

P&D Builders - Job #1745

FIRST FLOOR CEILINGS @ 9'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOW HEADERS @ 7'-6" UNLESS NOTED OTHERWISE

EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS

SEE ROOF PLAN FOR SOFFIT & RAKE SIZES

RUN BRICK VENEER 1" PAST FRAMING CORNERS

CULTURED STONE VENEER WRAPS FRONT CORNERS MIN 6" INTO 1X6 WOOD TRIM UNLESS NOTED

FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM

WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT

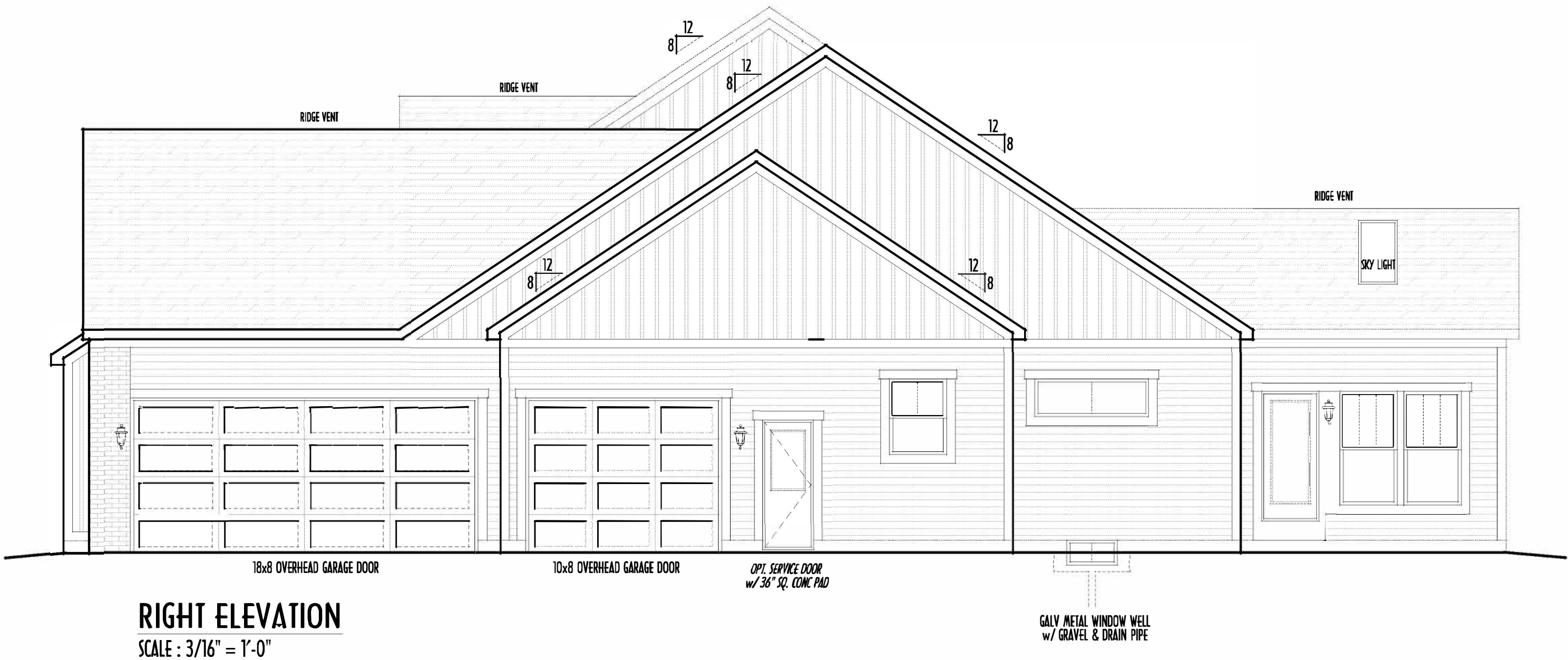
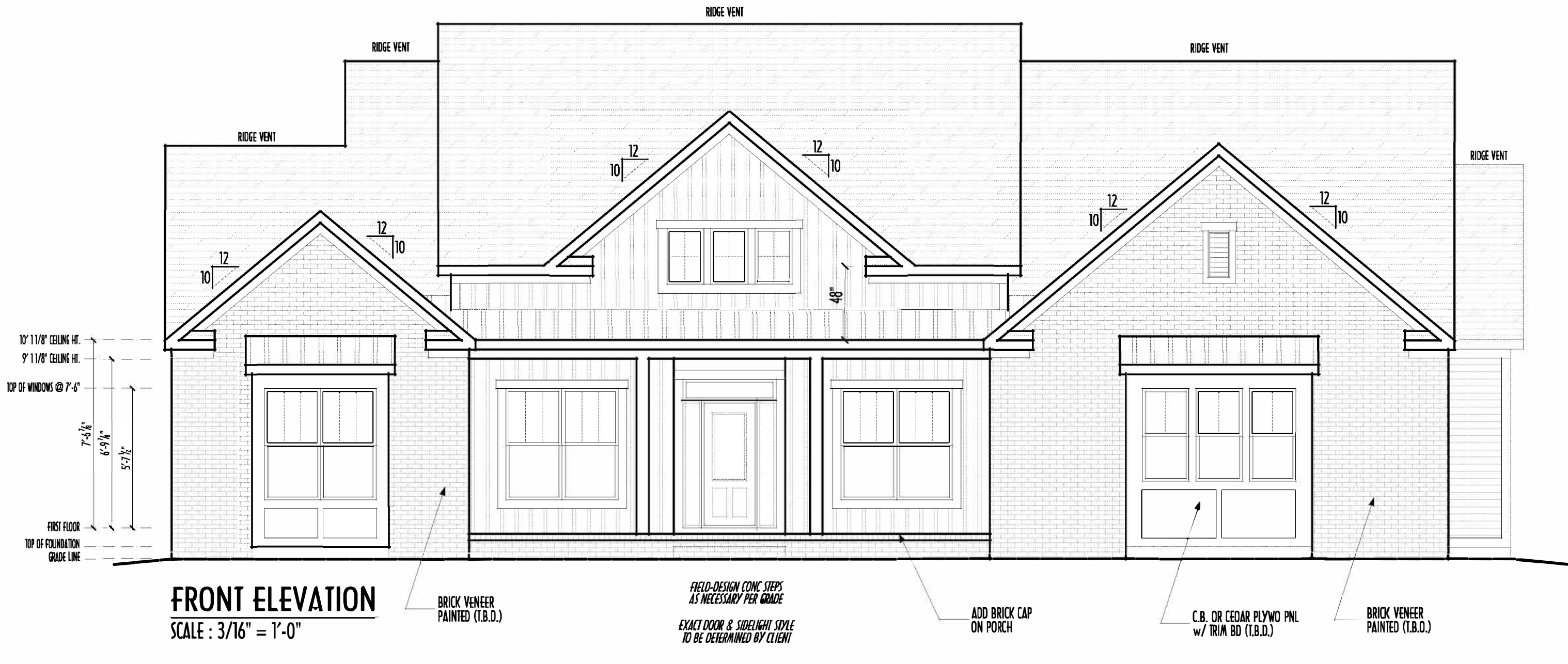
WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS CONFORM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER

