

PH0688258

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

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RECEIVED NOV 20 1978
DATE ENTERED JAN 8 1979

**NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY -- NOMINATION FORM**

SEE INSTRUCTIONS IN *HOW TO COMPLETE NATIONAL REGISTER FORMS*
TYPE ALL ENTRIES -- COMPLETE APPLICABLE SECTIONS

1 NAME

HISTORIC

Miles House

AND/OR COMMON

2 LOCATION

STREET & NUMBER

631 Woodland Street

__ NOT FOR PUBLICATION

CITY, TOWN

Nashville

CONGRESSIONAL DISTRICT
Fifth

__ VICINITY OF

STATE

Tennessee

CODE
47

COUNTY
Davidson

CODE
37

3 CLASSIFICATION

CATEGORY	OWNERSHIP	STATUS	PRESENT USE
<input type="checkbox"/> DISTRICT	<input type="checkbox"/> PUBLIC	<input type="checkbox"/> OCCUPIED	<input type="checkbox"/> AGRICULTURE
<input checked="" type="checkbox"/> BUILDING(S)	<input checked="" type="checkbox"/> PRIVATE	<input checked="" type="checkbox"/> UNOCCUPIED	<input type="checkbox"/> MUSEUM
<input type="checkbox"/> STRUCTURE	<input type="checkbox"/> BOTH	<input type="checkbox"/> WORK IN PROGRESS	<input type="checkbox"/> COMMERCIAL
<input type="checkbox"/> SITE	PUBLIC ACQUISITION	ACCESSIBLE	<input type="checkbox"/> PARK
<input type="checkbox"/> OBJECT	<input type="checkbox"/> IN PROCESS	<input checked="" type="checkbox"/> YES: RESTRICTED	<input type="checkbox"/> EDUCATIONAL
	<input type="checkbox"/> BEING CONSIDERED	<input type="checkbox"/> YES: UNRESTRICTED	<input type="checkbox"/> ENTERTAINMENT
		<input type="checkbox"/> NO	<input type="checkbox"/> RELIGIOUS
			<input type="checkbox"/> GOVERNMENT
			<input type="checkbox"/> INDUSTRIAL
			<input type="checkbox"/> MILITARY
			<input checked="" type="checkbox"/> OTHER: vacant

4 OWNER OF PROPERTY

NAME

Charles Williams

STREET & NUMBER

800 Russell Street

CITY, TOWN

Nashville

__ VICINITY OF

STATE
Tennessee

5 LOCATION OF LEGAL DESCRIPTION

COURTHOUSE,
REGISTRY OF DEEDS, ETC.

Register's Office-Metro Courthouse

STREET & NUMBER

Court Square

CITY, TOWN

Nashville

STATE
Tennessee

6 REPRESENTATION IN EXISTING SURVEYS

TITLE

Tennessee Historical and ARchitectural Survey

DATE

August 1978

__ FEDERAL STATE __ COUNTY __ LOCAL

DEPOSITORY FOR
SURVEY RECORDS

Tennessee Historical Commission

CITY, TOWN

Nashville

STATE
Tennessee

7 DESCRIPTION

CONDITION

EXCELLENT DETERIORATED
 GOOD RUINS
 FAIR UNEXPOSED

CHECK ONE

UNALTERED
 ALTERED

CHECK ONE

ORIGINAL SITE
 MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

The Miles House is a two-story building, roughly square in plan, of brick on a stone foundation. On both floors two rooms are located on each side of a central hall running from front to back. The stair rises from the left side of the hall. At the center of the front of the house (southeast elevation) is a projecting tower-like bay, square in plan, which forms an entry porch on the first floor level and contains a fifth second-story room opening onto the end of the upstairs hall. At the rear of the hall on the first floor is a concrete addition containing a bathroom.

The northeast side of the entry porch opens onto a veranda running around the corner and half-way back on the northeast side of the house. To the left of the entry is a three-sided bay window projection on the first floor level. Over its windows and the tower entry are decorative tin hoods of vaguely Italianate character. Evidence in the walls and foundation indicates that the veranda and bay window were added and the extension of the central bay increased at sometime after the initial construction of the house.

Second story dormers project from the tin-shingled, slope-sided, flat-topped roof on all four sides. The dormer gables have decorative carved barge boards. The central bay is topped by a high steep pyramid roof.

In the spring of 1977 a fire in the house seriously damaged the roof of the central bay and destroyed most of the interior woodwork. Little structural damage was done and some of the interior woodwork survived. The iron fencing which ran atop the low stone retaining wall in front is intact and is temporarily in storage to protect it from vandals.

8 SIGNIFICANCE

PERIOD	AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW				
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input checked="" type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION	
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE	
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE	
<input type="checkbox"/> 1600-1699	<input type="checkbox"/> ARCHITECTURE	<input checked="" type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN	
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER	
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION	
<input type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)	
		<input type="checkbox"/> INVENTION			

SPECIFIC DATES *circa 1860*

BUILDER/ARCHITECT

STATEMENT OF SIGNIFICANCE

The Miles House is located in the area of Nashville which was the suburb Edgefield. Edgefield began to develop in the 1850s and was incorporated in 1868. After it was absorbed by the city of Nashville in 1880, Edgefield continued its development as an elite residential neighborhood until a disastrous fire in 1916 which destroyed hundreds of houses and began the area's slow decline which lasted for sixty years. A number of Victorian houses survived the fire and, among the survivors, the Miles House is one of the oldest.

Woodland Street, on which the house is located, is one of the boundaries of the Edgefield Historic District. The district is listed in the National Register and was designated Nashville's first historic zoning district by Metropolitan Nashville Government in June 1978. The Miles House can be seen from a number of points within the Edgefield district, and is a visual focus for East Park, a city park lying along Woodland Street just within the district. The house was cited as one of the most important visual features of the area surrounding the district in a preservation planning study produced by the firm Preservation/Urban Design/Inc. of Anne Arbor, Michigan for Historic Edgefield, Inc., the district neighborhood organization.

Though the Miles House was built as a private residence, it also served as the home of Nashville Female Seminary. From 1870 until his death in 1879, Professor Henry Weber operated the school in this house teaching young women English, foreign languages, music, history, and metaphysics. Professor Weber's son later served as superintendent of Nashville's city schools.

After its return to residential use the house was owned by a Nashville riverboat captain, J. W. Lovell, and by the family of retired Nashville Circuit Judge Roy A. Miles. Most recently the house contained nine apartments. Present owners will soon begin a careful restoration of the exterior and reuse of the interior as offices.

Significant as one of the oldest surviving Edgefield houses and the former home of the Edgefield Female Seminary, the Miles House can also be a significant adjunct to the Edgefield district in its present delineation.

9 MAJOR BIBLIOGRAPHICAL REFERENCES

Nashville City Directory 1870-1879, 1884.
 Davidson County Deed Books, Metro Courthouse, Nashville, TN.
 Oral interview with Judge Roy A. Miles.
 1860 City Map of Nashville and Edgefield

10 GEOGRAPHICAL DATA

ACREAGE OF NOMINATED PROPERTY .3

QUADRANGLE NAME Nashville West, TN

QUADRANGLE SCALE 1:24000

UTM REFERENCES

A 16 521530 4003030
 ZONE EASTING NORTHING

B
 ZONE EASTING NORTHING

C

D

E

F

G

H

VERBAL BOUNDARY DESCRIPTION The nominated property is a rectangular lot which measures 75 feet by 170 feet and which is bounded on the southeast by Woodland Street and on the northeast by South Seventh Street.

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE	CODE	COUNTY	CODE

11 FORM PREPARED BY

NAME / TITLE

David H. Paine

ORGANIZATION

Metropolitan Historical Commission

DATE

August 1978

STREET & NUMBER

Second Avenue North at Broadway

TELEPHONE

(615) 259-5027

CITY OR TOWN

Nashville

STATE

Tennessee

12 STATE HISTORIC PRESERVATION OFFICER CERTIFICATION

THE EVALUATED SIGNIFICANCE OF THIS PROPERTY WITHIN THE STATE IS:

NATIONAL

STATE

LOCAL X

As the designated State Historic Preservation Officer for the National Historic Preservation Act of 1966 (Public Law 89-665), I hereby nominate this property for inclusion in the National Register and certify that it has been evaluated according to the criteria and procedures set forth by the National Park Service.

STATE HISTORIC PRESERVATION OFFICER SIGNATURE

Robert L. Hays

TITLE

Executive Director, Tennessee Historical Commission

DATE

11/15/78

FOR NPS USE ONLY

I HEREBY CERTIFY THAT THIS PROPERTY IS INCLUDED IN THE NATIONAL REGISTER

KEEPER OF THE NATIONAL REGISTER

DATE

1-8-79

ATTEST:

John H. Gilmore

DATE

4/5/78

CHIEF OF REGISTRATION

79002424

Property Miles House

State Lenn.

Working Number 11.20.78.4597

TECHNICAL

Photos 5
Maps 1

CONTROL

pl
OK 11.21.78

HISTORIAN

Property ~~is~~ ^{significant} as a ~~to~~ remaining link to the 19th century residential development of Edgefield. Miles House is one of the oldest houses remaining in Edgefield which reflects this period.

Handy
accept
1-2-79

ARCHITECTURAL HISTORIAN

ARCHEOLOGIST

Concur w/ Handy. Could have worked on signif. in arch. & educ.

OTHER

accept 1-3-79
J. Turner

HAER

Inventory _____
Review _____

could assist in nomination - bio. just outside district.

REVIEW UNIT CHIEF

Jane H. Billmore
1/5/78
ACCEPT

BRANCH CHIEF

KEEPER

National Register Write-up _____
Federal Register Entry _____

3-6-79

Send-back _____
Re-submit _____

Entered JAN 8 1979

Miles House

1.2.29 1st Review

Called state (Robert Dalton) to determine
approx age of structure.

Circa 1860

check community planning + add
1860 circa date. State will
adjust their forms to reflect
the same.

Handy

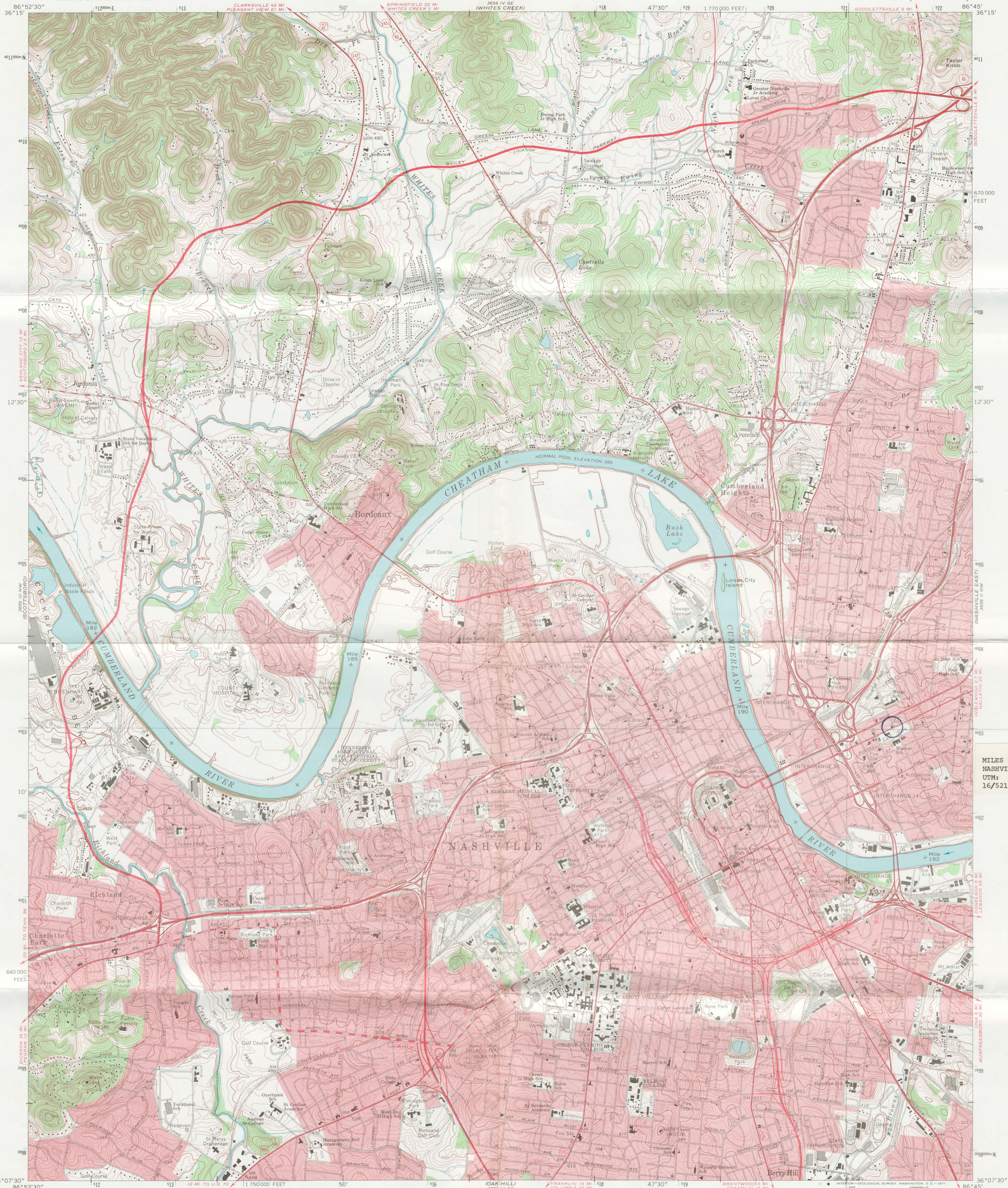






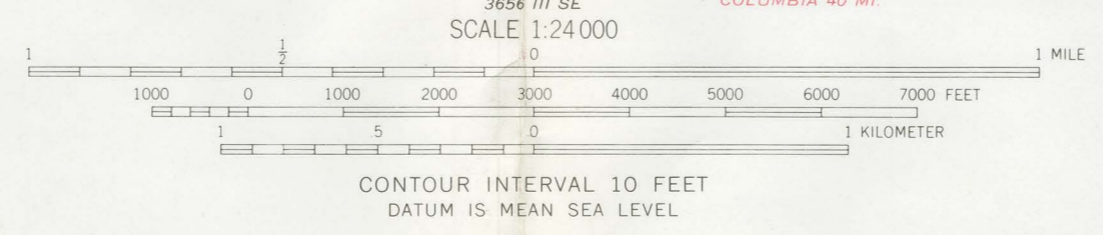
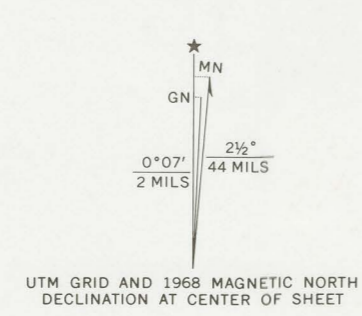






MILES HOUSE
NASHVILLE, TN
UTM:
16/521530/4003030

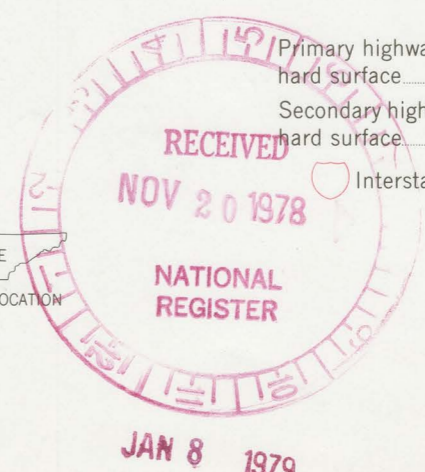
Mapped, edited, and published by the Geological Survey
Control by USGS, USC&GS, USCE, and Tennessee Geodetic Survey
Topography by photogrammetric methods from aerial photographs
taken 1951 and by the Army Map Service. Field checked 1952
Revised from aerial photographs taken 1967. Field checked 1968
Polyconic projection. 1927 North American datum
10,000-foot grid based on Tennessee coordinate system
10,000-meter Universal Transverse Mercator grid ticks,
zone 16, shown in blue
Fine red dashed lines indicate selected fence and field lines where
generally visible on aerial photographs. This information is unchecked
Red tint indicates areas in which only landmark buildings are shown



ROAD CLASSIFICATION

Primary highway, all weather, hard surface	Light-duty road, all weather, improved surface
Secondary highway, all weather, hard surface	Unimproved road, fair or dry weather
Interstate Route	U. S. Route
	State Route

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
FOR SALE BY U.S. GEOLOGICAL SURVEY, WASHINGTON, D. C. 20242
AND TENNESSEE DIVISION OF GEOLOGY, NASHVILLE, TENN. 37219
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST



NASHVILLE WEST, TENN.
N3607.5-W8645.7/5

1968
AMS 3656 III NE-SERIES V841

JAN 8 1979



STATE OF TENNESSEE

TENNESSEE HISTORICAL COMMISSION

170 SECOND AVENUE, NORTH
NASHVILLE, TENNESSEE 37201
TELEPHONE (615) 741-2371

HERBERT L. HARPER, Executive Director
State Historic Preservation Officer

November 15, 1978

Dr. William J. Murtagh
National Register
Office of Archeology and
Historic Preservation
18th and C Streets, N.W.
Washington, D. C. 20240



Dear Dr. Murtagh:

Enclosed please find the forms necessary to nominate the Miles House to the National Register of Historic Places.

