW DESIGN PER PROVIDER, ALL FRAMING ROUGH-
OPENINGS TO BE BASED ON FINAL LAYOUT ONLY

EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS)
MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER

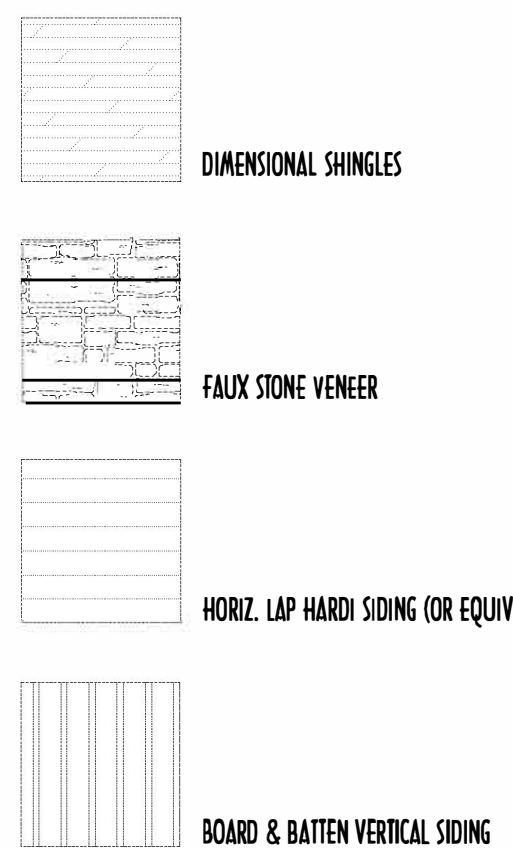
GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY



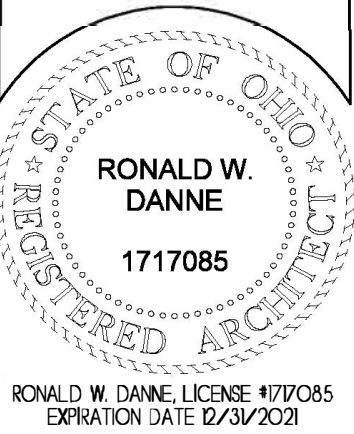
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



BACK ELEVATION
SCALE: 1/8" = 1'-0"



FIRST FLR LIVING SP =	1,245 SQ.FT.
SECOND FLR LIVING SP =	752 SQ.FT.
FINISHED LWR LVL =	494 SQ.FT.
BONUS RM OVER GARAGE =	372 SQ.FT.
TOTAL LIVING SP =	2,863 SQ.FT.



RONALD W. DANNE LICENSE 1717085
EXPIRATION DATE 12/31/2021

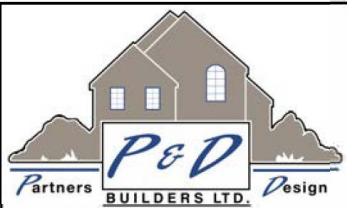
Danne
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614.207.6266 danneand@gmail.com

REVISION DATE:	BY:	DESCRIPTION
2/2/21	jam	concepts
2/3/21	rwd	prelims
2/4/21	y/r	prelim rev
2/8/21	log	prelim rev
2/11/21	jam	prelim rev
3/11/21	rwd	prelim rev
3/18/21	rwd	prelim rev
3/26/21	rwd	QTO