RUN STUCCO, STONE & BRICK VENEER TO GRADE UNLESS NOTED

WEEP SCREEDS FOR STUCCO EXTERIORS SHALL COMPLY WITH R-703.6.2.1 (#26 GALV CORROSION-RESISTANT SCREED AT/ABV FOUNDATION PLATE (3.5" FLANGE) PLACED AT MIN 4" ABV EARTH / 2" ABV PAVING, ALLOWING TRAP'D WATER TO DRAIN)

SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

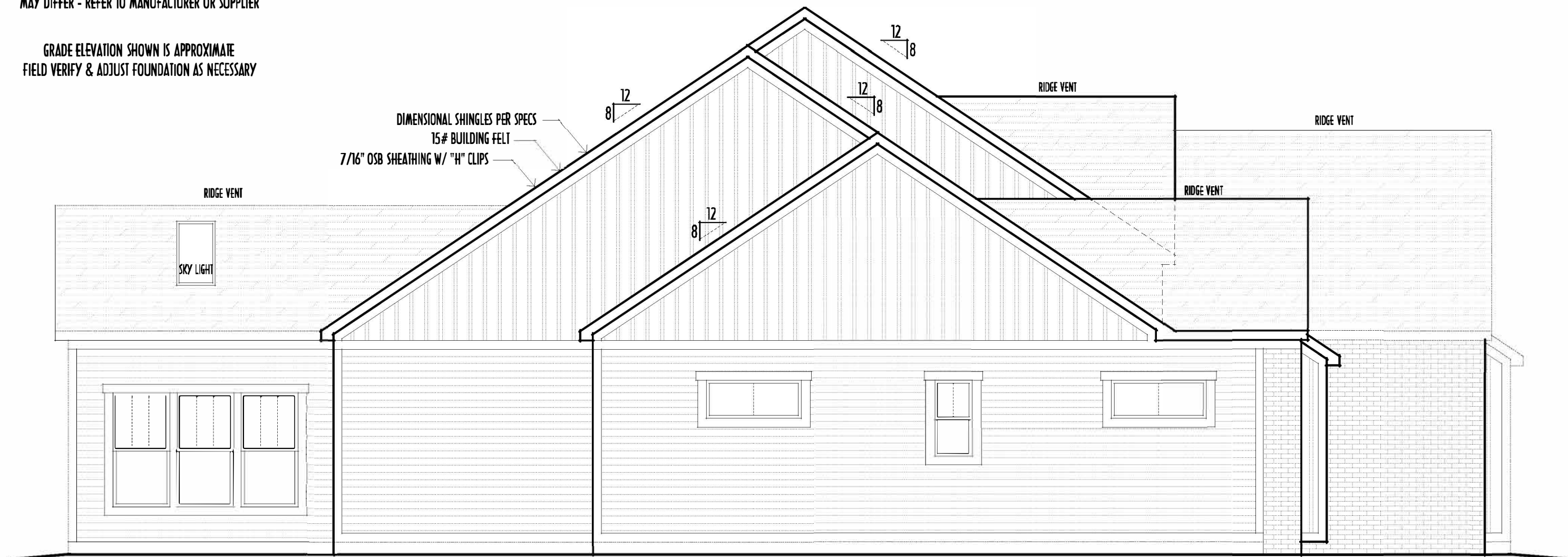
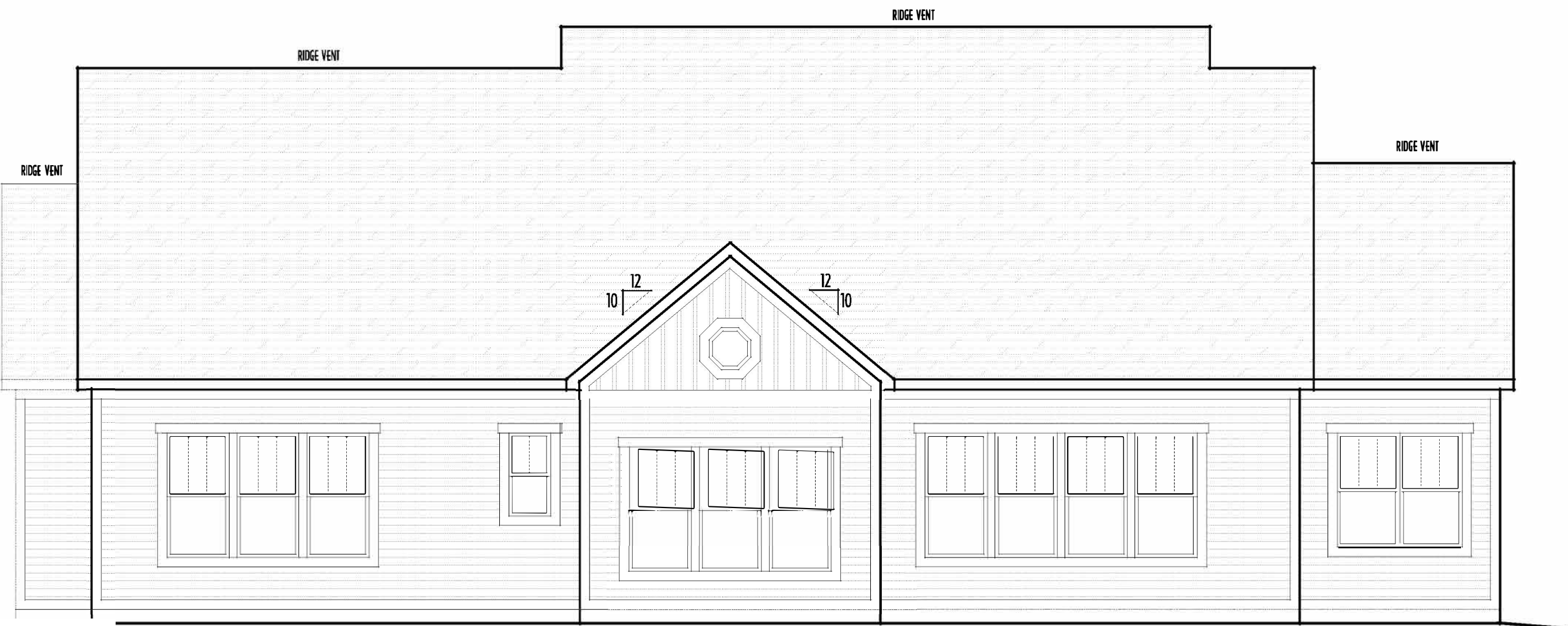
- DIMENSIONAL SHINGLES (PER SPEC'S)
- BOARD & BATTEN SIDING (STYLE T.B.D. PER CLIENT)
- HORIZ LAP SIDING (TYPE T.B.D. PER BUILDER)
- METAL ROOFING (TYPE T.B.D. PER BUILDER)
- BRICK VENEER (PAINTED)



FINAL WINDOW DESIGN PER PROVIDER. ALL FRAMING ROUGH-OPENINGS TO BE BASED ON FINAL LAYOUT ONLY

EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS) MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER

GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY



ELEVATIONS

P & D BUILDERS

EST. 1962

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PROJ #

1745

ARCHITECT

RONALD W. DANNE

REGISTERED ARCHITECT

1717085

RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2025

Danne

Residential Design & Drafting, LLC

614.207.8266 danne@pnd.com

REVISION	DATE	BY	REASON
1	5/21/25	jam	concept/die
2	5/21/25	jam	prelim rev
3	6/10/25	jam	prelim rev
4	7/8/25	jam	prelim rev
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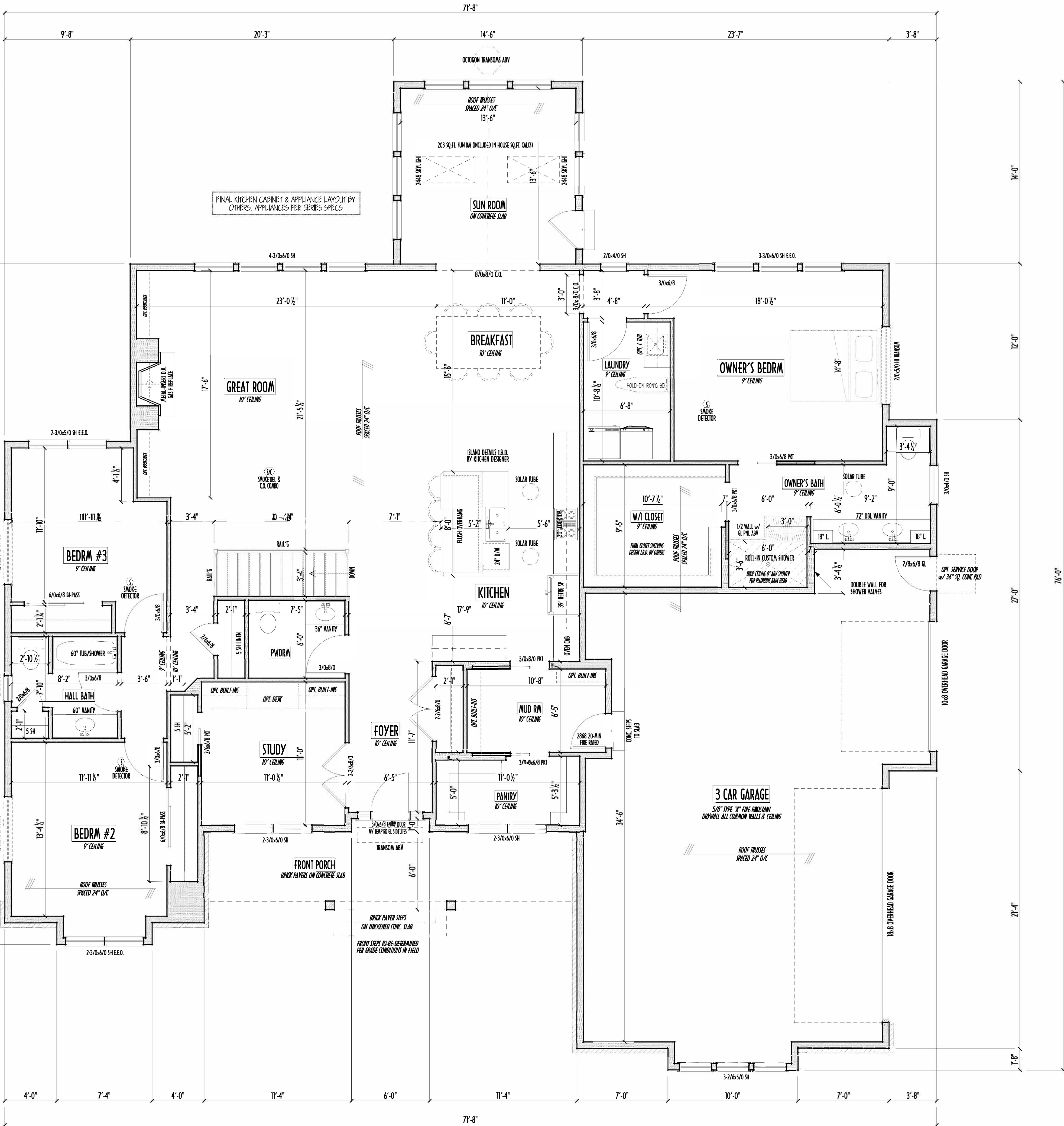
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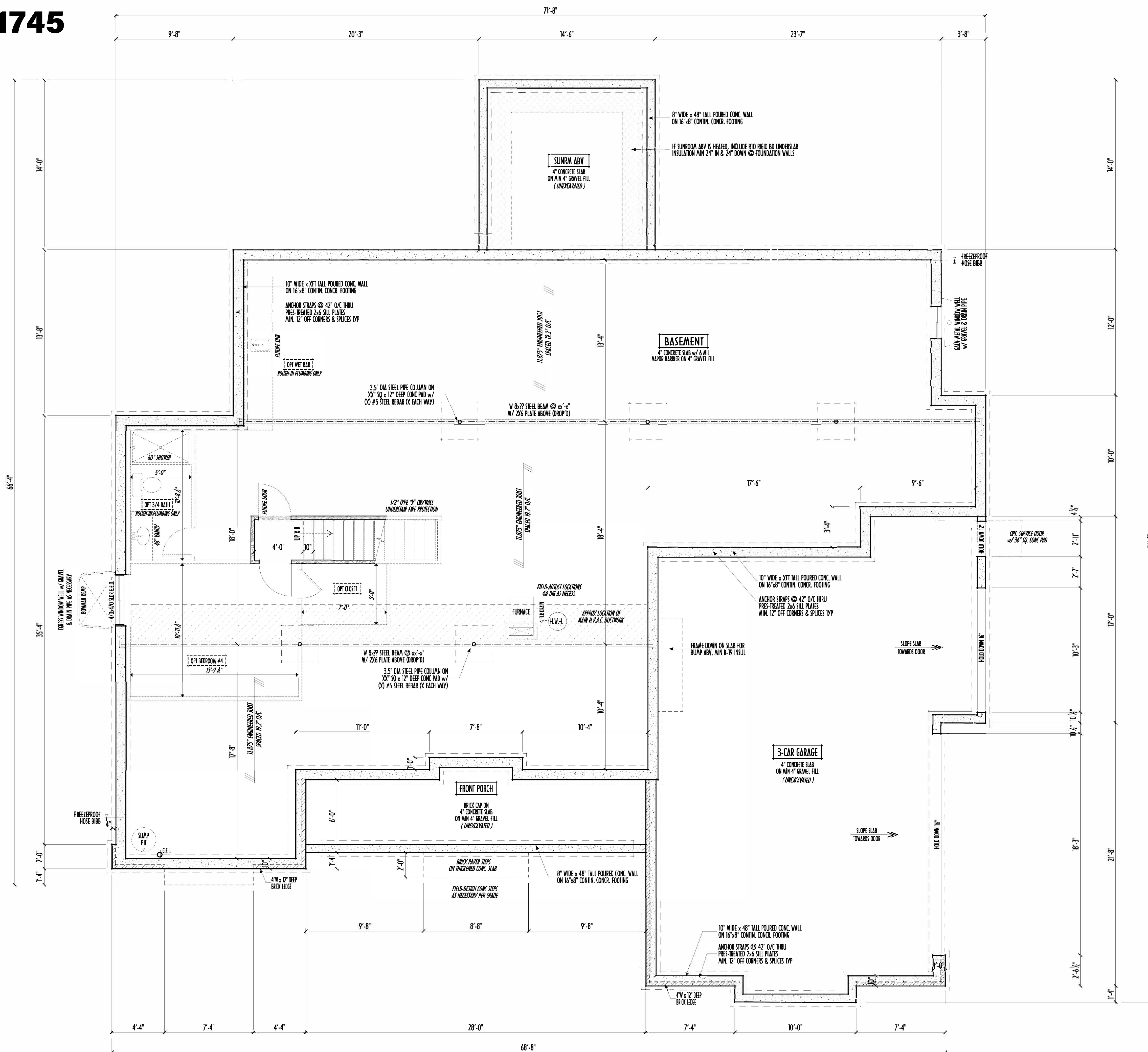
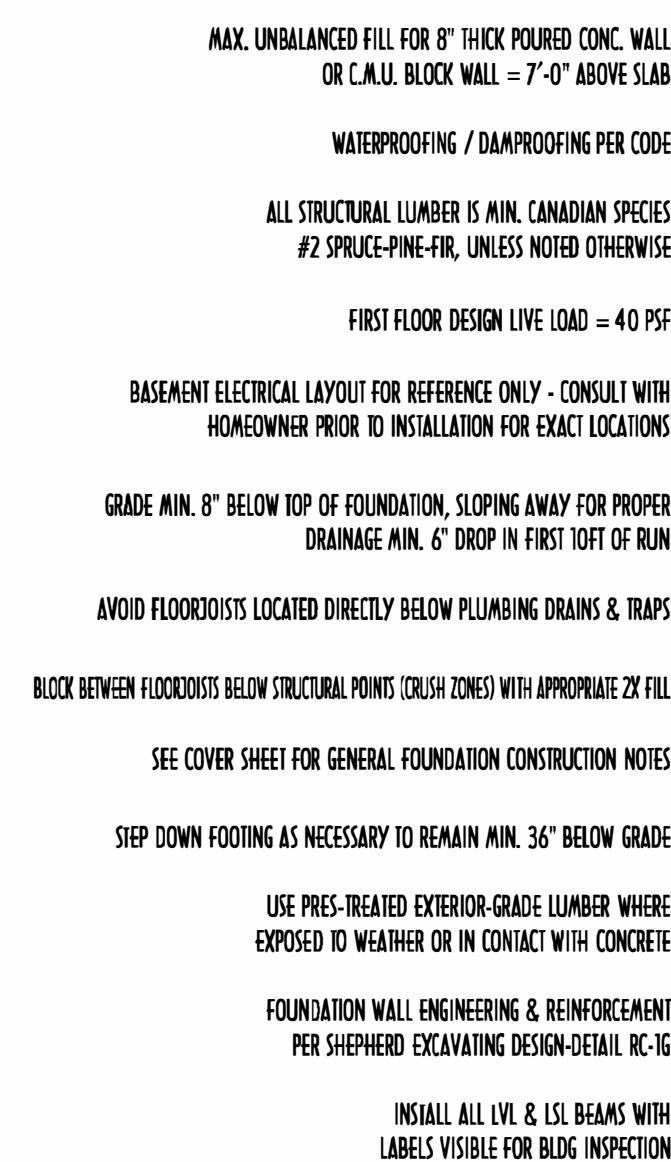
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4 of 8