If additional information is needed, please contact me.

Sincerely,

Herbert L. Harper

HLH:11

Enc.

RAY BLANTON, Governor

B. R. ALLISON, Commissioner of Conservation

HARRY W. WELLFORD, Memphis
Vice-Chairman

RICHARD WEESNER, Nashville
Chairman

FRANK WINSTON, Bristol
Vice-Chairman

ENTRIES IN THE NATIONAL REGISTER

STATE TENNESSEE

Date Entered JAN 8 1979

<u>Name</u>	<u>Location</u>
Buchanan, I. W. P., House	Lebanon Wilson County
Cloverlands	St. Bethlehem vicinity Montgomery County
Locust Grove	Castalian Springs vicinity Sumner County
Miles House	Nashville Davidson County

Also Notified

Honorable James R. Sasser
Honorable Howard H. Baker, Jr.
Honorable Albert Gore, Jr.
Honorable Robin L. Beard
Honorable Bill Boner

State Historic Preservation Officer
Mr. Herbert Harper
Executive Director
Tennessee Historical Commission
170 Second Avenue North, Suite 100
Nashville, Tennessee 37201

NR Byers/bjr 1/26/79

For further information, please call the National Register at (202)343-6401.

Strategy Statement for Proposed East Park Interim
Neighborhood Strategy Area

Submitted by
Property owner
1/4/79
letter sent to
Publications for
YP response

A. Description of Area

East Park is located in the northeast quadrant of Davidson County, just across the Cumberland River from Nashville's Central Business District (Map 1). The area includes 15 city blocks and stretches from South 5th to South 10th Streets, between Woodland Street and Shelby Avenue (Map 2). It is in a portion of Nashville which was incorporated as a separate city from 1868 until 1880, when it became a part of Nashville proper.

The East Park area is one of Nashville's oldest residential areas. It contains the largest concentration of Victorian structures remaining in Davidson County and has a history which is closely linked with the development of Nashville. For these reasons, the majority of the East Park area was listed in the National Register of Historic Places in July, 1977 as the "Edgefield Historic District". The same area became Nashville's first local historic district in May, 1978 (Map 3).

East Park is an area of primarily residential land use. Of the 393 buildings located in the East Park area, 77 percent are residential structures of from one to four units. An additional seven percent of the structures contain five or more dwelling units. The owner-occupancy rate of these structures is 53 percent. There are a total of 706 dwelling units in the area, with a total population of 1,365 residents and a median household income of \$7,700 as of 1977.

A total of 10 percent of the parcels in the East Park area are currently vacant. This offers the opportunity of encouraging in-fill residential construction which would be compatible with the character of historically and architecturally significant structures found in the area.

The remaining structures in the East Park area are used for retail, wholesale and financial services (seven percent), professional and personal services (five percent), and religious activities (four percent) (Map 4).

There are a number of facilities and services located in the East Park area which make it a cohesive and diverse neighborhood. Located within its boundaries are eight churches, a Metro playground park (East Park), Warner Public Elementary School and a neighborhood convenience market and "eat shop". There are commercial and office facilities located on Woodland Street and Shelby Avenue, serving the area with banks, medical services and small retail facilities. Also located in the East Park area are a nursing home, the Mid-Cumberland Association for the Blind and Opportunity House -- a United Way agency for the rehabilitation of former offenders (Map 5). The East Park area abutts a public housing complex for the elderly. Twelve dwelling units of this complex are included within its boundaries.

The location of the East Park area affords its residents high accessibility to other sections of Davidson County. As mentioned earlier, the East Park area is situated very near to the Nashville Central Business District, thus making accessible all the retail, personal, business and cultural services

found there. Woodland Street and Shelby Avenue, the two main thoroughfares in the East Park area, both have mass transit routes on them, with three on the former and one on the latter. Main Street, running parallel to, and one block north of, Woodland Street also has three bus routes on it. These bus routes travel to the north and also to a central transfer point downtown, providing access by mass transit to virtually the entire county. East Park also has excellent access to the county interstate highway system (Map 6).

The main asset of the East Park area is its resident neighborhood group which has been in existence for the past two years. This is an organization formed by young, recent homebuyers, but composed primarily of homeowners and tenants who have lived in the East Park area for decades. This neighborhood group has been responsible for bringing area residents together to work for the common good of the neighborhood, for obtaining National Register and local historic district status for the area and for creating new interest in the area on the part of real estate firms and financial institutions.

In September, 1977, the neighborhood group jointly funded a neighborhood study of the area with the Metropolitan Historical Commission. The neighborhood group's share of the funding was raised through neighborhood house tours and festivals which they held. The study was conducted by an out-of-town consultant and its proposals were adopted by the neighborhood group as their official plan. A copy of the document, Edgefield: a neighborhood design study, which was very well received by Metro agencies and officials, is included here.

This neighborhood group has carried out the above self-help efforts successfully. It was partially due to these past self-help initiatives that the East Park area was considered for designation as an Interim Neighborhood Strategy Area.

B. Problems and Needs of the Area

The main problem facing the East Park area is that of deteriorating housing stock. The factors responsible for the deterioration are threefold:

1. the age of structures in the area - 21 percent of the structures were constructed in the nineteenth century and another 42 percent were built in the very early portion of the twentieth century,
2. the low household median income - \$7,700 per year in 1975 - which does not afford owners expendable income with which to rehabilitate structures,
3. the large percentage of absentee-owned buildings in the area - as of 1975, 47 percent of East Park's structures were absentee-owned. As the general decline of housing stock took place in the area, these owners had no incentive to rehabilitate buildings in which they did not live.

And so, over time, these three factors have resulted in 54 percent of the structures in East Park being substandard as of 1975.

The three factors above, contributing to deteriorated housing condition, have also made it possible for a number of other problems to develop in the East Park area:

1. due to the age of structures and the low-medium income, it is expected that there is a fairly large number of structures in the area that are in violation of local minimum codes standards,
2. due to the low-median income there is evidence of unsatisfactory health conditions in the area in terms of dwellings, lots and alleys,
3. before the formation of the area's neighborhood association, East Park was located in the highest crime precinct in Davidson County. Incidence of crime has dropped in the last two years with residents joining together and rehabilitating houses, but crime is still an area problem.

Public amenities in East Park are in place in the form of paved streets and alleys, sidewalks of brick and concrete, curbs and gutters, street lighting and East Park with its playgrounds and community center building. However, although these amenities exist, they have had much use over the years and are in need of improvement and maintenance which is visually compatible with the character of this historic district.

The largest need in the East Park area, then, is a range of housing programs which would augment and encourage the renewed interest the area has experienced for the past two years. Upgraded public improvements are expected to spur on, and enhance, this interest.

C. Plan for the Area

As stated earlier, the neighborhood association in the area partially funded a neighborhood plan in September, 1977, entitled Edgefield: a neighborhood design study. This plan was formally adopted by the neighborhood group as their official neighborhood plan. Therefore, the plan outlined below reflects the recommendations of that document and is intended to leave room for suggestions raised by the East Park Citizens Advisory Committee which has recently been organized.

1. Public Improvements

Public improvements are in place in the East Park area and have been examined in the study mentioned above. There is need for upgrading of existing area public improvements in the form of curbs and gutters, bricking of some sidewalks, additional street lighting and signage and a reworking of the internal vehicular circulation system, as pointed out in the neighborhood study. However, these improvements are expected to entail a fairly minor portion of Community Development funds expended in the East Park area.

It is realized that all necessary upgrading of public improvements cannot be undertaken simultaneously in the East Park area. Therefore, a system of prioritizing the upgrading of public improvements will be established. Those maximizing the positive impact of improvements on the neighborhood will receive first priority. Public

improvements and open spaces in the East Park area will also be provided in a manner which is compatible with, and which enhances, the architectural and historical character of the neighborhood.

2. Housing Programs

As stated earlier, deteriorated housing stock is the largest single problem in the East Park area. The range of housing rehabilitation programs available under the local Community Development program could greatly upgrade the area when used in conjunction with a concentrated codes enforcement program.

Housing programs include rehabilitation loans and grants, emergency rehabilitation funds to correct unsafe conditions and historical loans for exterior restoration of architecturally or historically significant structures. The historical loan program is of special importance since the majority of the East Park area is a National Register and local historic district. Also of importance in this area is the use of Section 312 and Section 8 funds. These funds are important to the East Park area because of the high percentage of absentee-owners and the low area median income, respectively.

A combination of these housing programs, used in conjunction with the technical assistance of the Metropolitan Development and Housing Agency, the Metropolitan Historical Commission and the Department of Codes Administration, could significantly lessen deteriorated housing stock and health and sanitation problems while maintaining the area's income mix and minimizing displacement.

3. Citizen Participation

Effective citizen participation has been on-going in the East Park area since the formation of its neighborhood group two years ago. In addition to this, a Citizens Advisory Committee has been formed in the East Park area, in accordance with Nashville's Citizen Participation plan, to specifically deal with the expenditure of Community Development funds in the area. The public staff assigned to the East Park area is working closely with these groups.

4. Public Facilities and Services

The two existing public facilities in the East Park area are Warner Elementary School and East Park, proper. The latter is in need of upgrading and maintenance as outlined in the neighborhood study. The adequacy of the East Park facility will be analyzed in regard to Recreation Space 1980, the metropolitan long-range park plan, and improvements will be made accordingly.

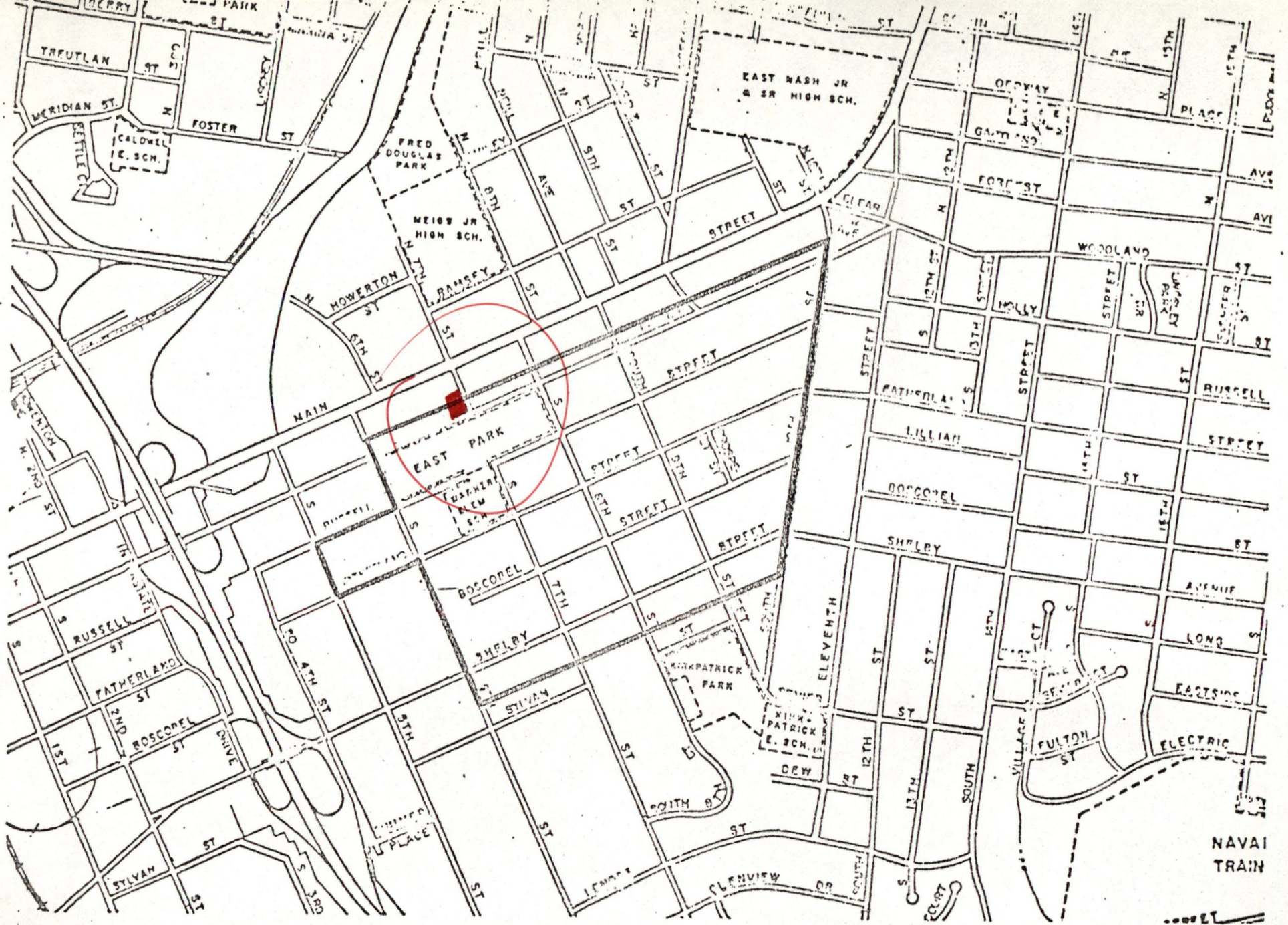
Future public services in the area will be planned in accordance with perceived needs as expressed by the Citizens Advisory Committee. However, given the composition of and conditions in the area, it appears that future public service possibilities might include relocation counseling and assistance for displaced residents, crime prevention programs, health education or referral services and consumer education programs for low-income and elderly residents.