TO SCALE WHEN PRINTED 24"X36" - PAPER SIZE 11"
0 8 16 24 32 40 48 56 64
FIELD VERIFY DIMENSIONS - DO NOT SCALE PRINTS

DESIGNED BY: P&D / rwd

PAGE: 5 of 9



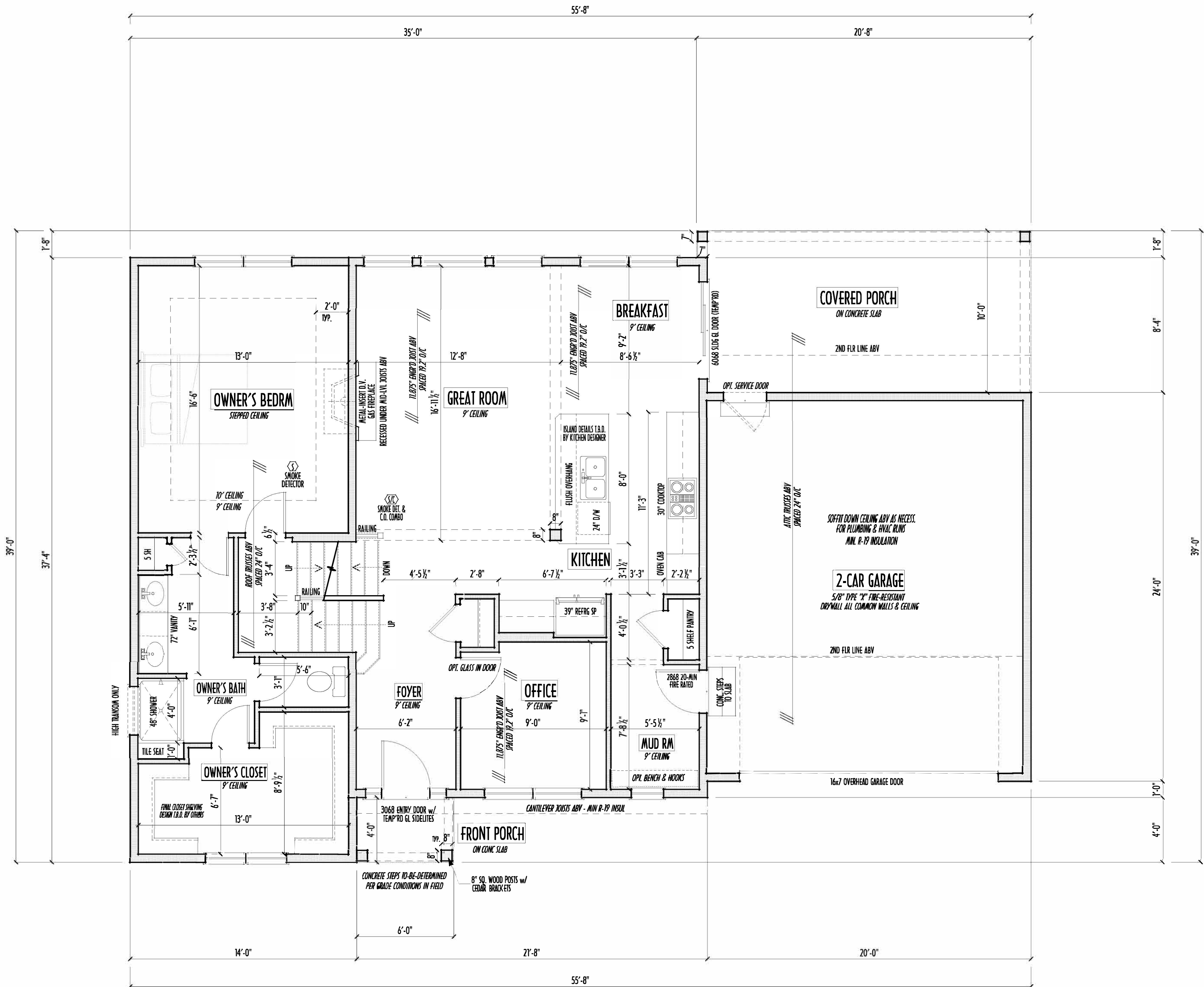
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FINAL KITCHEN CABINET & APPLIANCE LAYOUT BY OTHERS, APPLIANCES PER SERIES SPECS

