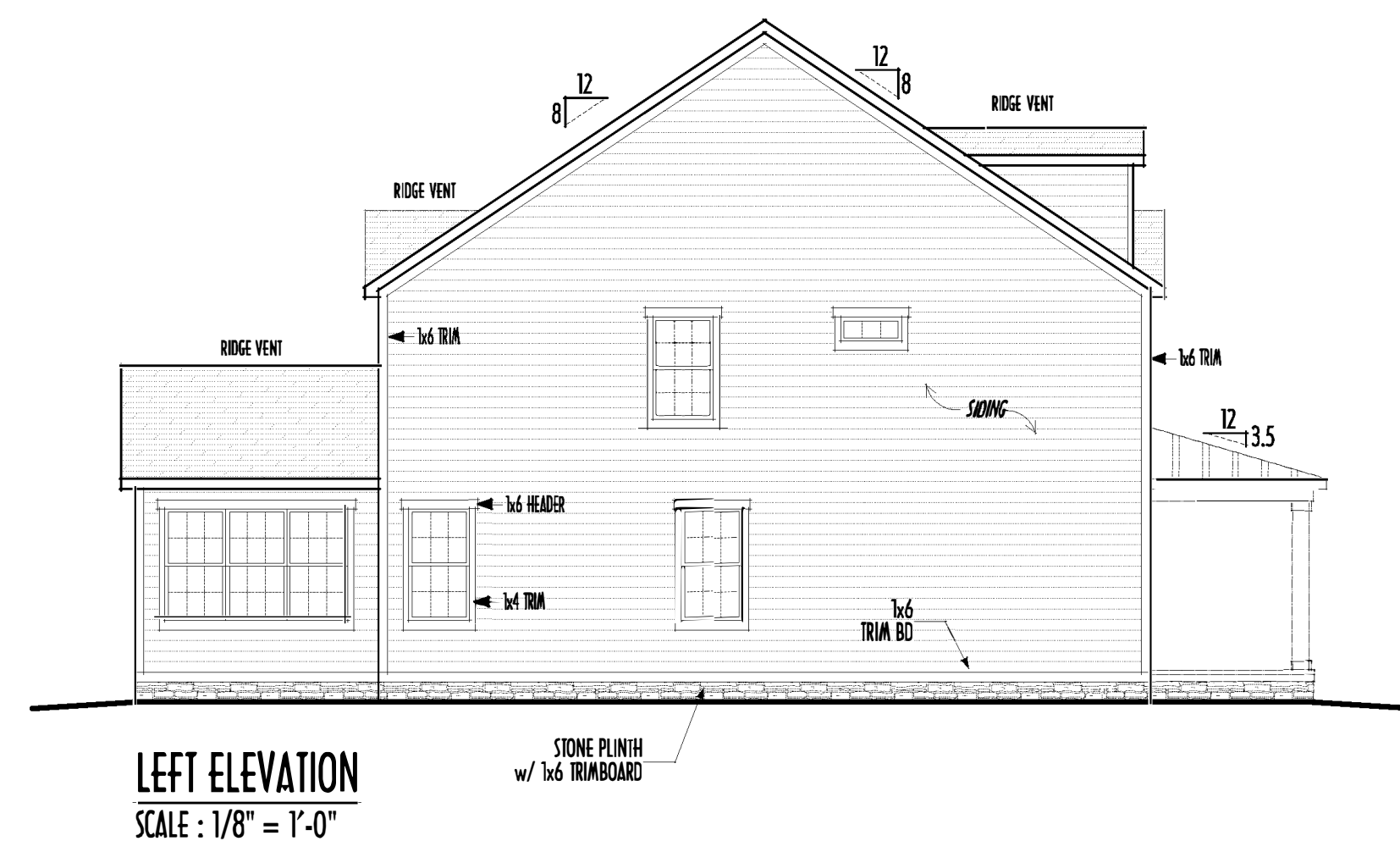