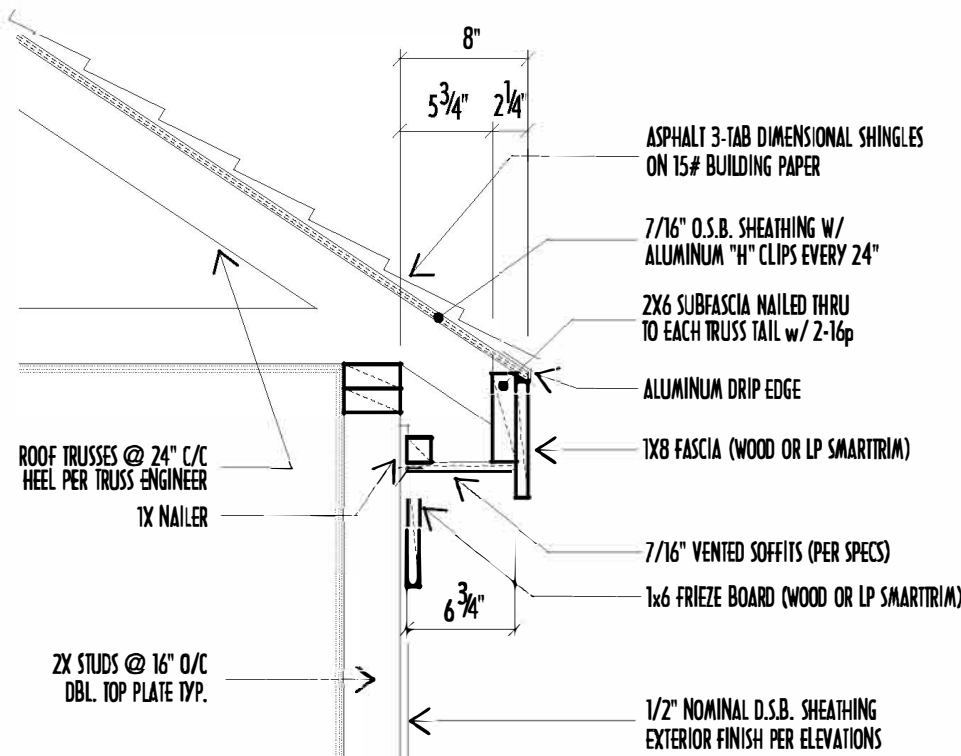
FIRST FLOOR CEILINGS AT 10'-1 1/8" & 9'-1 1/8" UNLESS NOTED OTHERWISE
FIRST FLOOR WINDOWS HEADERS AT 7'-6" UNLESS NOTED OTHERWISE
CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY
DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP
FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
ALL FRAMING AND STRUCTURAL CONSTRUCTION IS TO
CONFORM TO 2019 I.C.D. AND/OR APPLICABLE LOCAL CODES
WINDOWS & DOORS (BRAND & DESIGN) PER CONTRACT
CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HGT'S w/ PROVIDER
CONFIRM FLOORING & FINISH MATERIALS w/ JOB SUPERVISOR (PER CONTRACT)
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR
CORNERS OF WOOD FRAMING LENGTHS AND/OR FENESTRATION
AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT MIDSPAN PER CODE
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN
ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FINAL/INSTALLED INSULATION VALUES SHOULD MATCH
HEAT RATE SHEETS FROM TACOMA ENERGY (THOSE SHOWN
ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)
INSTALL ALL LVL & LSI BEAMS WITH
LABELS VISIBLE FOR BLDG INSPECTION