5. Private Investment and Self-help Activities

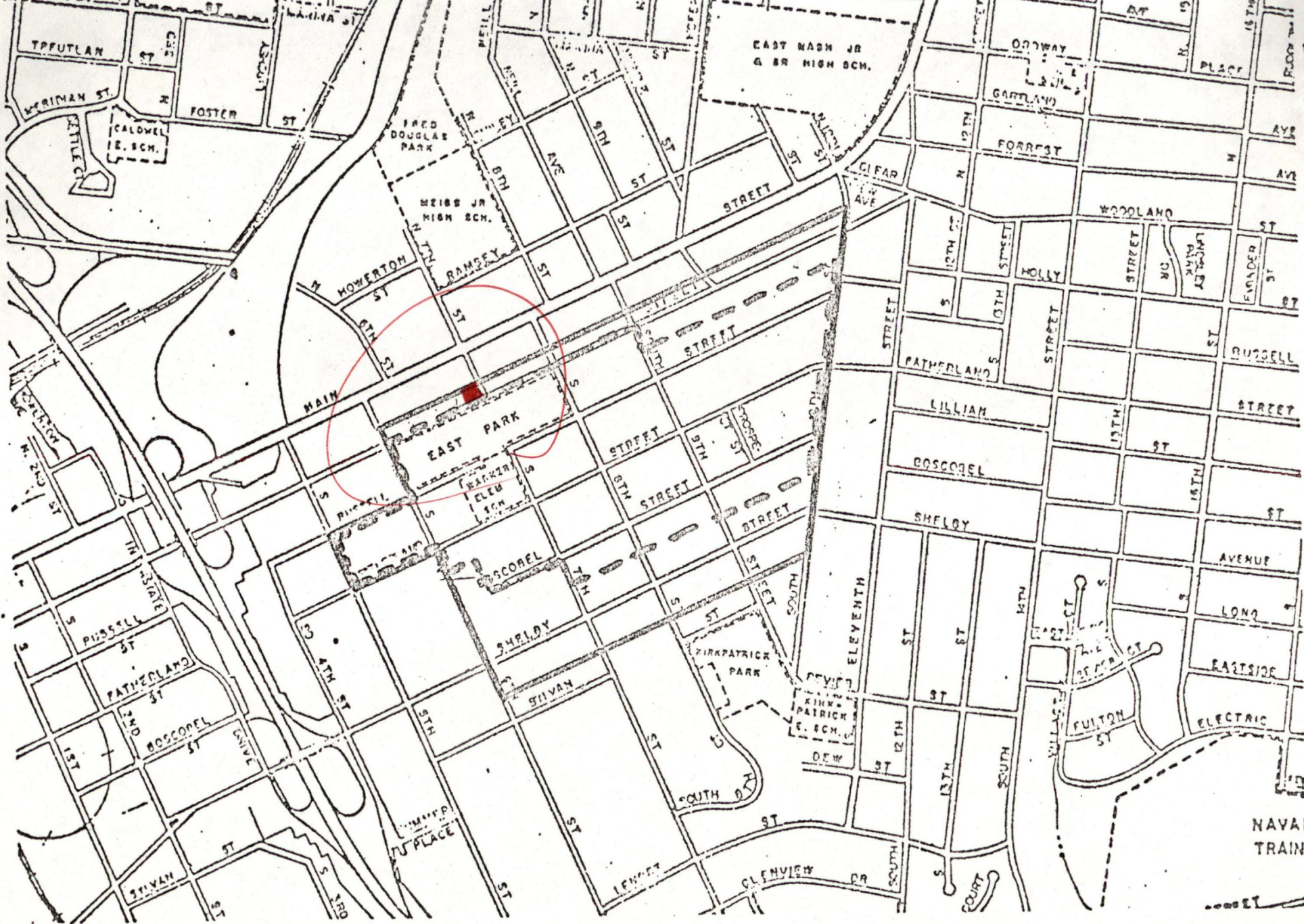
Private investment and self-help activities have been encouraged and undertaken, quite successfully, by area residents. These have been in the form of the organization of a neighborhood group, fund-raising through home tours and festivals, commissioning of the neighborhood design study, obtaining National Register and local historic district status and getting the area downzoned from a high to a medium density classification. One of the major accomplishments of the self-help attitude of the area residents has been stimulating renewed interest in the area as one which is appealing to young home buying families. This has also encouraged long time home-owners to upgrade their structures. In conjunction with this renewed interest, the 10 percent of area parcels which are vacant afford an opportunity for future residential in-fill construction in the East Park area.

6. Coordination of Public and Private Investment

Considering the interest and changes that have taken place in the East Park area in the past two years, it is time to demonstrate public commitment to the area. The availability of low interest housing programs, of concentrated codes enforcement programs and of public services, as well as the upgrading of public improvements, will encourage further private investment by minimizing the perception of East Park as a risky area for investment. All public investment will be closely linked to the recommendations made in the neighborhood design study and to those made by the newly formed Citizens Advisory Committee. The public staff assigned to East Park is now working closely with this Citizens Committee. It is believed that public commitment to the East Park area will exemplify that the conservation of inner city neighborhoods and a program of public and private investment can result in an area that has been "turned around" and that also has positive spin-off effects for neighboring low income areas, neighborhood commercial facilities and the nearby establishments of the Central Business District.

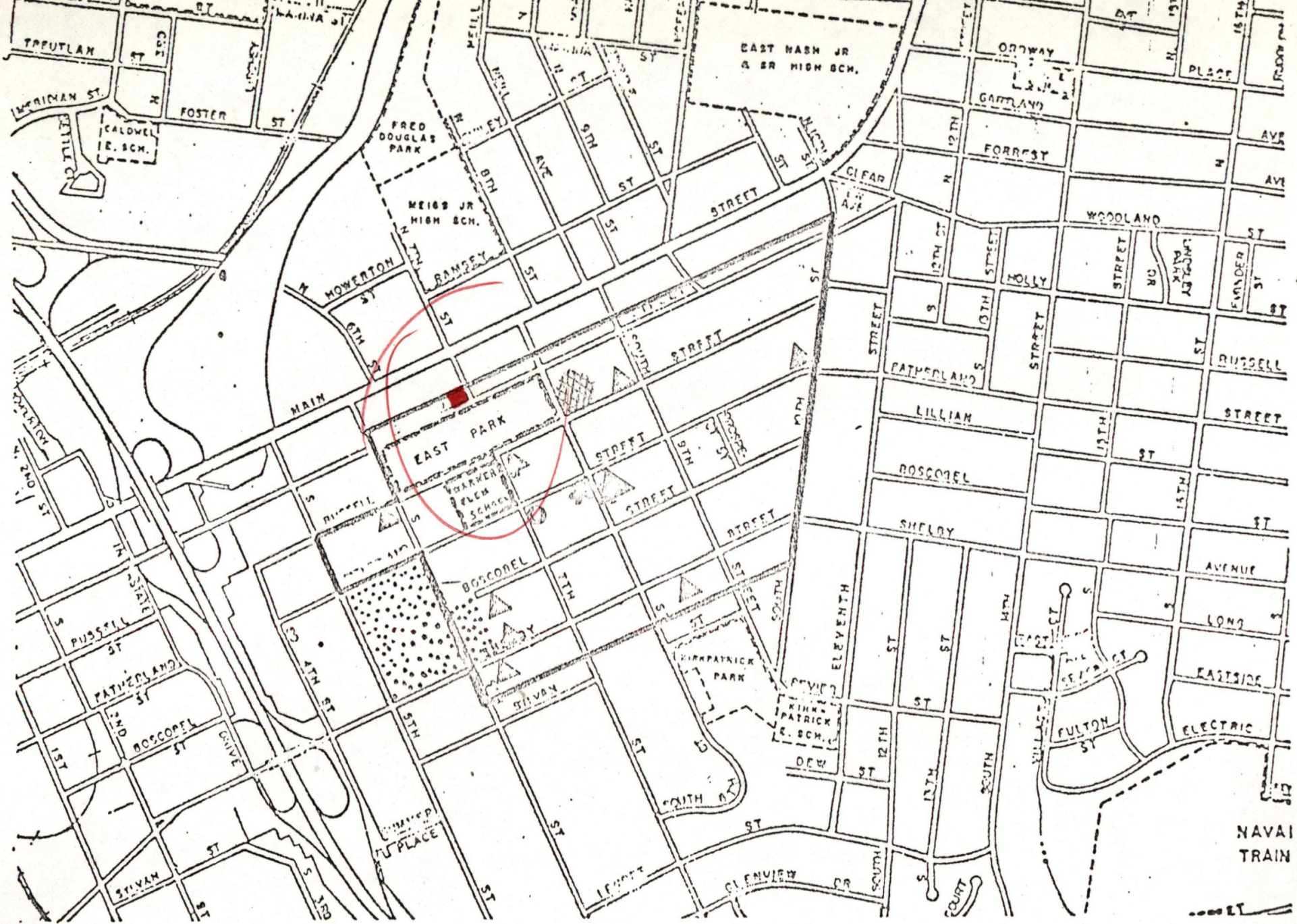


MAP 2
 PROPOSED EDGEFIELD NEIGHBORHOOD STRATEGY AREA



Map 3

- PROPOSED EAST PARK NEIGHBORHOOD STRATEGY AREA Boundaries
- - - Edgely National Register and local historic district boundaries



Map 5 Community Facilities

PROPOSED EAST PARK NEIGHBORHOOD STRATEGY AREA

- Elderly Housing
- ▲ Churches
- ✻ Opportunity House
- ▲ Nursing Home
- Market/"Eat Shop"
- ▨ Association for the Blind

September 1977

A neighborhood design study for Historic Edgefield,
Inc. and the Metropolitan Historical Commission of
Nashville and Davidson County, Tennessee

EDGEFIELD
Nashville, Tennessee

preservationURBANDesignINCORPORATED

120-1/2 West Washington Street
Ann Arbor, Michigan 48104

EDGEFIELD
a neighborhood design study

BROCHURE DESIGN:

preservation/urban design/incorporated. ann arbor, mich.

PROJECT STAFF:

Richard C. Frank
Richard Macias
Sandra K. Hansen
Carol L. Hutcheson

LOCAL STAFF ASSISTANCE:

Dolores Parrish
David Paine



CONTENTS

pages

- INTRODUCTION ————— 1-2
- COMPONENTS OF THE EDGEFIELD NEIGHBORHOOD ————— 3-11
Descriptions of the various parts of the total neighborhood.
- ANALYSIS OF THE EDGEFIELD NEIGHBORHOOD ————— 12-24
A detailed overview of the entire neighborhood, in order to analyze the effects of a variety of factors and conditions upon neighborhood character and environmental quality.
- APPROACHES TO CHANGE ————— 25-38
The nature of changes to the several components of the Edgefield neighborhood which will be necessary for conservation of its historic features and improvement in the overall quality of the neighborhood.
- RECOMMENDATIONS/GUIDELINES FOR NEIGHBORHOOD IMPROVEMENT 39-75
Specific recommendations preservation/improvement of each component of Edgefield.
- PROCESS OF ACCOMPLISHMENT ————— 76-78
Information on procedures and aids to implementation of private and neighborhood-wide improvement programs.
- DATA SOURCES ————— 79-81
Sources which have provided the background for this study.

INTRODUCTION

Like so many urban neighborhoods, Nashville's Edgefield has followed a familiar course of development. It has celebrated a history of growth and prosperity, then suffered a period of decline and neglect.

"In its prime," writes the Metropolitan Historical Commission, the neighborhood was "heart and pride" of the incorporated village of Edgefield - one of Nashville's first suburbs. Edgefield "grew up as a quiet, fashionable residential community, set apart from the clamor and dust of industrial Nashville."*

But, in time, the surrounding city became increasingly crowded and newer, more fashionable addresses arose in the suburbs. In Edgefield, growth slowed and prosperity dimmed. Fueled by the development of the automobile, this outward expansion typically occurred in cities all over the country; neighborhoods like Edgefield were left to decline and deteriorate.

Happily, a new pattern is evolving in urban neighborhoods, a newly revitalized spirit. In part, a product of the burgeoning in-

terest in old buildings; in part, a product of pragmatic considerations such as cost, distance, and resource conservation - all have combined to create special attraction for old neighborhoods.

This revitalized spirit has begun to take hold in Edgefield. Boasting the largest remaining concentration of Victorian houses in the county, the neighborhood is attracting new interest from within and without. A renewed stability is emerging, as is a growing sense of neighborhood pride.

Edgefield activists include residents, old and new, along with the Metropolitan Historical Commission and the Metropolitan Planning Commission. They seek commitment to protect and maintain the historic houses, a stepping stone toward neighborhood conservation.

This study has been prepared to guide Edgefield as it embarks upon revitalization, particularly in the area of physical change. That is, what are the resources of the neighborhood and what are its lia-

* Metropolitan Historical Commission, Nashville; Conserving a Heritage, p. 21.

INTRODUCTION, CONT'D.

bilities? How can the neighborhood take best advantage of these resources and minimize liabilities?

Too often, neighborhoods like Edgefield are studied on the basis of their historic structures alone. This Neighborhood Design Study takes a more comprehensive approach, considering as well adjacent property areas, building relationships, neighborhood "fringes" and "entrances", opportunities and problems of new construction, the space of the street, aspects of both public and private maintenance, and other contributors to neighborhood character.

Clearly, neighborhood conservation is also people — their attitudes toward improvement, their understanding of change, their ability to interpret and work from guidelines, and their ability to participate. However, limitations of this study prevented a thorough examination of such issues. Although raised in the section "Process of Accomplishment," these people-issues remain open to further study.

In short, this report represents one step toward a revitalized Edgefield. If successful, the benefits of neighborhood improvement promise to be many for the residents. Moreover, positive effects will likely be felt throughout the city as a whole, as Edgefield demonstrates the exciting potential inherent in long neglected urban neighborhoods.



neighborhood components

NEIGHBORHOOD COMPONENTS

WHAT ARE THE PARTS OF EDGEFIELD?

- the streets
• the paved roadway • gutters • curbs • sidewalks • property edges • street trees • furniture
- the properties
• front yards • side yards • rear yards
- the alleys
• the alleyway • the alley edge • rear yards abutting the alleys
- the buildings
• the earliest buildings • large "city" houses • cottages • bungalows • other buildings - churches, school, apartment buildings, commercial building • intrusions • vacant properties.

THE STREETS

a the paved roadway... in good condition throughout the neighborhood. 2 lanes for traffic, plus parking on both sides - sometimes crowded.

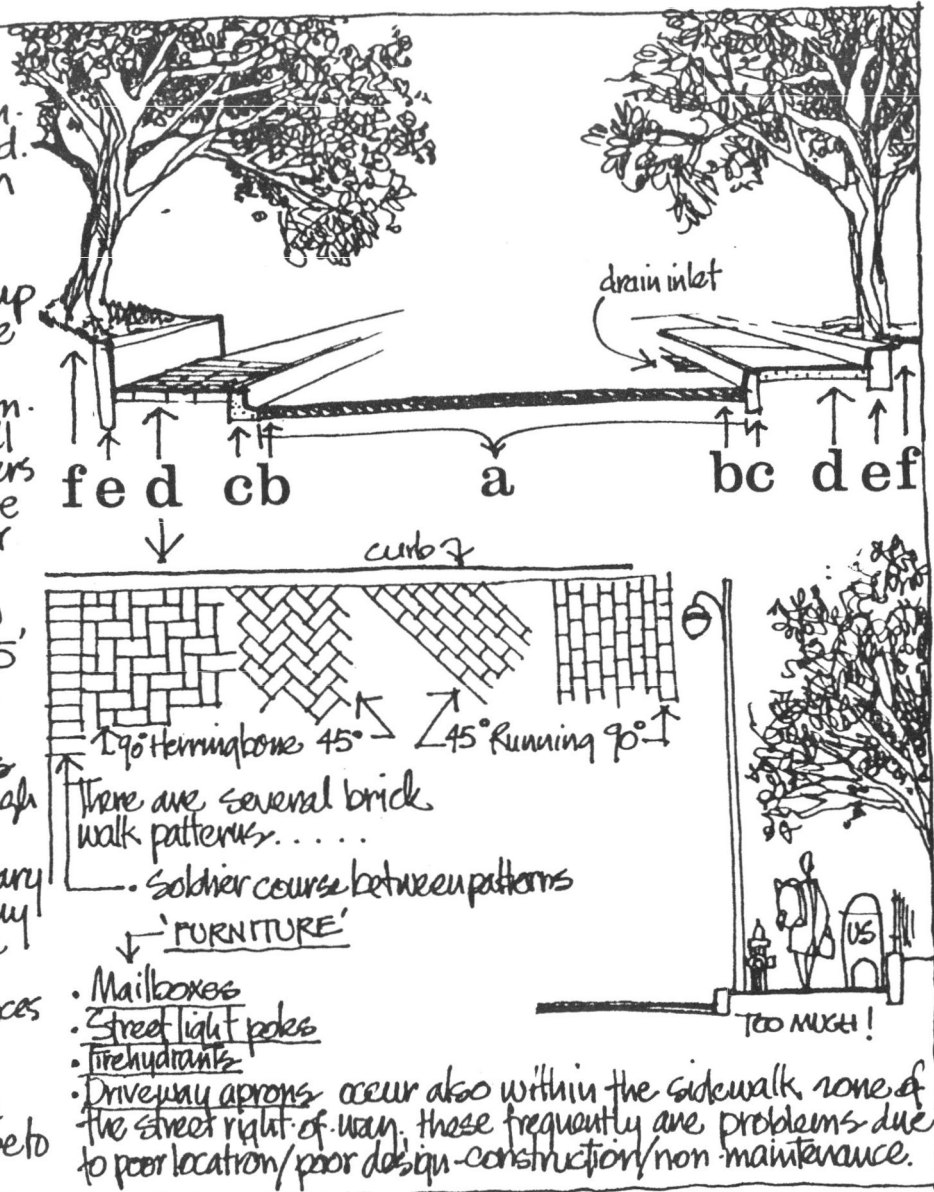
b gutters... drain inlets are located here; generally storm water pickup is good, except on Russell St. (See (c), below).

c curbs... are either cut stone or concrete (those along much of Russell have been buried by successive layers of street paving so that curbs have been obliterated; gutters no longer exist, so storm water flows from street onto walks and properties).

d sidewalks... mostly concrete, 5' wide; brick, in various patterns, remains along several blocks. (There are narrow lawn extensions in some places, but not wide enough for street tree planting)

e property edges at the right of way vary from flat lawns to 5' walks. Many yards have low stone or concrete curbs or walls... an attractive neighbor wood detail; also hedges, fences

f street trees... do not occur as such within the public right of way. Instead, large trees planted near the street edge of private properties serve to shade the sidewalks and streets.