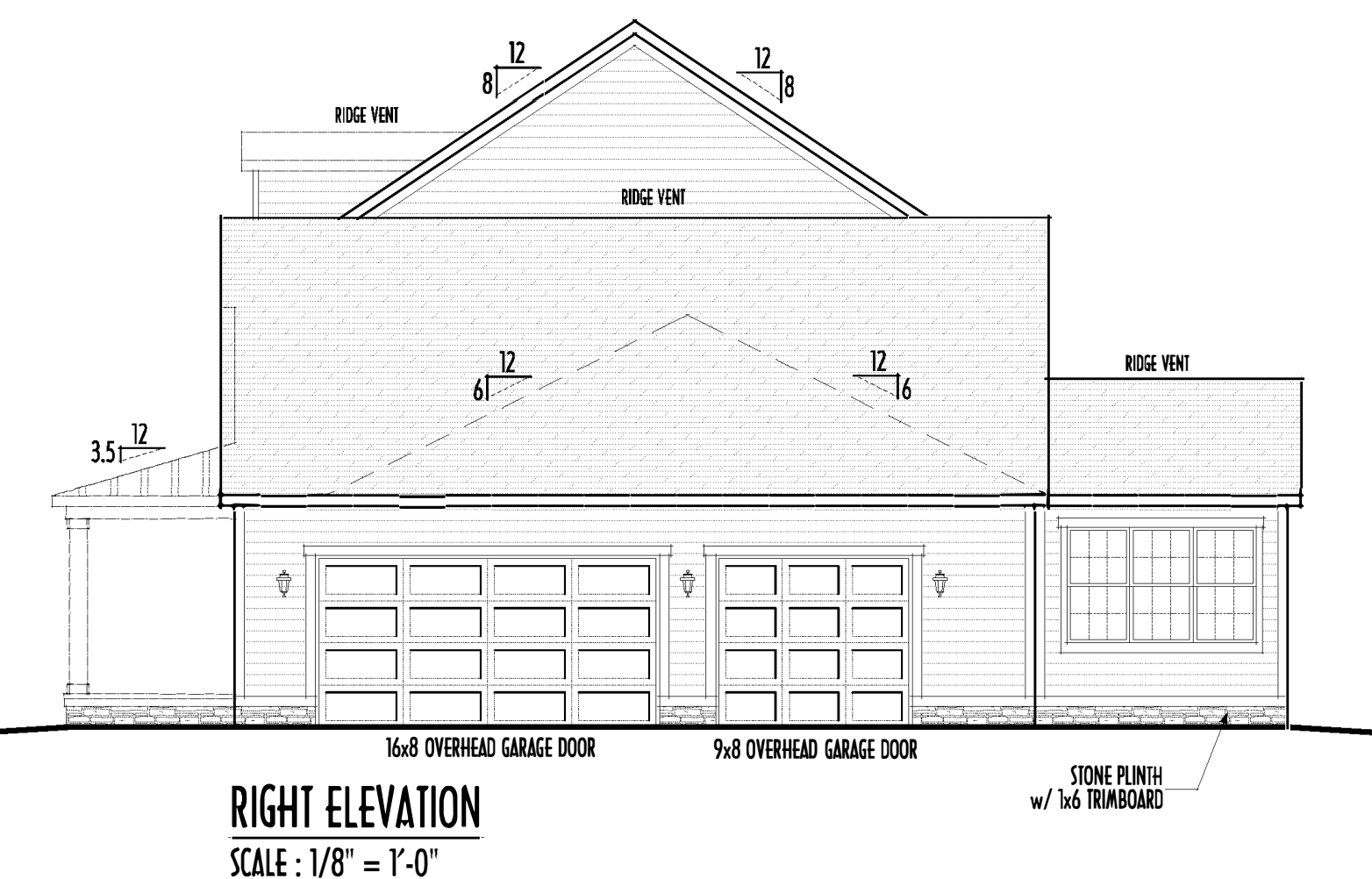