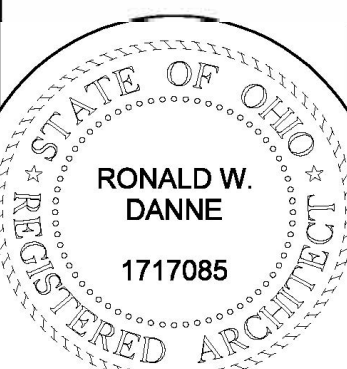
PRELIMINARY DESIGN - NOT FOR CONSTRUCTION

FIRST FLOOR CEILINGS AT 9'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOWS HEADERS AT 7'-6" UNLESS NOTED OTHERWISE
CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP
FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO CONFORM TO 2015 R.C.O. AND/OR APPLICABLE LOCAL CODES
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HEIGHTS w/ PROVIDER
CONFIRM FLOORING & FINISH MATERIALS w/ JOB SUPERVISOR (PER CONTRACT)
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF WOOD FRAMING LENGTHS AND/OR FENESTRATION
AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT MIDSPAN PER CODE
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REM-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)
INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLR LIVING SP =	1,245 SQ.FT.
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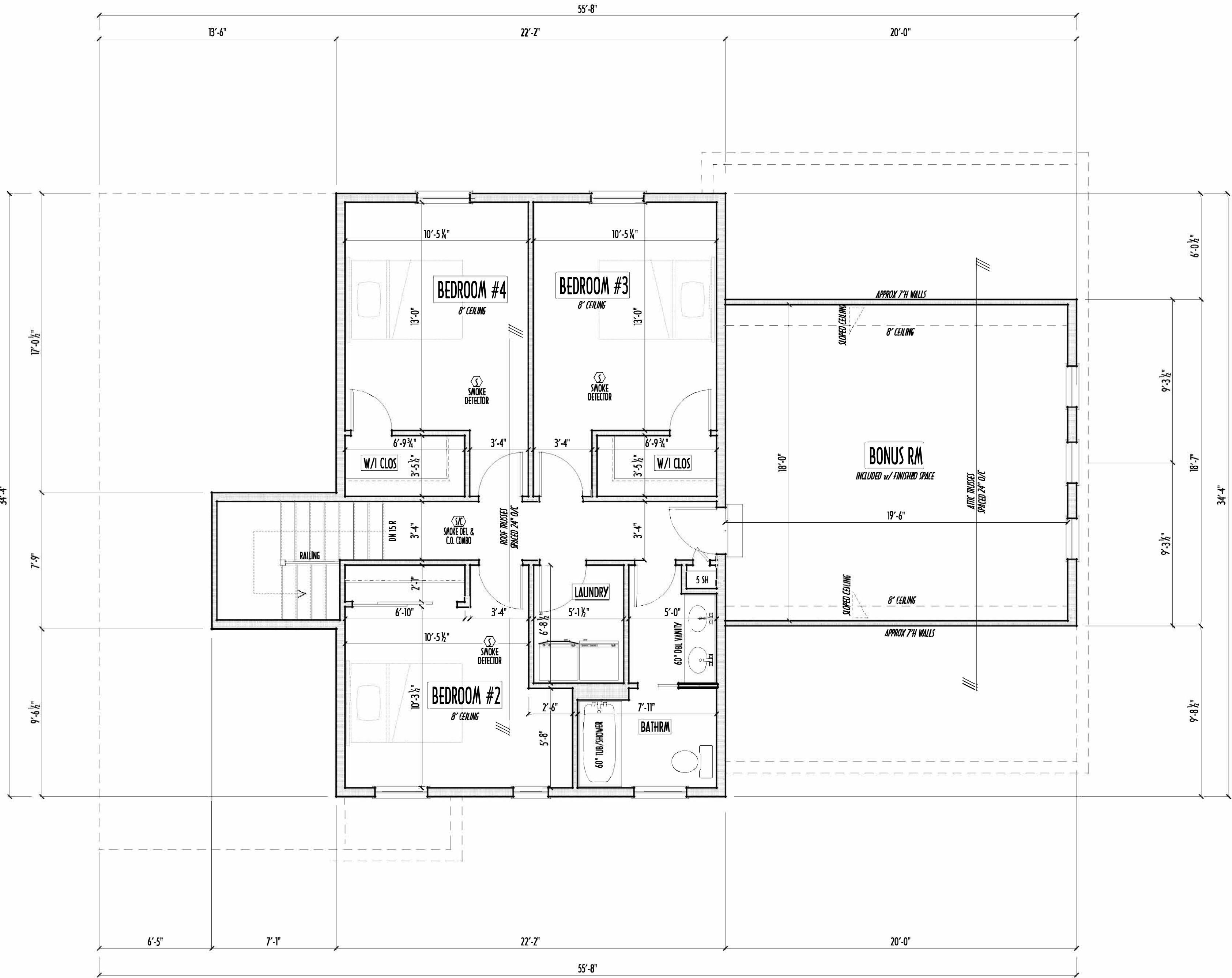
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3/26/21	rwd	QTO