FOUNDATION / BASEMENT PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR AREA = 2,758 SQ.FT.
OPT FIN. BSMT AREA = xxx SQ.FT.



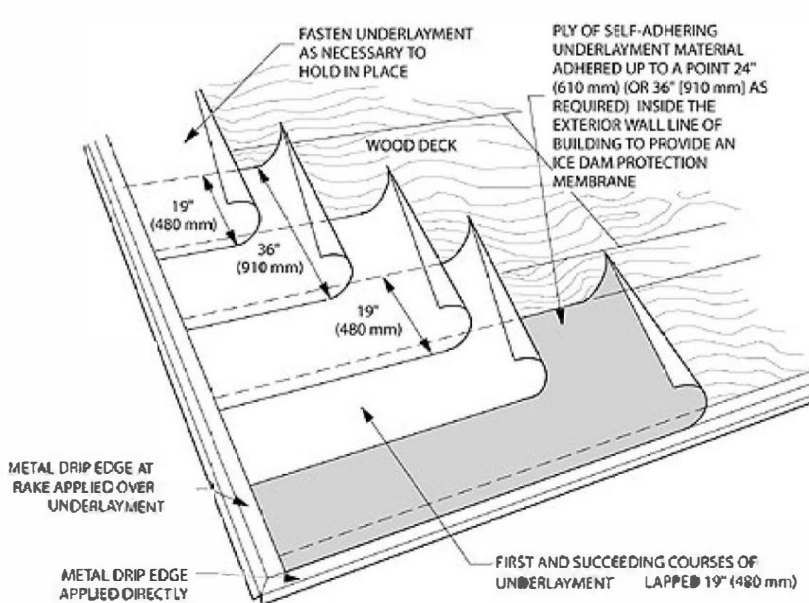
8" SOFFIT / EAVE DETAIL
SCALE: 1" = 1'-0"

MAX. ALLOWABLE SPANS RAFTERS	
CEILING APPLIED DIRECTLY TO BOTTOM / REPETITIVE USE	
SOUTHERN YELLOW PINE #2	SPRUCE/PINE/FIR #2
2x4 @ 16" ~ MAX. SPAN = 8'-11"	2x4 @ 16" ~ MAX. SPAN = 6'-6"
2x4 @ 24" ~ MAX. SPAN = 7'-5"	2x4 @ 24" ~ MAX. SPAN = 6'-11"
2x6 @ 16" ~ MAX. SPAN = 13'-0"	2x6 @ 16" ~ MAX. SPAN = 12'-5"
2x6 @ 24" ~ MAX. SPAN = 10'-8"	2x6 @ 24" ~ MAX. SPAN = 10'-2"
2x8 @ 16" ~ MAX. SPAN = 16'-10"	2x8 @ 16" ~ MAX. SPAN = 13'-8"
2x8 @ 24" ~ MAX. SPAN = 13'-9"	2x8 @ 24" ~ MAX. SPAN = 12'-10"
2x10 @ 16" ~ MAX. SPAN = 20'-1"	2x10 @ 16" ~ MAX. SPAN = 19'-3"
2x10 @ 24" ~ MAX. SPAN = 16'-5"	2x10 @ 24" ~ MAX. SPAN = 15'-8"
2x12 @ 16" ~ MAX. SPAN = 25'-3"	2x12 @ 16" ~ MAX. SPAN = 22'-4"
2x12 @ 24" ~ MAX. SPAN = 18'-3"	2x12 @ 24" ~ MAX. SPAN = 16'-5"

CANADIAN WOOD COUNCIL - U.S. SPANS FOR CANADIAN LUMBER GUIDE
AMERICAN SOFTWOOD LUMBER STAND. P200-09
FPA GUIDELINES / 2013 RESIDENTIAL CODE OF CANADA