**P & D**  
BUILDERS  
EST. 1962



**SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE**



|                            |              |
|----------------------------|--------------|
| FIRST FLR LIVING SP =      | 1,988 SQ.FT. |
| SECOND FLR LIVING SP =     | 1,554 SQ.FT. |
| TOTAL LIVING SP =          | 3,542 SQ.FT. |
| OPT. BONUS RM ABV GARAGE = | 434 SQ.FT.   |

**P & D**  
BUILDERS  
EST. 1962

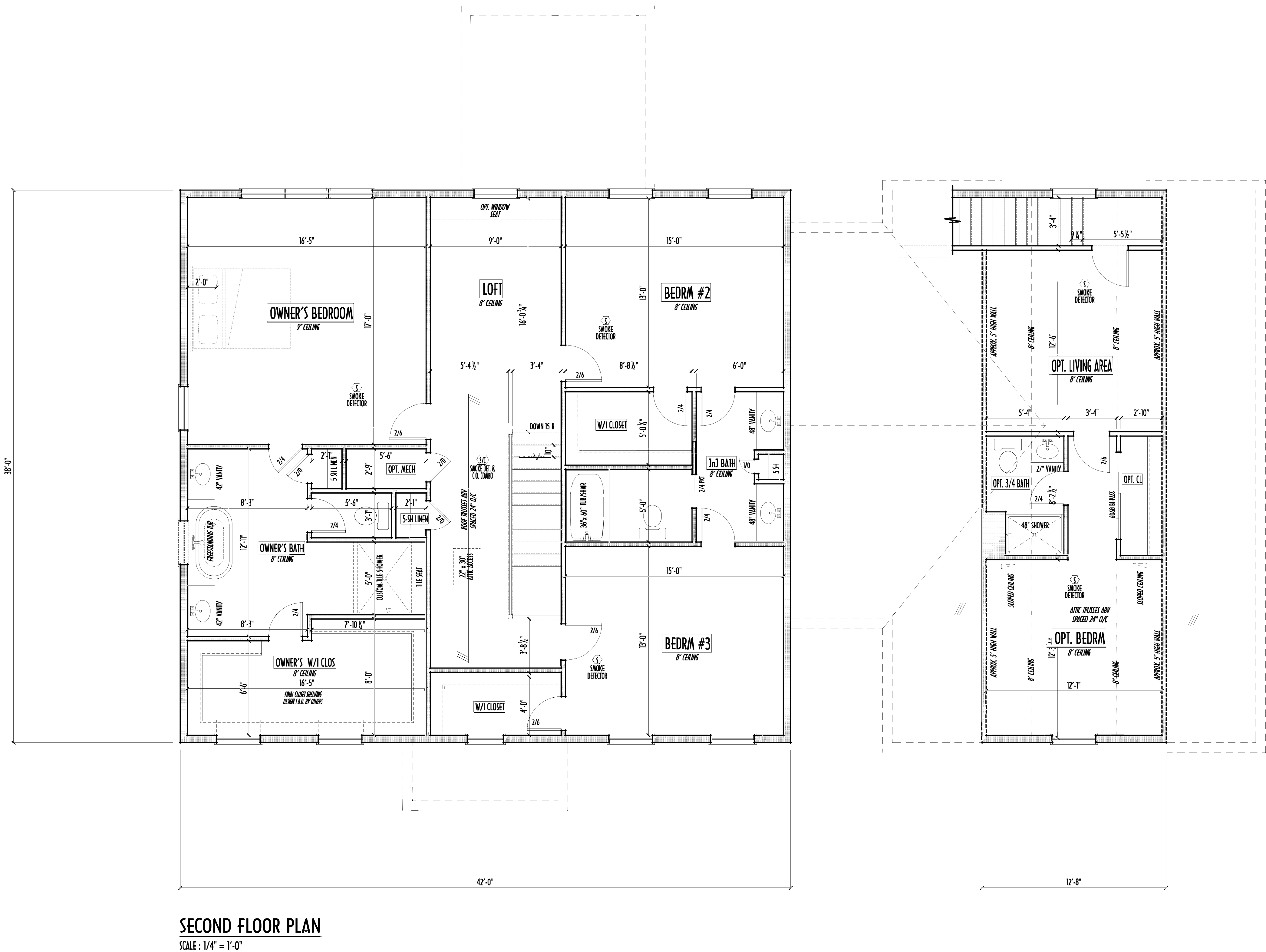


|                            |              |
|----------------------------|--------------|
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| SECOND FLR LIVING SP =     | 1,554 SQ.FT. |
| TOTAL LIVING SP =          | 3,542 SQ.FT. |
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# REPAIRING THE NATION'S INFRASTRUCTURE

SECOND FLOOR CEILINGS AT 8'-1 1/8" ROUGH UNLESS NOTED  
SECOND FLOOR WINDOWS HEADERS AT 6'-10" UNLESS NOTED  
EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O/C UNLESS NOTED)  
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)  
SECOND FLOOR DESIGN LIVE LOAD = 40 PSF (BEDRMS 30 PSF)  
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT  
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED  
IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS REQUIREMENTS (MIN. 20" WIDE X 24" TALL & 5.7 SQ.FT.) PER R.C.O. 310  
CONFIRM WINDOW ROUGH-OPENINGS WITH MANUFACTURER AND ADJUST FRAMING DIMENSIONS AS NECESSARY  
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY  
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH REA-RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)  
INSTALL ALL LVL & LSL BEAMS WITH LABELS VISIBLE FOR BIDS INSPECTION  
FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCD 314 & 315 <75 PSR, <450 SOR PER ASTM E84



|                            |              |
|----------------------------|--------------|
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| OPT. BONUS RM ABV GARAGE = | 434 SQ.FT.   |

PRELIMINARY DESIGN - NOT FOR CONSTRUCTION

STATE OF OHIO  
REGISTERED ARCHITECT  
RONALD W. DANNE  
1717085  
RONALD W. DANNE LICENSE #1717085  
EXPIRATION DATE 12/31/2021