TO SCALE WHEN PRINTED 24x36 - PAPER SIZE 11"
0 8 16 24 32 40 48 56 64 72 80 88 96 104 112 120
FIELD MEASUREMENTS DO NOT SCALE PRINTS

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PRELIMINARY DESIGN - NOT FOR CONSTRUCTION

SECOND FLOOR CEILINGS AT 8'-1 1/8" ROUGH UNLESS NOTED
SECOND FLOOR WINDOWS HEADERS AT 6'-10" UNLESS NOTED
EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O/C UNLESS NOTED)
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)
SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDRMS 30 PSF)
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED
IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS REQUIREMENTS (MIN. 20" WIDE X 24" TALL & 5.7 SQ.FT.) PER R.C.O. 310
CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER AND ADJUST FRAMING DIMENSIONS AS NECESSARY
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FINAL/INSTALLED INSULATION VALLIES SHOULD MATCH REM-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)
INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION
FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCD 314 & 315 <75 PSR, <450 SOR PER ASTM E84



SECOND FLOOR PLAN
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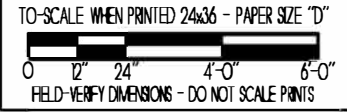
STATE OF OHIO
REGISTERED ARCHITECT
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1717085
RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2021

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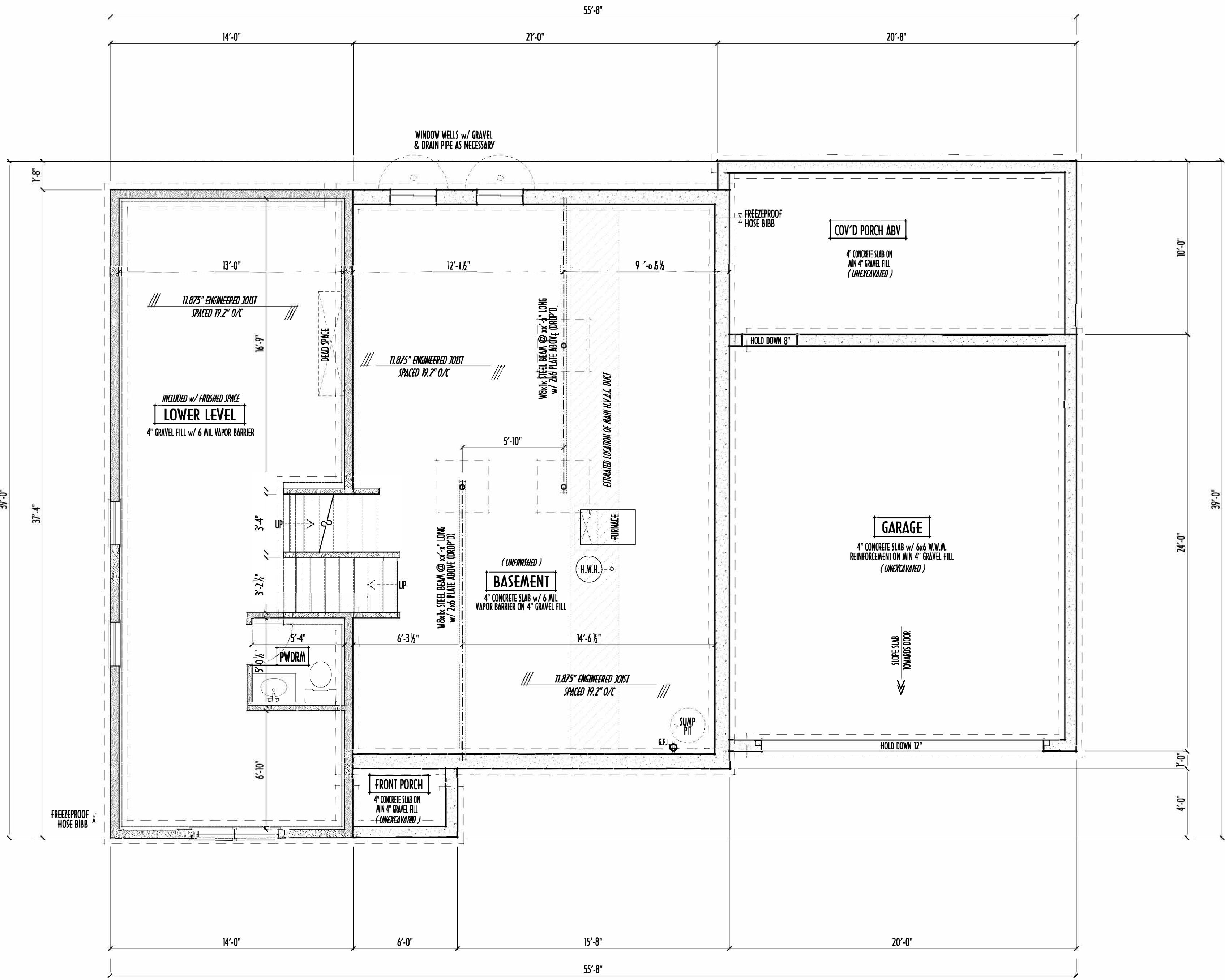
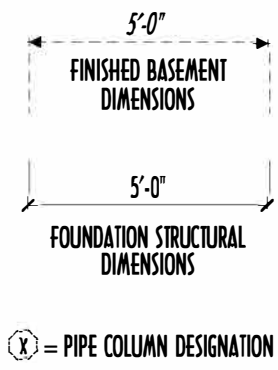
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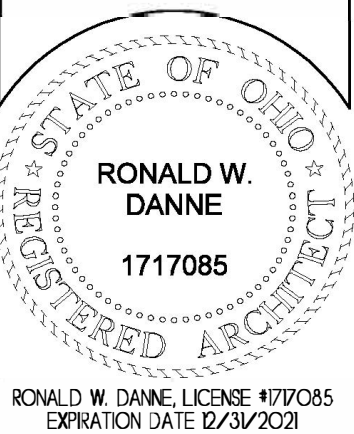
PRELIMINARY DESIGN - NOT FOR CONSTRUCTION



- MAX. UNBALANCED FILL FOR 8" THICK POURED CONC. WALL OR C.A.U. BLOCK WALL = 7'-0" ABOVE SLAB
- WATERPROOFING / DAMPROOFING PER CODE
- ALL STRUCTURAL LUMBER IS MIN. CANADIAN SPECIES #2 SPRUCE-PINE-FIR, UNLESS NOTED OTHERWISE
- FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
- BASEMENT ELECTRICAL LAYOUT FOR REFERENCE ONLY - CONSULT WITH HOMEOWNER PRIOR TO INSTALLATION FOR EXACT LOCATIONS
- GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY FOR PROPER DRAINAGE MIN. 6" DROP IN FIRST 10FT OF RUN
- AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS & TRAPS
- BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (DRUSH ZONES) WITH APPROPRIATE 2X FILL
- SEE COVER SHEET FOR GENERAL FOUNDATION CONSTRUCTION NOTES
- STEP DOWN FOOTING AS NECESSARY TO REMAIN MIN. 36" BELOW GRADE
- USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE
- FOUNDATION WALL ENGINEERING & REINFORCEMENT PER SHEPHERD EXCAVATING DESIGN-DETAIL RC-16
- INSTALL ALL LVL & LSI BEAMS WITH LABELS VISIBLE FOR BLDG INSPECTION

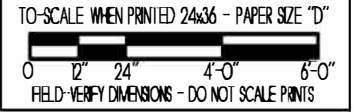
FOUNDATION / BASEMENT PLAN
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