MAX. ALLOWABLE SPANS CEILING JOISTS	
SPRUCE/PINE/FIR #2 OR BETTER (REPETITIVE USE)	
EXTREME FIBER STRESS IN BENDING 78% = 1100 PSI MODULUS OF ELASTICITY E = 1.4 MILL PSI	
NO STORAGE ALLOWED:	LIMITED ATTIC STORAGE:
2x4 @ 16" ~ MAX. SPAN = 10'-9"	2x4 @ 16" ~ MAX. SPAN = 8'-11"
2x4 @ 24" ~ MAX. SPAN = 9'-10"	2x4 @ 24" ~ MAX. SPAN = 7'-8"
2x6 @ 16" ~ MAX. SPAN = 16'-11"	2x6 @ 16" ~ MAX. SPAN = 15'-6"
2x6 @ 24" ~ MAX. SPAN = 13'-8"	2x6 @ 24" ~ MAX. SPAN = 11'-0"
2x8 @ 16" ~ MAX. SPAN = 22'-4"	2x8 @ 16" ~ MAX. SPAN = 17'-5"
2x8 @ 24" ~ MAX. SPAN = 20'-1"	2x8 @ 24" ~ MAX. SPAN = 16'-2"
2x10 @ 16" ~ MAX. SPAN = 29'-1"	2x10 @ 16" ~ MAX. SPAN = 20'-9"
2x10 @ 24" ~ MAX. SPAN = 23'-11"	2x10 @ 24" ~ MAX. SPAN = 19'-11"

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NOTE - DIMENSIONS ARE APPROXIMATE

ICE-DAM PROTECTION @ EAVES USING 2 LAYERS OF OVERLAPPED UNDERLAYMENT
TIED TOGETHER UNDER SHINGLES EXTENDING IN MIN. 24" FROM OUTSIDE OF WALL BELOW

ROOF SLOPES LESS THAN 4 IN 12 SHALL HAVE MIN. (2) LAYERS
OF #15 FEEL PARALLEL TO EAVES, WITH MIN. 12" LAP AT TOP
AND MIN. 12" END LAP, WITH MIN. 72" BETWEEN ROWS OF END LAPS

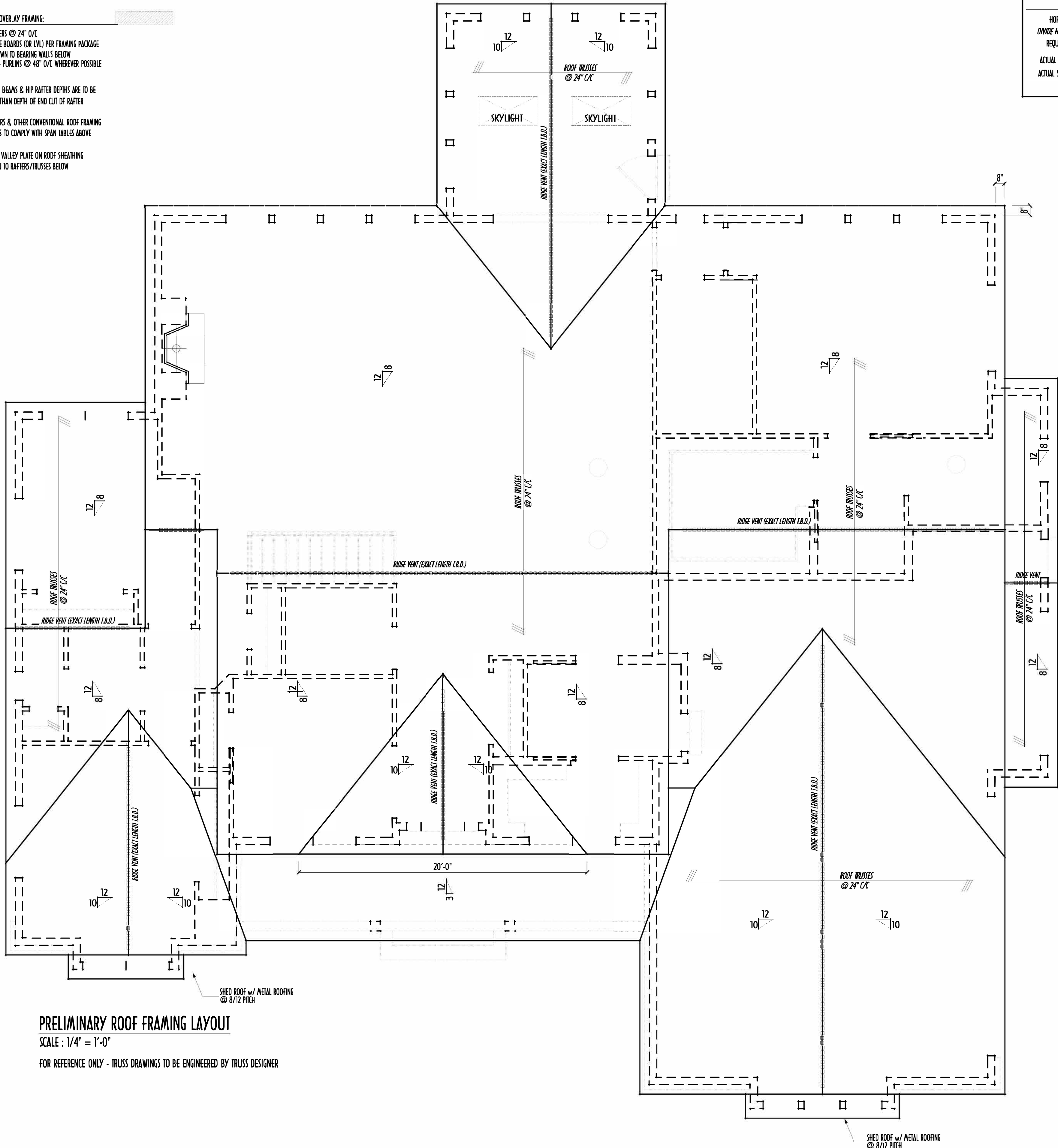
- OR - INSTALLED PER SHINGLE MANUFACTURER'S SPECIFICATIONS
FOR COLD-WEATHER LOW-SLOPE CONDITIONS