THE PROPERTIES

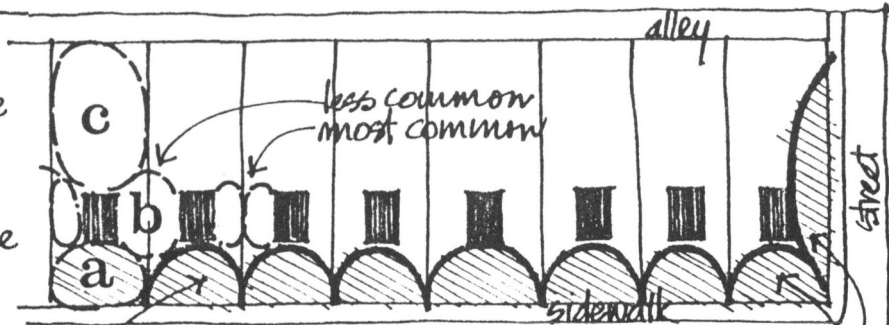
a front yards in Edgfield are typically open down to the walk edge, where there is often a curb or low wall; hedges occur infrequently (wire fences are common and will be addressed later); large shade trees on lawns typically 1. shade and 2. enframe the buildings.

Fences/plantings commonly extend to the front walk along the side property lines. Thus there is a zone, open to the front and defined by the house and property edges, across which the building facade and plantings are viewed from the street. This is the public awareness zone.

... where the individual property owner should feel the highest obligation/commitment to his neighborhood, both from the standpoint of maintenance and appropriateness of design.

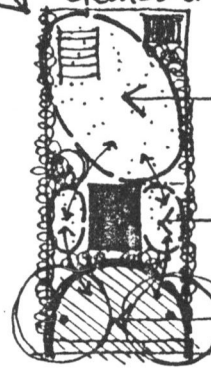
b side yards are usually not a single open zone from house to house; some sort of division typically has been introduced - shrub border, hedge, fence, etc. - along the property line; this creates a pair of small spaces between each two houses. These often are to some degree open to view from the street, but serve as transitions to the fully private yards at the rear of each house.

c rear yards, because of their position, are fully private areas; in addition,



Repetition of front spaces creates a rhythm along street

a side yard becomes, in effect, a front yard when a house is on a corner property



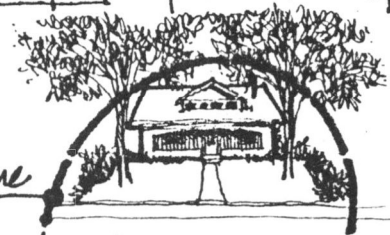
rear yard... private space

side yards between houses... usually enclosed and private

front yard... public view space

street

Public awareness zone



they are usually enclosed in some manner around the periphery. While the same principles of good design and maintenance should apply here as for zone A, the non-public nature of this area suggests a lower priority for very strict application of neighborhood design guidelines.

THE ALLEYS

a the alleyway. . . many are paved, with drainage structures; single lane.

b the alley edge. . . 20'± zone on edges of private properties abutting alleys, where most of the 'business' of the alley is carried out.

+ outbuildings, many of good quality and interesting design, tend to occur at alley edge.

+ edge plantings - trees shrubs - are common features of the alley edge, and intensify the narrow, enclosed spatial sense of the alley.

+ back yard fences do the same.

+ gardens are plentiful and attractive.

+ trees arch over alleys, creating cool, shaded spaces - far more attractive for walking. from a comfort standpoint, than are many sections of neighborhood sidewalk.

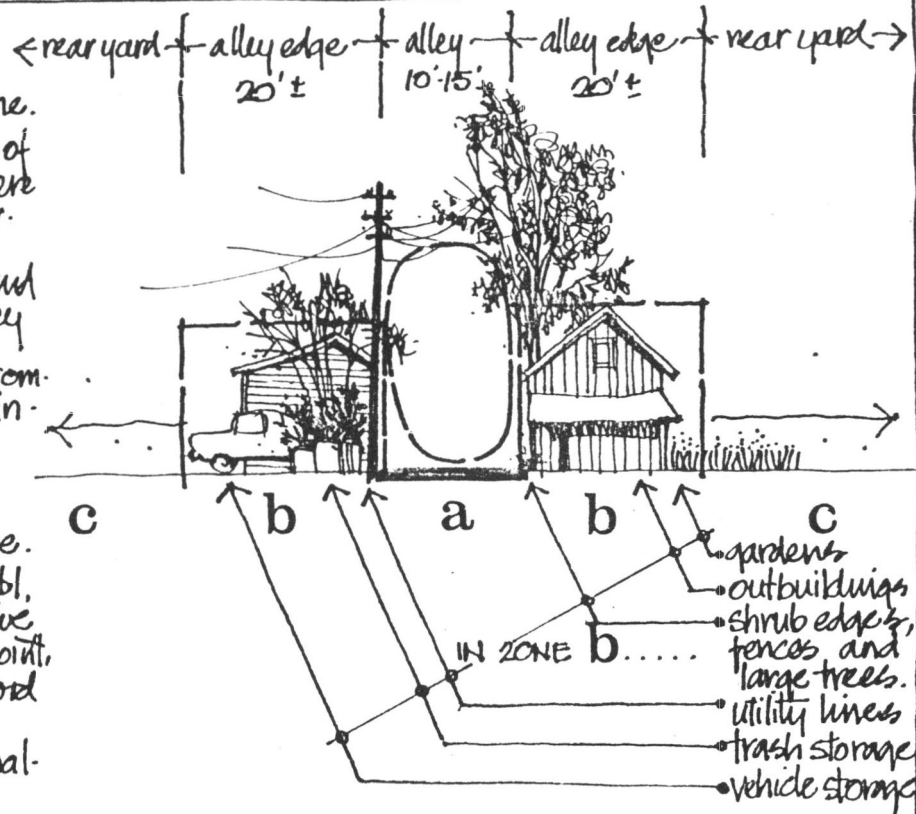
• vehicles are frequently stored in shallow pull-in spaces from the alley.

• trash is stored for pickup - often in open containers. . . . unsightly, malodorous, and attractive to all manner of vermin; a public health problem.

- utility lines run down the alleys, adding to the visual clutter.

- building debris, discarded furniture, dead vehicles accumulate in permanent 'storage' - a great visual blight.

- general maintenance in this zone is frequently ignored.

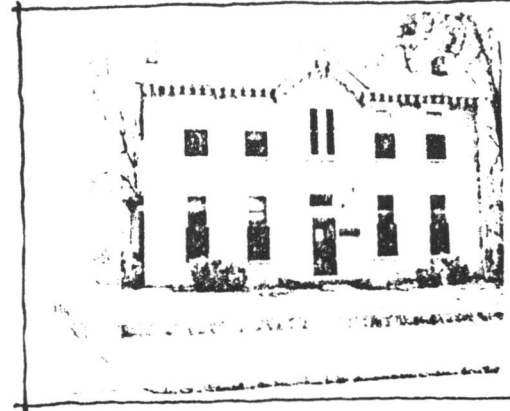


c rear yards range from pleasantly planted and well maintained private yards down to derelict spaces behind unkempt buildings, where junk vehicles and assorted debris/garbage obscure a space inhospitable to any kind of positive use.
areas of serious neighborhood blight.

THE BUILDINGS

The character of the Edgefield neighborhood is in part established by its buildings. Its history is represented vividly by the variety of architectural periods and styles which remain today. The neighborhood's rich visual texture is due in large part to the diversity of styles and the range in scale of this architecture.

a the earliest buildings by the 1850's Edgefield was beginning to develop as a residential area; this growth was spurred by the opening of a new bridge across the Cumberland River. Little remains to represent this earliest period. Major examples of the buildings of this earliest period are at 606 and 711 Fatherland, and at 209 South Fifth Street.

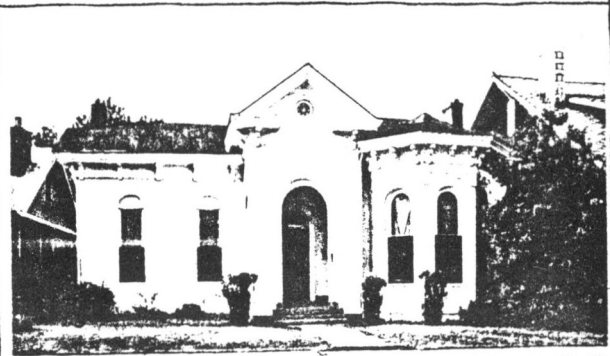


b large "city" houses toward the end of the 19th century Edgefield became a fashionable location for homes of Nashville's wealthy. Russell Street, especially, was a popular area of the neighborhood. Although many of these large homes have been demolished, those that remain show a wealth of Victorian eclecticism, and contribute by their size and detail to the neighborhood. After the turn of the century a few additional houses of comparable scale were constructed.



THE BUILDINGS, CONT'D

Cottages in addition to the imposing "city" houses, smaller scale homes were constructed in great numbers during the last part of the 19th and early part of the 20th centuries. These residences, all single story and small in size, comprise one of the most important elements which contribute to Edgefield's "comfortable" residential feeling. The most consistent representation is frame, but a number of brick examples are scattered throughout the neighborhood. The detail is elegant - Italianate, Queen Anne and Classic, with a great deal of rich Eastlake style woodwork.

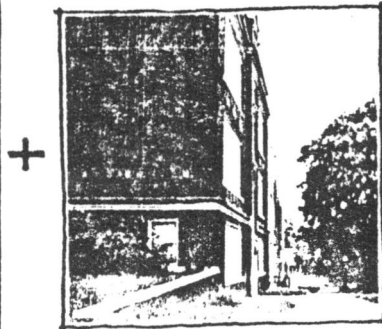


dungalows during the early 20th century this type of house became popular and replaced the "cottages" as the small scale home in Edgefield. The homes built to replace those lost in the 1916 fire were mostly of this type. Long felt to be relatively unimportant as an architectural style, bungalows are now recognized as a very important part of Americana. The examples in the neighborhood are of excellent quality, and their consistency is outstanding.



THE BUILDINGS, CONT'D

+ other buildings. . . . although primarily residential in character, Edgefield has a number of important non-residential structures. Most notable of these are three churches all late 19th century. All are red brick with stone or terra cotta trim, and represent Romanesque and Gothic stylistic qualities. All are comfortable neighbors to adjacent residences.



+ A highly important public building is the Warner School. Even though it is the largest structure in the neighborhood, its 1920's architecture relates well in color and detail to surrounding smaller buildings. The school is a significant neighborhood focus, and some community related use must be maintained.

+ There are several apartment houses in the neighborhood. The structure in the 500 block of Russell St. fits into its block and relates well to adjacent smaller structures because its facade at the street is divided into "blocks" of large residential scale proportions. The two in the 900 block of Russell do not relate as well, but improved maintenance and exterior appearance would make them acceptable members of the neighborhood.

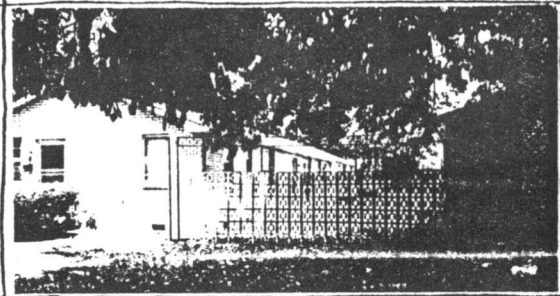


+ The only commercial building is at the corner of 7th and Farmland. The building could be improved by modification of signage, but essentially it's compatible with the surrounding neighborhood. The building and its use are highly important as a community focus.

THE BUILDINGS, CONT'D

f intrusions. . . . Edgefield apparently remained fairly stable until the late 1940's. Undoubtedly at that time some of the existing housing stock was in a deteriorating state. Post war housing needs resulted in subdivision of larger homes into multi-family units, and the Federal 235 housing program brought about the loss of the most vulnerable historic homes and replacement with typical 1950's style subdivision houses. Others were replaced by a nursing home at the corner of 8th and Fatherland. These are considered "intrusions" to the National Register Historic District. However, they do evidence a continuity unique to the Edgefield neighborhood, and with proper treatment can become good neighbors.

g vacant properties. . . . other structures have been lost, and the resultant vacant properties have not been developed. As Edgefield becomes increasingly desirable as a residential neighborhood this vacant land be sought for new construction. Great care must be exercised to assure that new construction is compatible with the scale and character of Edgefield as it is now.





neighborhood analysis

NEIGHBORHOOD ANALYSIS

A careful and detailed overview of Edgefield is the first step necessary for determining the guidelines for neighborhood preservation and further development. For clarity, it is simplest to make this a five part view:

- **THE NEIGHBORHOOD EDGE**
An examination of the effects of different kinds of land use, both along the edges of the neighborhood itself and in those areas immediately adjacent, on the "image" of Edgefield.
- **ANALYSIS**
An assessment of a wide range of existing conditions in the neighborhood.
- **NEIGHBORHOOD CHARACTER-ASSETS**
Positive aspects of the neighborhood which contribute significantly to its attractiveness as a place to live, and amplify its sense of history.
- **NEIGHBORHOOD CHARACTER-LIABILITIES**
Conditions detrimental to the quality of the neighborhood which are more or less generalized throughout the neighborhood, and areas of specific problems.

- **ARCHITECTURAL ANALYSIS**
A detailed examination of the architectural components of the neighborhood, their quality, distribution, and relationship with other elements of the block-scape.

THE NEIGHBORHOOD EDGE

the 'OUTSIDE' edge: how does abutting land use affect Edgefield?

Mixed commercial is much given over to the automobile

alley - derelict

Older homes

the 'INSIDE' edge: what is the image of Edgefield?

church

adjacent commercial / public uses disruptive to residential

New apartment bldgs. do not relate well to the neighborhood

New multi-family senior citizen housing develop. Attractive

alley - needs improved maintenance

residential attractive

- single family residential
- multi-family residential
- park / open space
- alley
- commercial, parking, manufacturing etc.