Danne

Residential Design & Drafting, LLC

614.207.6766 - [Arnschul@gmail.com](mailto:Arnschul@gmail.com)

|                   |     |              |
|-------------------|-----|--------------|
| REVISION DATE     | BY  | Notes/CD     |
| 5/13/20           | jam | concepts     |
| 5/14/20 & 5/15/20 | rwd | concepts rev |
| 6/9/20            | jam | concepts rev |
| 6/12/20           | j/r | prelts       |
| 7/9/20 & 7/14/20  | j/r | prelts rev   |
| 7/19/20           | rwd | QTO          |
| -                 | -   | -            |
| -                 | -   | -            |
| -                 | -   | -            |

10 SCALE WHEN PRINTED 36x60 - PAPER SIZE 11"

0 7' 0" 14' 0" 21' 0" 28' 0" 35' 0" 42' 0" 49' 0" 56' 0" 63' 0" 70' 0"

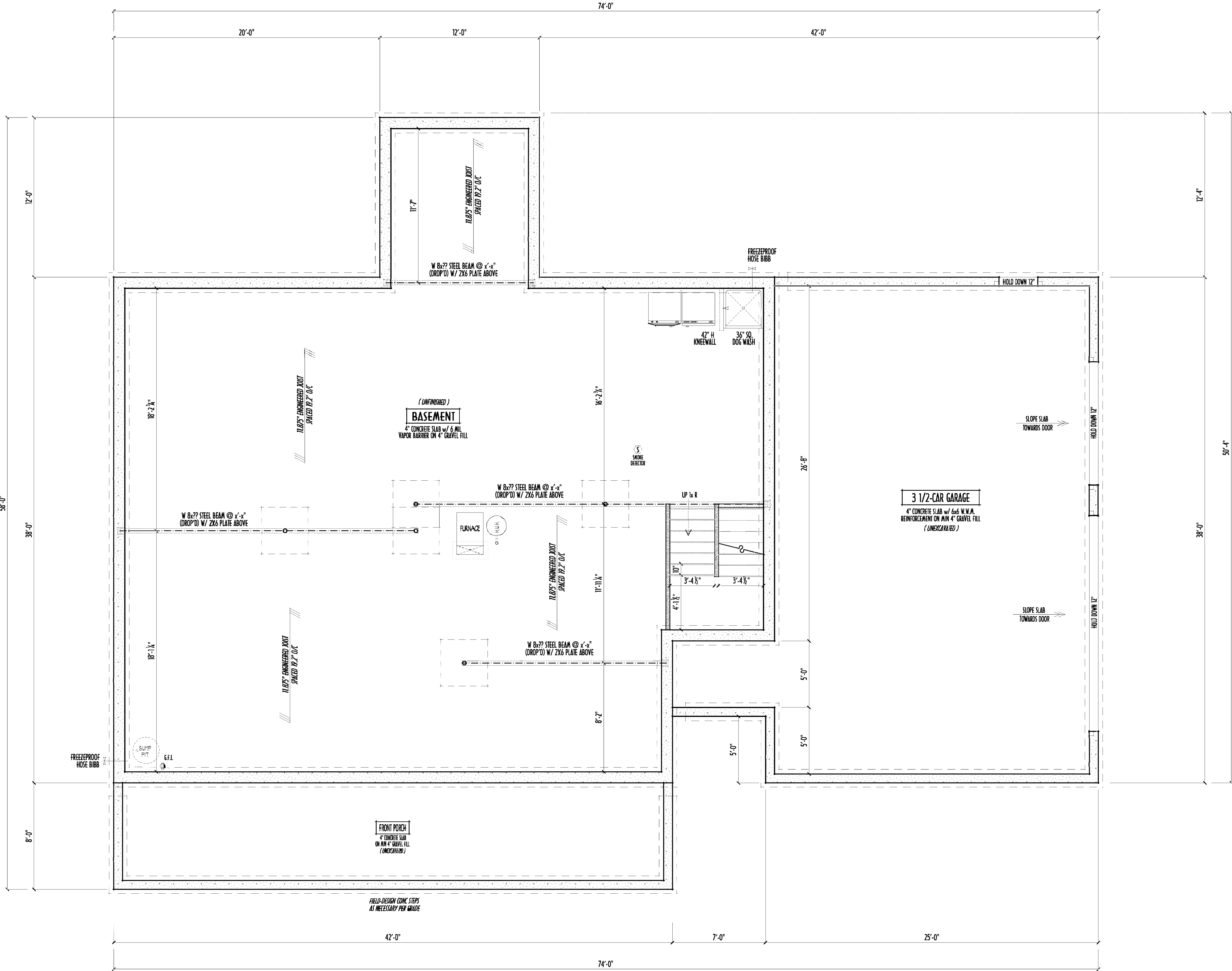
FULLY NOTED DIMENSIONS - DO NOT SCALE PRINTS

DESIGNED

P&D / rwd

PAGE :

4 of 9



FOUNDATION / BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

|                            |              |
|----------------------------|--------------|
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