INFILL & OVERLAY FRAMING:
2X6 RAFTERS @ 24" O/C
2X8 RIDGE BOARDS (OR LVL) PER FRAMING PACKAGE
BLOCK DOWN TO BEARING WALLS BELOW
W/ 2-2X4 PURLINS @ 48" O/C WHEREVER POSSIBLE

ALL RIDGE BEAMS & HIP RAFTER DEPTHS ARE TO BE
NOT LESS THAN DEPTH OF END CUT OF RAFTER

ALL RAFTERS & OTHER CONVENTIONAL ROOF FRAMING
LUMBER IS TO COMPLY WITH SPAN TABLES ABOVE

MIN. 2X6 VALLEY PLATE ON ROOF SHEATHING
NAIL THRU TO RAFTERS/TRUSSES BELOW



PRELIMINARY ROOF FRAMING LAYOUT
SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY - TRUSS DRAWINGS TO BE ENGINEERED BY TRUSS DESIGNER

ROOF VENTILATION CALC'S	
HORIZONTAL AREA OF ATTIC SPACES =	xxxx SQ. FT.
DIVIDE HORIZ. AREA BY 300 (USING BOTH RIDGE & SOFFIT VENTS)	
REQUIRED SQ. FT. OF VENT OPENINGS =	xxxx SQ. FT.
ACTUAL LINEAR FT. OF RIDGE VENT (xxx) =	xxx LF x .11 PER = xxxx SQ. FT.
ACTUAL SQ. FT. OF SOFFIT VENT (MIN. xxx) =	xxxx.25 = xxxx SQ. FT.
ACTUAL TOTAL SQ. FT. OF VENTS =	xxxx SQ. FT.

SOFFITS EXTEND 8" PAST FRAMING U.L.O.
RAKES EXTEND 8" PAST FRAMING U.L.O.

ROOF TRUSSES DESIGNED AND ENGINEERED BY MANUFACTURER PER BUILDING CODE REQUIREMENTS

ALL EXTERIOR WALLS CAN BE CONSIDERED LOADBEARING, DO NOT DESIGN TRUSSES
TO BEAR ON INTERIOR WALLS UNLESS NOTED AS "ABLE TO LOADBEAR" ON PLANS

LAYOUT SHOWN IS FOR REFERENCE ONLY - STRUCTURAL LAYOUT DESIGNED BY TRUSS COMPANY

ALL STRUCTURAL LUMBER MINIMUM #2 S-P-F UNLESS NOTED

HAT VENTS / RIDGE VENTS / GABLE VENTS SHOWN ON ELEVATIONS

PROVIDE FLASHING FOR ROOF / WALL INTERSECTIONS

FRAMING CONTRACTOR IS TO PROVIDE ENG'NG CUT SHEETS FOR ALL TRUSSES
AND PRE-MANUFACTURED BEAMS (LVL'S) TO BUILDING INSPECTOR AT FRAMING INSPECTION

PROVIDE APPROPRIATE FIRE-STOPPING IN ALL CONCEALED HORIZONTAL & VERTICAL
DRAFT SPACES TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN EACH STORY AND ROOF

FOR ROOF AREAS UNABLE TO BE TRUSSED, FOLLOW
CONVENTIONAL SPAN TABLES THIS PAGE
(RIDGE BD. DEPTHS MUST EXCEED RAFTER CUTS)

TRUSS DESIGNER TO CONTACT P&D BUILDERS
WITH DESIGN QUESTIONS (740) 201-8079 X211 ATTN. RON

AVOID PLACING GIRDERS & CARRIER TRUSSES
ABOVE OPENINGS WHENEVER POSSIBLE

TRUSS DESIGNER TO COORDINATE TRUSS TOP-CHORD DESIGN
TO SUPPORT CONVENTIONAL FRAMING WHERE NECESSARY

2-2X4 BLOCKING / PURLINS EVERY 48" C/C
DOWN TO WALLS BELOW WHERE POSSIBLE

FIRST FLOOR AREA = 2,758 SQ. FT.
OPT. FIN. BSMT AREA = xxx SQ. FT.

ROOF

P&D
BUILDERS
EST. 1962

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1745

PROJ. NO. 1745

DATE: 12/15/2025

DESIGNED BY: P&D

CHECKED BY: P&D

APPROVED BY: P&D

RONALD W. DANNE
1717085
EXPIRATION DATE: 12/31/2025

Danne
Residential Design & Drafting, Inc.
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6	7/23/25	jam	prelim rev
7	7/24/25	jam	QTO

10-SCALE WHEN PRINTED 24"X36" - PAPER SIZE 24"
0' 2' 4' 6' 8' 10'
FIELD VENTILATION - DO NOT SCALE PRINTS

DESIGNED BY: P&D / rwd

PAGE: 5 OF 8