NORTH ↑

NEIGHBORHOOD ANALYSIS

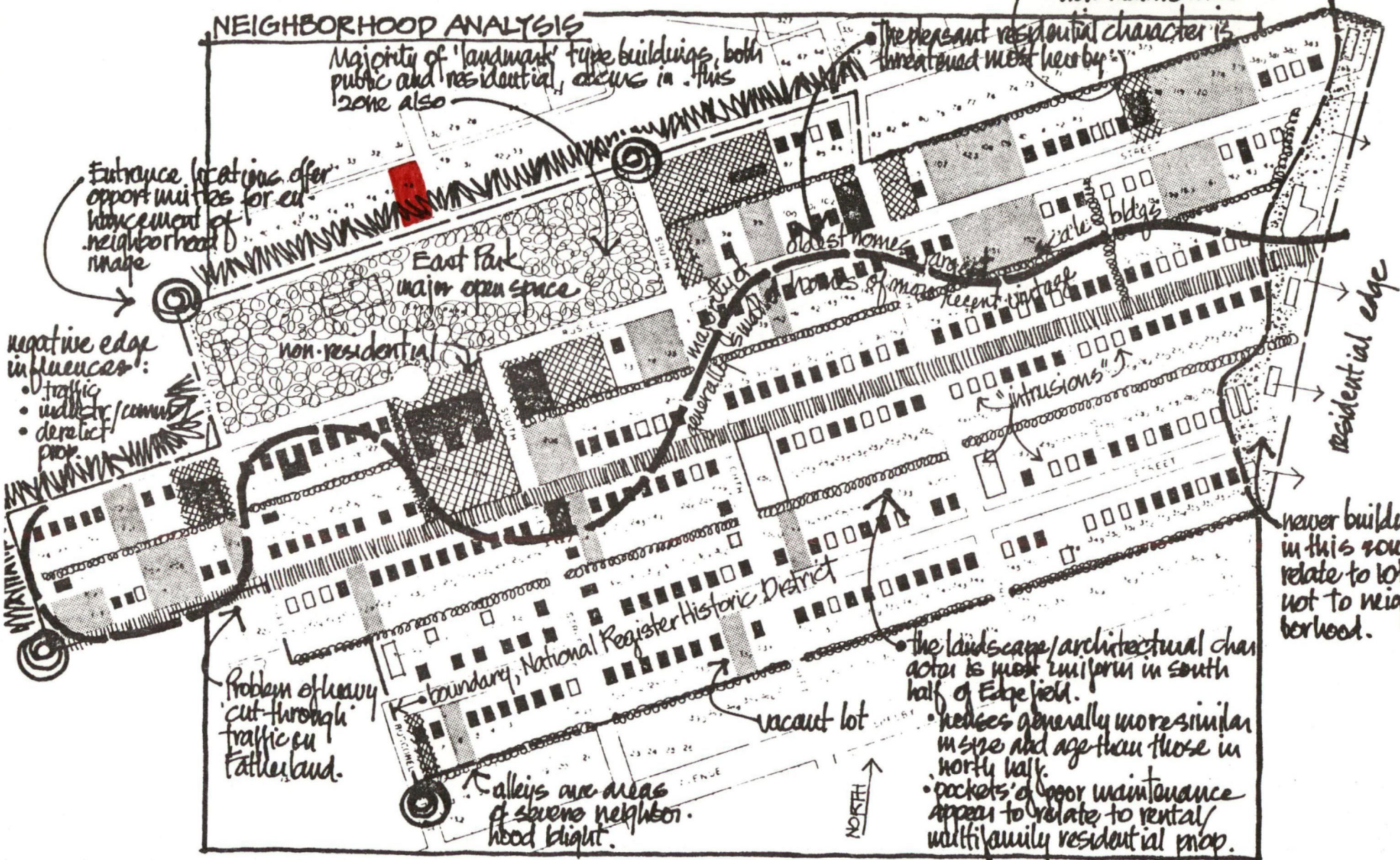
Majority of 'landmark' type buildings, both public and residential, occur in this zone also

- vacant lots
- new residential uses
- poor quality multi-family
- non-maintenance

The present residential character is threatened most here by:

Entrance locations offer opportunities for enhancement of neighborhood image

- negative edge influences:
- traffic
 - utility/commuter
 - derelict prop.



East Park major open space

non-residential

oldest homes
homes of moderate recent vintage

scale bldgs

"intrusions"

residential edge

newer buildings in this zone relate to both st., not to neighborhood.

Problem of heavy cut-through traffic on Fatherland.

boundary, National Register Historic District

vacant lot

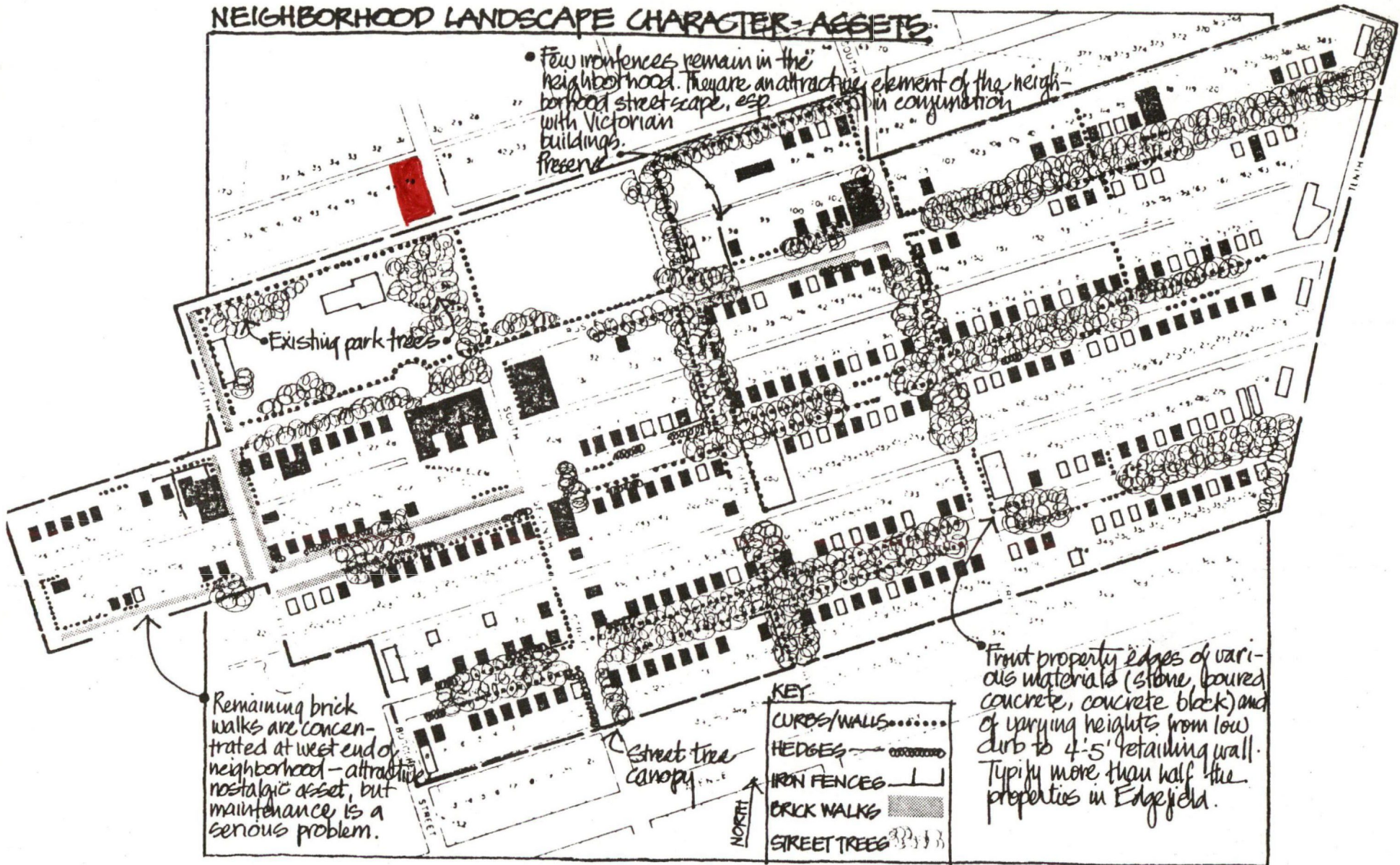
alleys are areas of severe neighborhood blight.

NORTH

the landscape/architectural character is most uniform in south half of Edgefield.

- hedges generally more similar in size and age than those in north half.
- pockets of poor maintenance appear to relate to rental/multi-family residential prop.

NEIGHBORHOOD LANDSCAPE CHARACTER ASSETS



Few iron fences remain in the neighborhood. They are an attractive element of the neighborhood street scape, esp in conjunction with Victorian buildings. Preserve

Existing park trees

Remaining brick walks are concentrated at west end of neighborhood - attractive nostalgic asset, but maintenance is a serious problem.

Street tree canopy

KEY

CURBS/WALLS
HEDGES	~~~~~
IRON FENCES	— — —
BRICK WALKS	▒▒▒▒
STREET TREES	☺☺☺☺

Front property edges of various materials (stone, poured concrete, concrete block) and of varying heights from low curb to 4-5' retaining wall. Typically more than half the properties in Edgefield.

NEIGHBORHOOD LANDSCAPE CHARACTER - LIABILITIES

Severe street drainage problems where successive layers of street paving have obliterated curbs.

Problem is worst here.

Drainage structures do not function properly because of street/curb/walk conformation.

Plantings of major canopy trees are needed along park edge. To separate it from busy street and strengthen the sense of neighborhood edge.

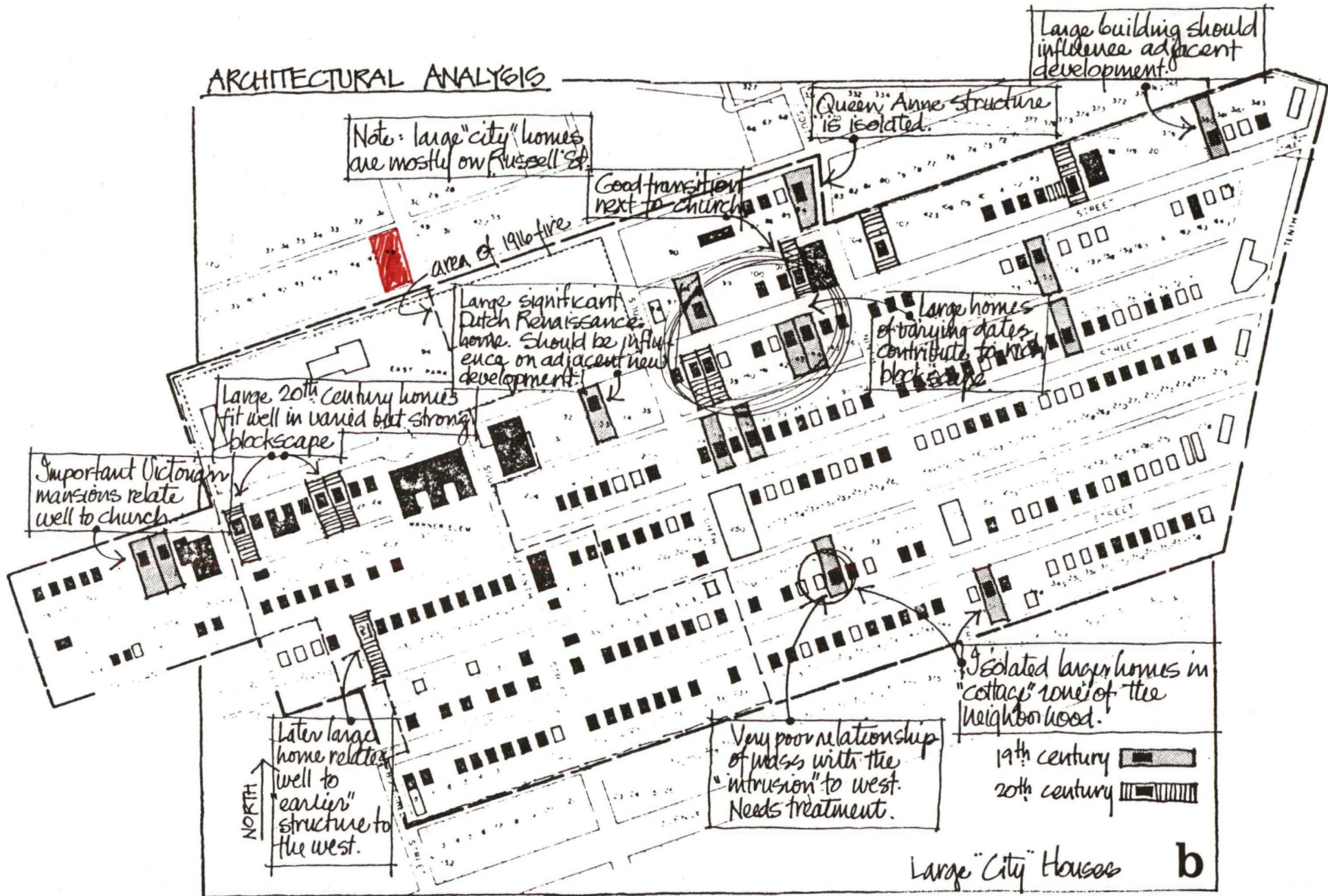
Chain link fences

Street trees (actually at front edges of private properties) are missing in these zones. New plantings of canopy trees are necessary.

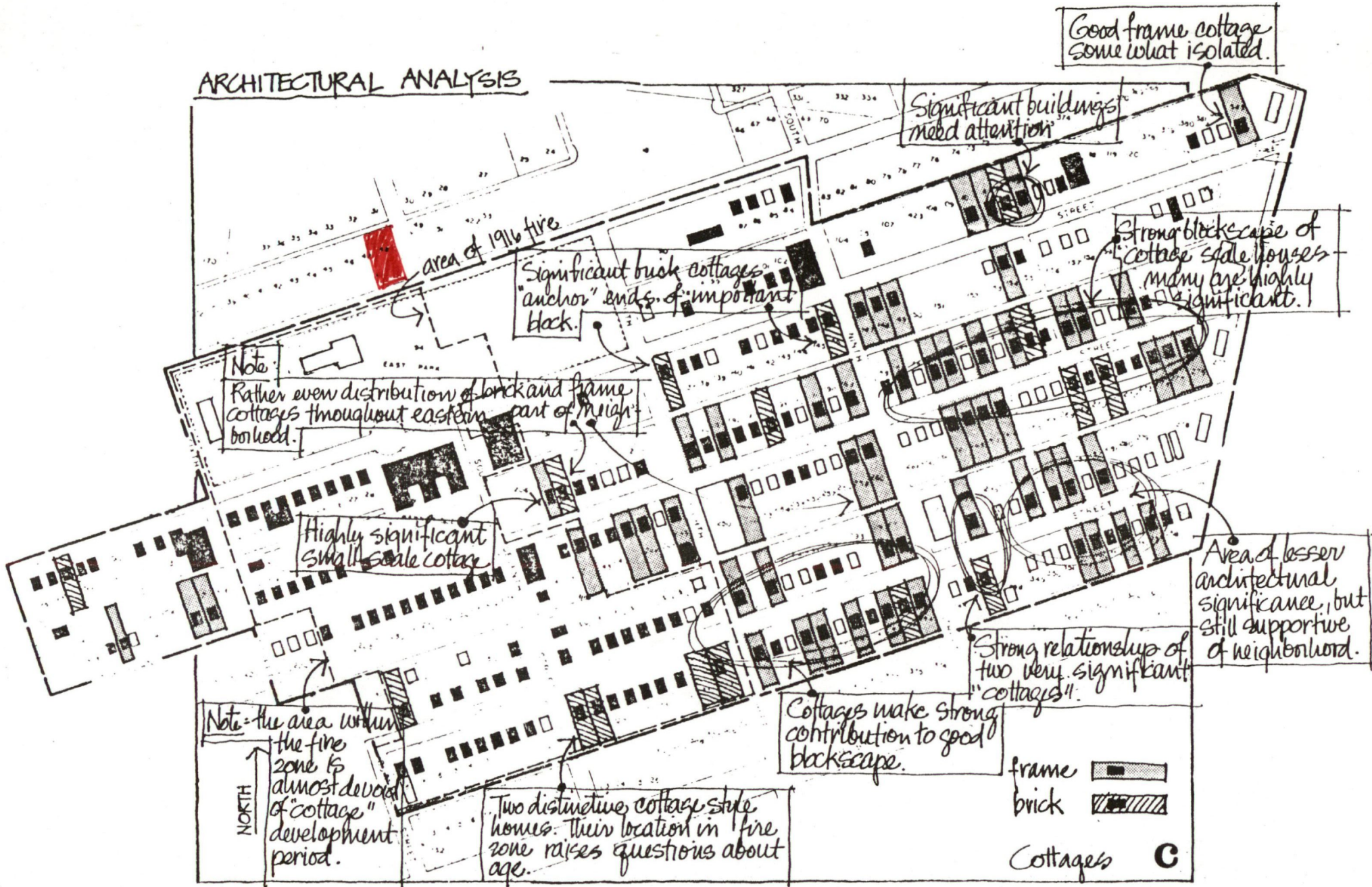
Alley maintenance is generally at a level such that alleys are visual blights, public health problems. Major maintenance improvement is necessary!

Chain link and wire fences are popular, with highest concentration in s.e. sector of neighborhood. They are inappropriate as front yard enclosures for any style of residential property. They should be removed or camouflaged or replaced with appropriate enclosure. Their use should be restricted to back yards.

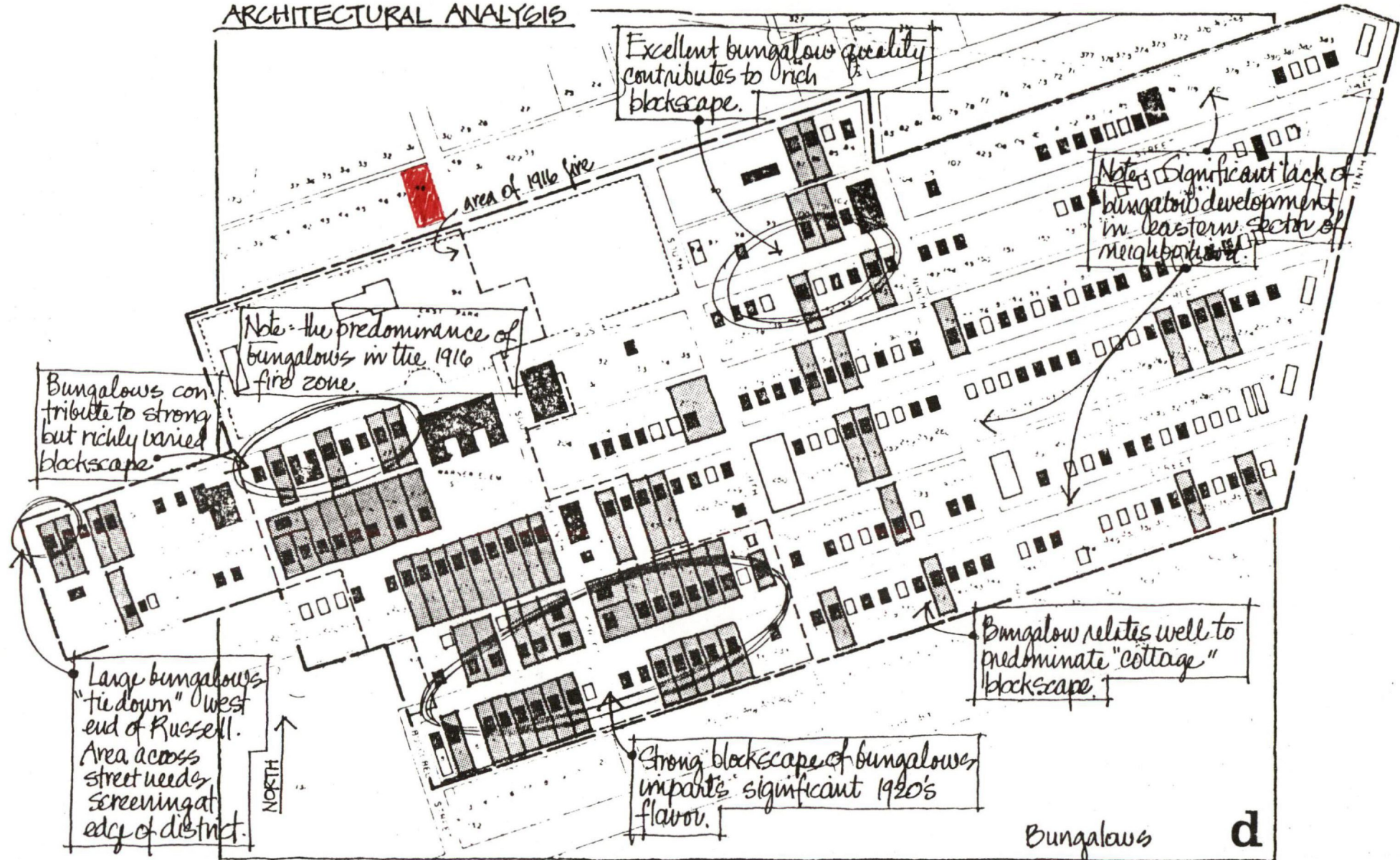
ARCHITECTURAL ANALYSIS



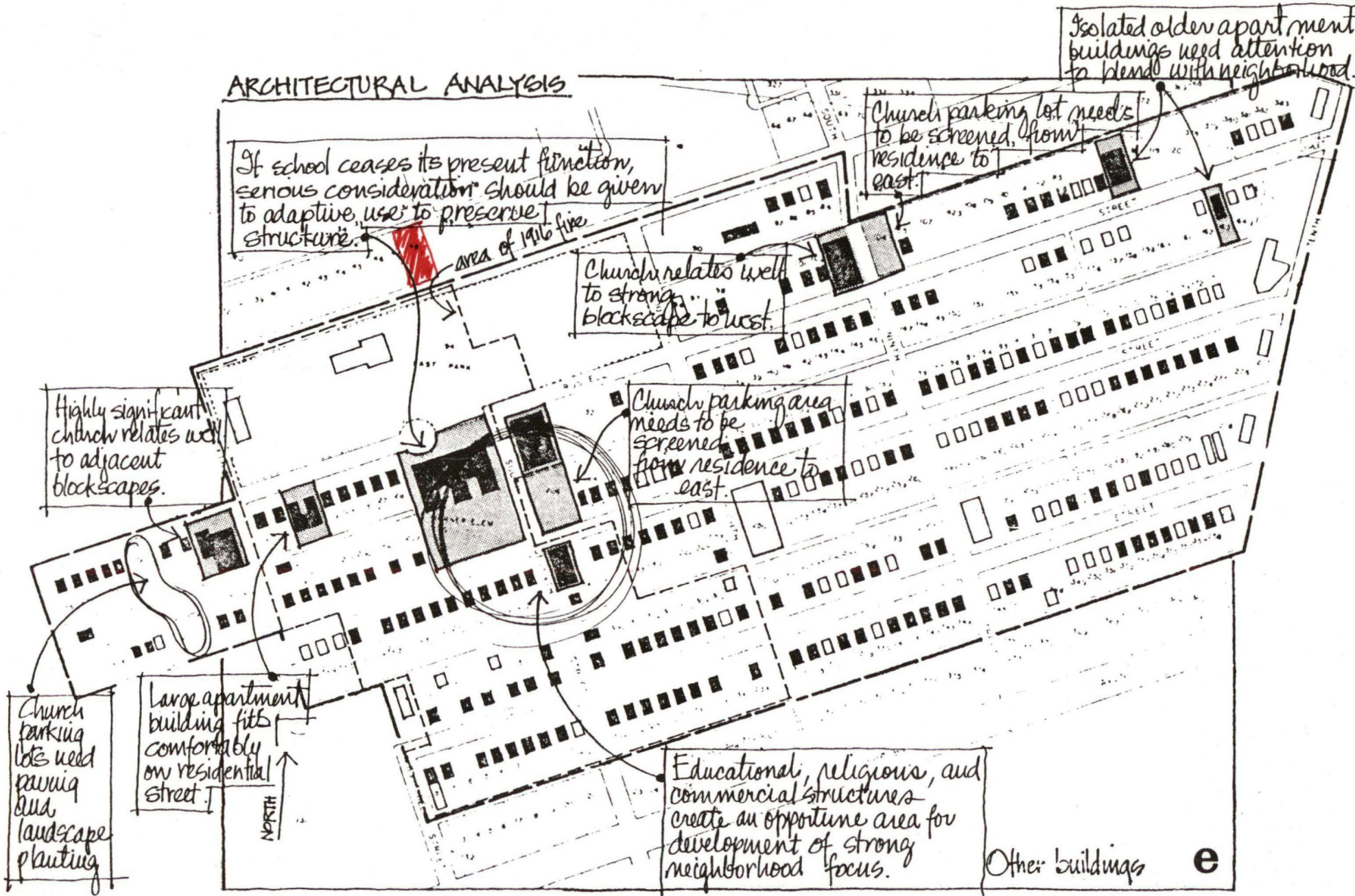
ARCHITECTURAL ANALYSIS



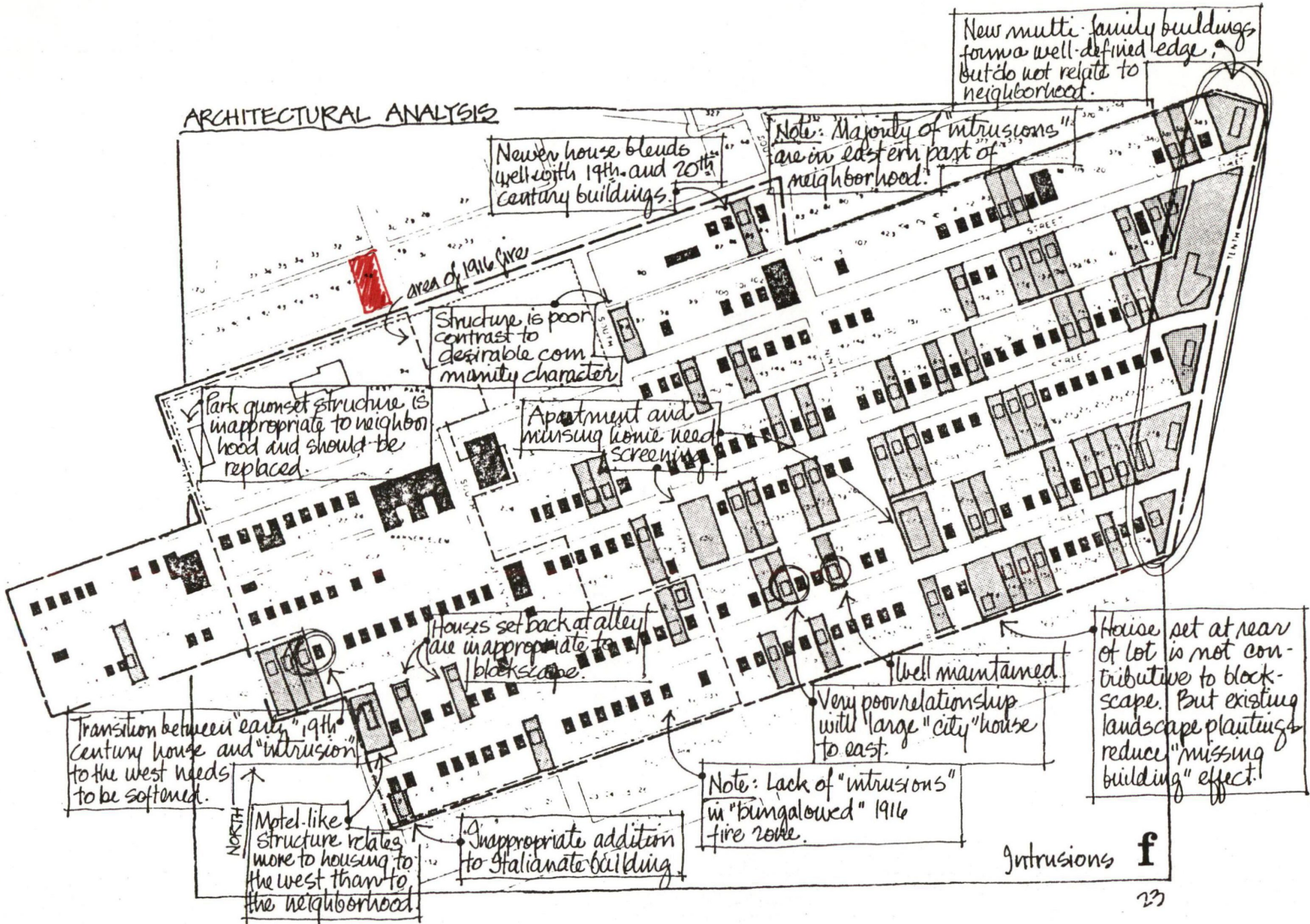
ARCHITECTURAL ANALYSIS



ARCHITECTURAL ANALYSIS



ARCHITECTURAL ANALYSIS



Intrusions **f**

ARCHITECTURAL ANALYSIS

Large vacant properties destroy continuity of upper Russell St. Should be developed with compatible scale, mass, color, and texture considerations.

Street corner not well defined because of open parking lot. Needs definition.

Sense of block scape is essentially gone. Needs development compatible with scale of Russell St. houses.

Corner needs appropriate development to strengthen.

Church parking is "hole" in otherwise strong blockscape. Needs appropriate screening.

Note - Majority of vacant properties is on Russell St.

Empty lots result in dissociated blockscape. They need development compatible with existing "cottages".

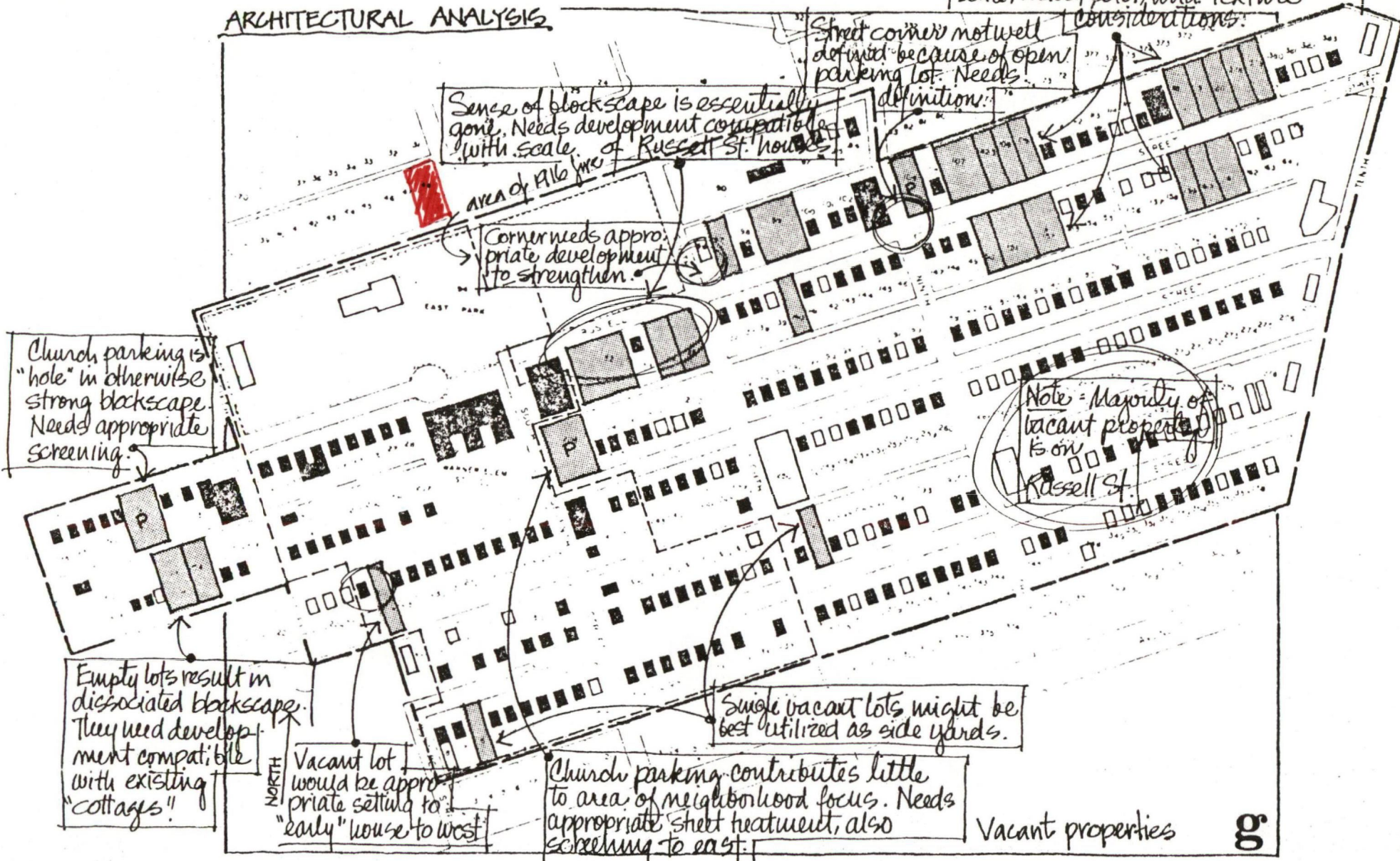
Vacant lot would be appropriate setting to "early" house to west.

Single vacant lots might be best utilized as side yards.

Church parking contributes little to area of neighborhood focus. Needs appropriate street treatment, also screening to east.

Vacant properties

g





approaches to change

PUBLIC PROPERTY

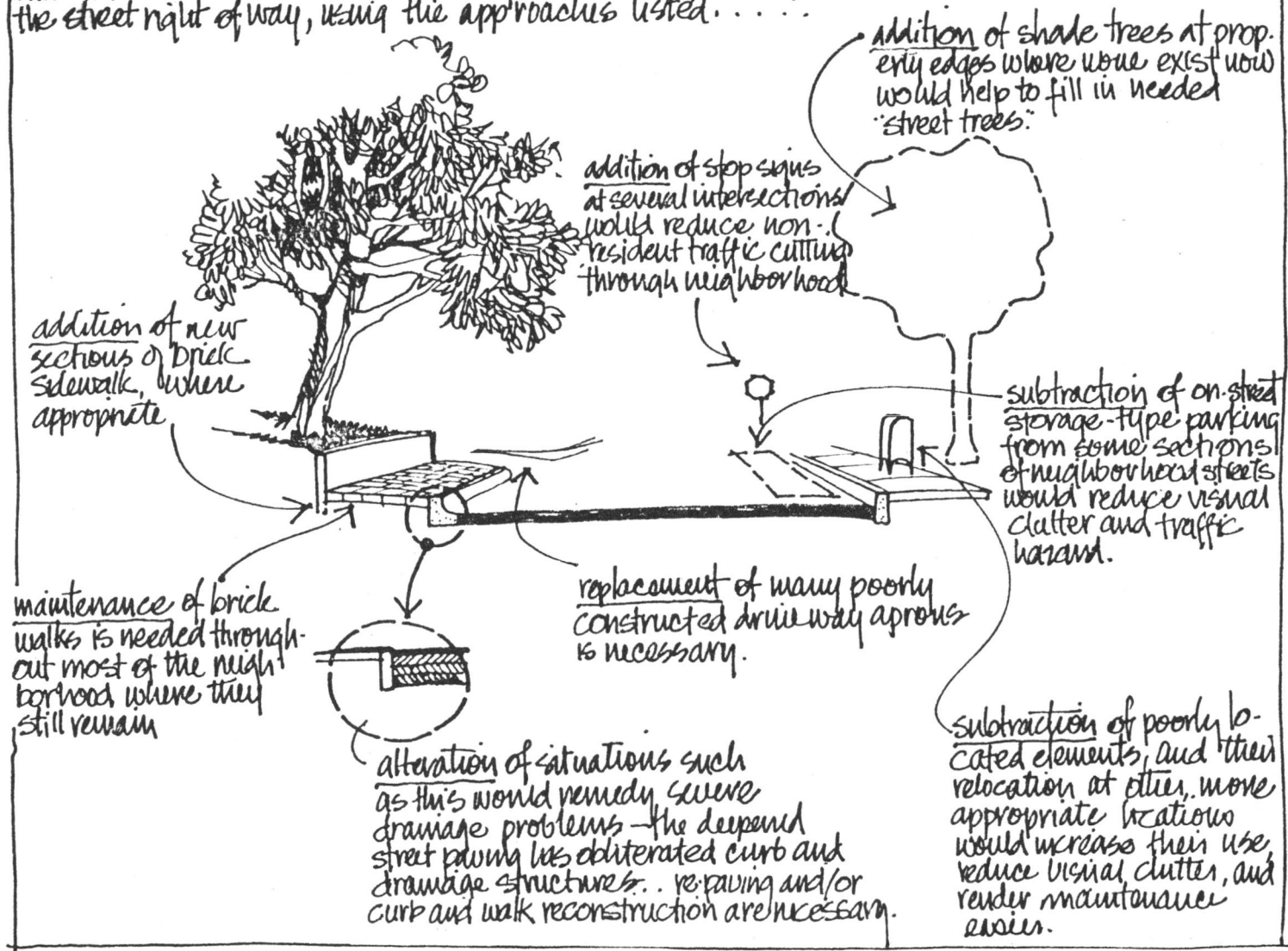
The nature of improvements to sections of the neighborhood in public ownership should be determined on the basis of appropriateness (of the design of various elements to the range of architectural styles and periods represented in Edgefield); consistency (of design and materials throughout the neighborhood); and maintenance (the city cannot commit itself to complex and expensive maintenance programs for neighborhood details).

Improvements to public property in Edgefield could be carried out via any or all of the following approaches:

1. addition — of new structures or elements
2. subtraction — of poorly located, inappropriate or derelict elements
3. replacement — of unsound or poorly designed features of the public landscape
4. alteration — of existing structures
5. maintenance — wherever non-maintenance has been the reason for improvement being necessary.

THE STREET RIGHT-OF-WAY

Illustrated here are some examples of the kinds of changes which could be carried out in the street right of way, using the approaches listed.



THE PUBLIC PROPERTIES

The changes appropriate to Edgfield's public facilities - the school, park, etc. - can be dealt with in less general terms than those for its public rights-of-way. Improvements will be made according to single and specific situations.

subtraction of an inappropriate structure... the quonset hut.

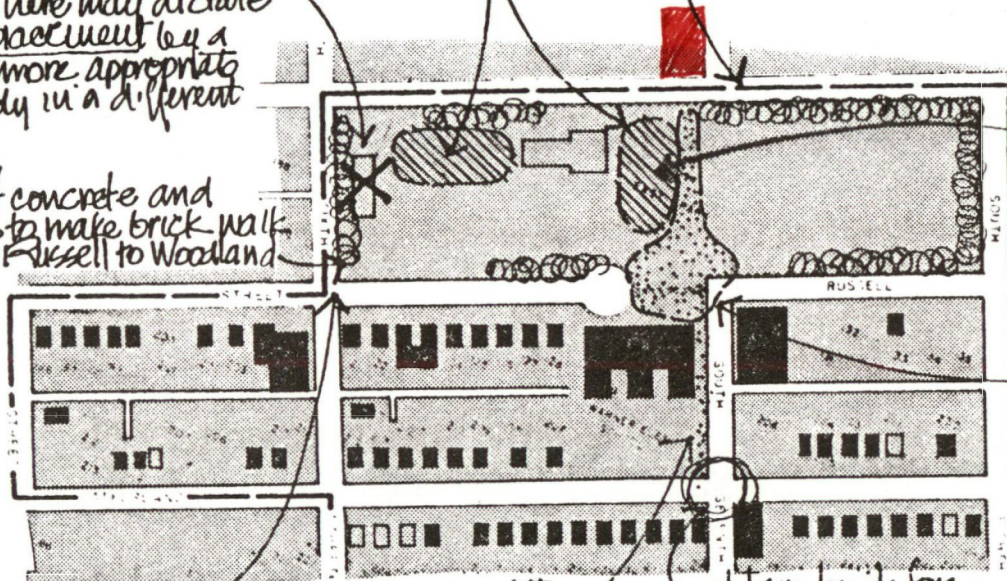
the use it serves here may dictate its eventual replacement by a building of a more appropriate design - possibly in a different location.

replacement of concrete and asphalt patches to make brick walk continuums from Russell to Woodland

alteration of park corner at Sixth and Russell to reduce clutter and give a better sense of entry to the park. consider addition of some type of park signage.

improved maintenance, esp. of heavily used play and picnic areas in park

addition of street tree plantings as indicated to further define the neighborhood and park edge.



replacement of soil in play areas with wood chips in rail-road tie or concrete edge.

alteration of area between park and school through addition of trees and paving (brick) to serve as a pleasant shaded area for sitting - passive use.

replacement with brick or concrete walks from Fatherland to front of school

obtain brick for replacement of existing paving (walks and possibly part of street intersection) to reinforce the 'community corner' aspect of Seventh-Fatherland intersection.

THE ALLEYS

The kinds of changes which might be made to improve the alley environments are indicated here. Since the role of actual public ownership constitutes only a small part of these environments, many of the changes must necessarily be the responsibility of individuals whose properties abut the alley r.o.w. So, while being changes carried out on private property, the effect is improvement of the total alley-scape.

alteration of pole/lines patterns to consolidate wires as much as possible to reduce overhead visual clutter.

addition of screen plantings to block bad views—esp. to backs of commercial properties

subtraction, i.e. demolition of derelict outbuildings, and removal of fences not worth repairing

replacement of dead trees (there are many) with new plants to retain the covered-over, shady quality of the alleys.

maintenance of those existing outbuildings which are in sound condition



alteration of parking patterns along alley to create defined, enclosed, and maintained parking 'alcoves'.

addition of attractive edge-type plantings of trees, shrubs, and vines to further define the edge between alley zone and private rear yards.

improvement of general maintenance level along all alleys in Edgefield.

addition of paving is needed in several of Edgefield's alleys

replacement of trash piles and random bunches of cans with a uniform type of can and rack system in consistent locations along alley would help to remedy severe visual/sanitation problem.

subtraction of detrimental elements, i.e. permanent removal of what appears to be permanently stored debris such as:

- junk automobiles
- old furniture and appliances
- building debris
- etc.

from alley zone

PRIVATE PROPERTY

The approach to improvements on private properties in Edgefield should, as with public property, be determined on the basis of appropriateness of design and materials. These are assured by consistent adherence to design guidelines by neighborhood homeowners.

Pride of ownership is a reasonable incentive to home improvement and good maintenance of the private property, but the individual property owner must also have a working understanding of how his own property relates to its neighbors. The improvements and changes he makes to building and property must produce a result which is sensitive to the architecture of his own house, and in harmony with the neighboring buildings and properties on his street.

Improvements to private property in Edgefield would be carried out through the same five approaches discussed with regard to public improvements:

1. addition
2. subtraction
3. replacement
4. alteration
5. maintenance

FRONT YARDS

The approaches to improvement of some front yard situations might typically be:

- Addition • of plantings to frame views of house facade
 - of trees at front lawn edge to both provide shade in yard and act as street trees
 - of well designed foundation plantings, where needed.
- Subtraction • of plantings that are dead or in poor condition
 - of out-size foundation materials, where they block facade
 - of inappropriate fences across front of property.
 - of yard ornament which tends to detract from building
- Replacement • over over-scale but well located plantings with ones of more appropriate size
 - of poor lawns in dense shade or heavy traffic areas with groundcover or paving
 - of inappropriate styles of fencing with hedges or more agreeable fence types
- Alteration • of intricate and/or chaotic plantings to give simple areas for easy maint.
 - of walk alignments to reduce lawn wear, provide planting edges.
- Maintenance • general
 - of front curbs and walls
 - of thick walks fronting properties

The nature of specific approaches and solutions is discussed and illustrated via specific examples of situations which exist now in the Edgely neighborhood. See GUIDELINES/RECOMMENDATIONS section.

REAR YARDS

Back yards in Edgefield are frequently ignored, both with regard to use and design/maintenance. Approaches to their improvement would be as follows (there is a group of overlap here that is also dealt with in the section on Philosophy of Improvement (the Alleys)).

- Addition
 - of plantings, paving, and other landscape elements to increase privacy, attractiveness, and usefulness of rear yard
 - of plantings or structures to screen poor views, utility areas
 - of fencing to restrain animals
 - of outbuildings for storage of cars, boats, trailers, equipment, etc.
 - of well kept gardens, esp. toward alley end of yard
 - of vines, shrubs to soften utility fencing
- Subtraction
 - of cast-off furniture, appliances, general major debris from (most typically) alley end of yard.
 - of dead trees and poor quality plant materials
- Replacement
 - of unsound outbuildings and neglected fences with new, well designed ones.
 - of auto parking area near house with new parking near alley end.
- Alteration
 - of ground form in areas where slopes, old building foundations, etc. make maintenance of an area difficult.
 - of trash storage, from a variety of container types haphazardly located, to uniform container/rack types in specific locations.
- Maintenance
 - of this entire zone in the neighborhood is consistently a major problem, and needs general and drastic upgrading.

See GUIDELINES/RECOMMENDATIONS section.

BUILDINGS

Of the 270 buildings in Edgefield, about 70% are considered to be architecturally significant. Almost 190 buildings have sufficient detail and character to be considered historically important. This is an unusually high number, and further reason for the neighborhood's inclusion on the National Register of Historic Places as a Historic District. However, it also shows why the loss of architectural character through change should be of concern to the neighborhood.

Change has already taken place. Many buildings have already been altered. Change is not inherently bad and it will not stop. People will and must maintain their living environment and to do that, change will occur.

The important thing about change in a historic district, however, is how changes are made. Alterations to buildings of significant architectural character are perhaps more sensitive, but plainer buildings are important too. New alterations should be undertaken with the character of the original building in mind. If this simple precept is adhered to, the altered buildings will have a greater potential to "belong" to an already comfortable-feeling neighborhood.

They will enhance, rather than detract from their neighboring structures and their street.

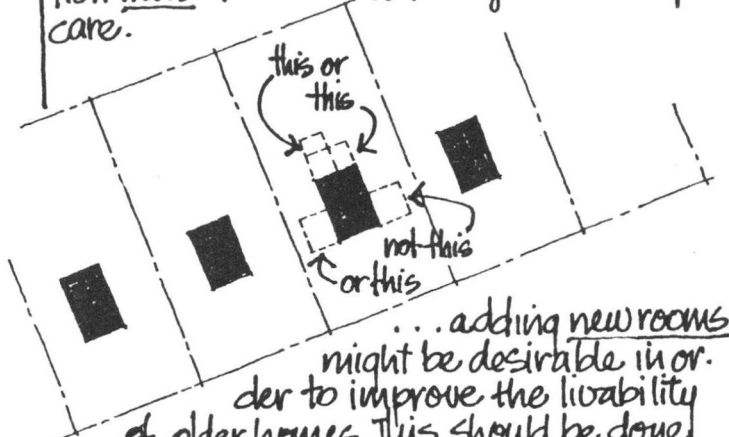
In Edgefield, the two extremes of appropriate change are restoration at the most complicated level and pure maintenance at the simplest. The goal of restoration is to return all architectural detail to original condition — a commendable goal, but not an absolute necessity. The goal of maintenance is to insure that the building remains in good condition — a new roof or simple paint job involves change.

Between these extremes are an infinite number of varied approaches, mixing the two in varying proportions. The important issue is not whether to go one way or the other, but the sensitivity and understanding people bring to whatever approach they choose.

And which approach to change one decides on depends on many factors — the desires of the owner, the existing condition of his building, the degree to which it has already been altered, etc. Appropriate improvements that could be undertaken are categorized as addition, subtraction, replacement, alteration, or maintenance.

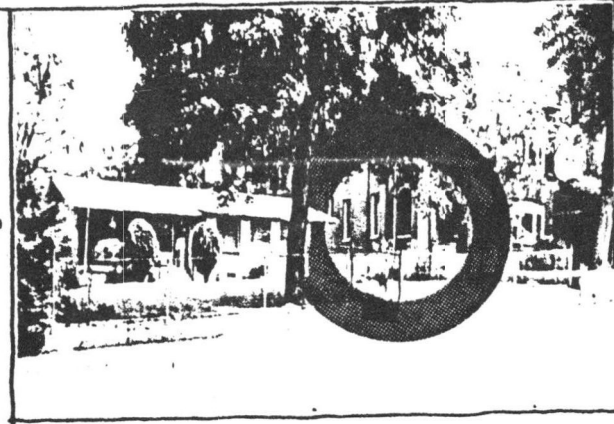
BUILDINGS, CONTD.

Addition . . . involves putting something new in the neighborhood that was never there before. Since Edgefield is important because of what is already there, addition must be done with a great deal of care.

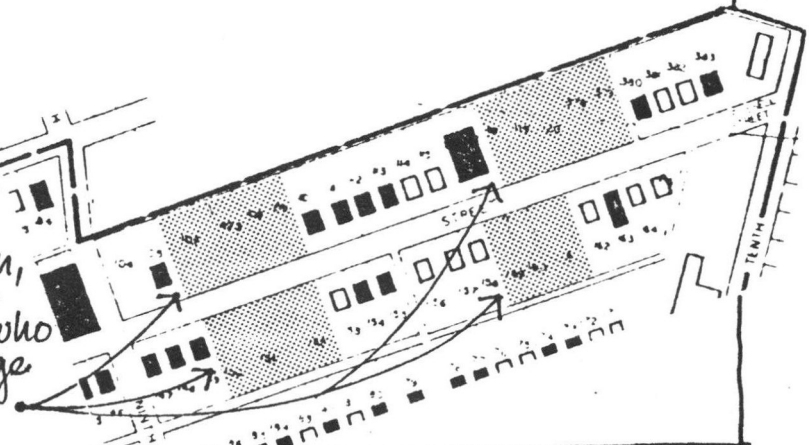


. . . adding new rooms might be desirable in order to improve the livability of older homes. This should be done so as not to destroy the rhythm of the buildings in the streetscape or the character of the historic architecture.

. . . adding new buildings on vacant properties would be desirable not only to recapture the continuity of the blockscape; it would also eliminate presently derelict vacant land. In addition, new buildings would provide new living opportunities for longtime neighborhood residents who may wish to be relieved of the burden of a large older home, but still stay in the neighborhood.

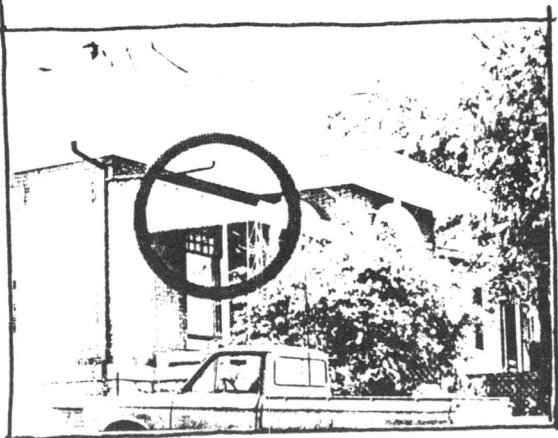


. . . adding new elements such as landscape screening would soften difficult and harsh contrasts of mass and scale between old and new homes - both of which undoubtedly will remain neighbors for years to come.



BUILDINGS, CONT'D.

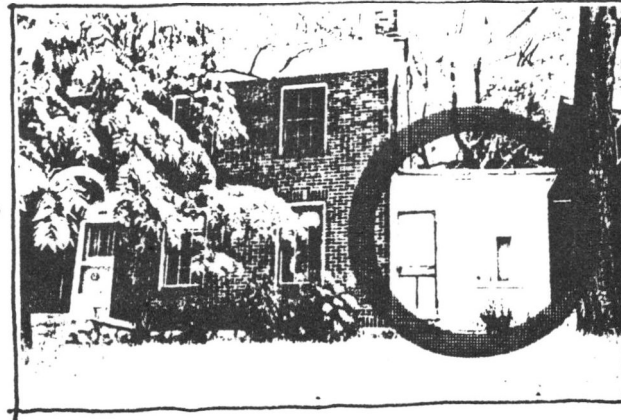
Subtraction . . . involves removal of elements which have been added, and which detract from the desirable appearance and continuity of the neighborhood. This process could be carried out on an entire building that is derelict beyond repair or that is an "intrusion" which is too harsh.



. . . removal of detail which is inappropriate to the original architectural style and character of individual buildings. Aluminum awnings or porch coverings may answer functional needs but they detract from visual quality. The need could be satisfied in a more sensitive and appropriate way.

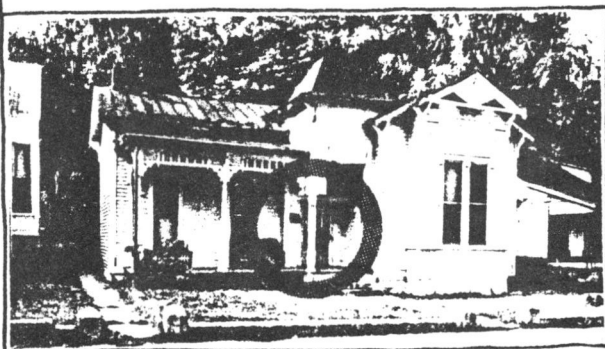


. . . removal of entire new facades which have been added to significant older buildings in order to "modernize" inappropriately . . . or removal of building elements that detract from the scale and mass of a home or are not in harmony with the original architecture.

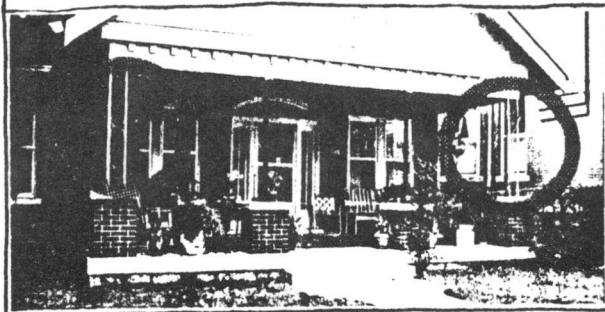


BUILDINGS, CONT'D.

Replacement. . . involves both subtraction and addition — the removal of an element that has been substituted for or covers original aspects of a building, and replacement with a replica of what was originally there.



. . . replacement of a building component which has been changed.



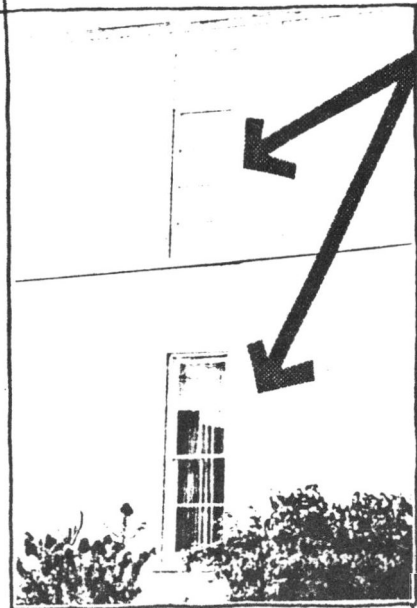
. . . replacement of detail which has been altered by the change to types or materials uncomplimentary to the original architecture. As example, formed iron "New Orleans" porch columns never existed originally in Edgefield.

. . . removal of "newer" surfaces and finishes to houses whose owners have been convinced by an un-informed and un-sympathetic building industry will impede weathering or improve public image. Usually the original surface is still underneath and with a little effort can be brought back to acceptable condition.



BUILDINGS, CONT'D.

Alteration . . . involves changing something that has already been changed - usually inappropriately. Or it could involve altering the original architecture - but if this is done there must be good reason and it must be done appropriately.



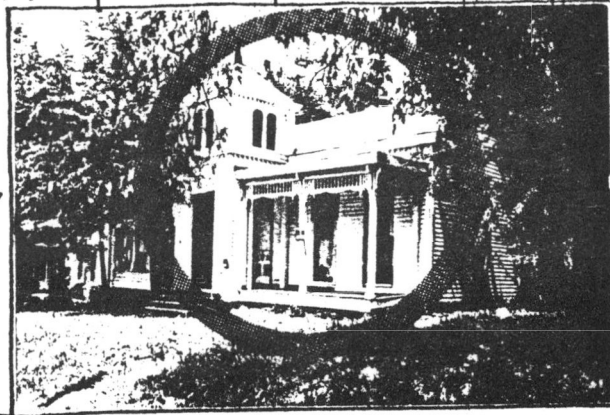
... altering a detail (windows) by installation of a new unit which is sympathetic with the original design. The older homes in Edgefield were seldom fitted with storm windows, yet their desirability is obvious now. Care must be exercised with regard to storm window color and materials

to ensure that they do not detract from the character and authenticity of the older buildings.

... altering a building element that is not original to the building. Awnings serve a useful purpose, but should be canvas, not aluminum.



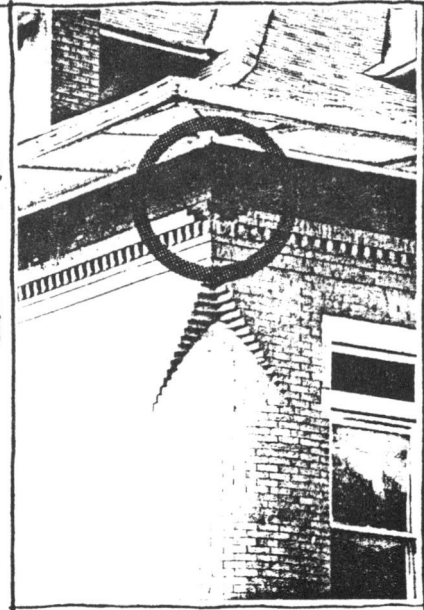
... altering a building's present color, if inappropriate to what it originally was. If the original color is undesirable, a color should be chosen which is compatible with the general neighborhood "feeling."



BUILDINGS, CONT'D.

Maintenance does anything further really need to be said? Upkeep of a home — whether by painting, repairing a leaky roof, or taking care of things that deteriorate — is a necessity. One cannot deny that the value of an individual house and the image of the entire neighborhood are results primarily of the way property is maintained. It shows that people care — about the home they live in and the neighborhood they and it are a part of.

Maintenance is probably the easiest and least expensive approach to change that there is





recommendations / guidelines

RECOMMENDATIONS

The various elements that make up the Edgfield neighborhood have been described. A detailed overview of the entire neighborhood, analyzing those things that affect neighborhood character and environmental quality, has been presented. The nature of changes to neighborhood components which will be necessary for conservation of its historic features and improvement of overall neighborhood quality has been detailed. The Edgfield neighborhood is made up of many things; we have tried to touch on them all.

From this examination of the neighborhood, specific recommendations have been developed, and are presented on the following pages.

Included are:

- neighborhood public spaces and areas
- traffic patterns and controls
- neighborhood entrances
- sidewalks

- street lighting
- fences/ edges
- street trees
- street furniture
- rear yard elements
- alleys
- multi-family residential
- church, school, and commercial buildings
- intrusions
- zoning

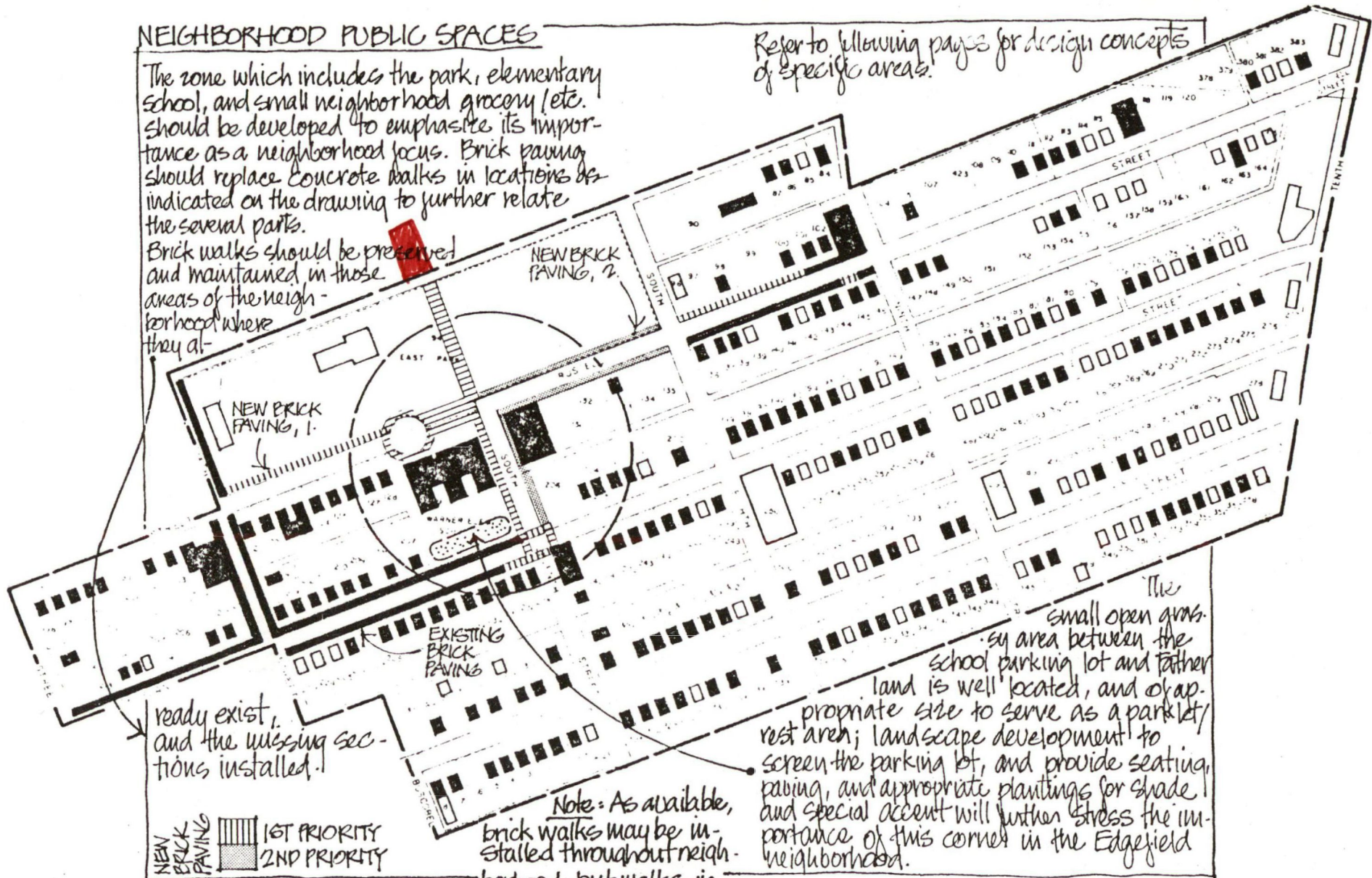
Some of the recommendations are directed to private property owners and are presented in such a way that the owners can probably move ahead, if they wish, with little or no additional detail. Some are directed to various aspects of the public domain and can be implemented only through municipal action. For these recommendations to be carried out, further study by appropriate city departments will be necessary. All recommendations can be successfully realized only with the strong backing of the neighborhood association.

NEIGHBORHOOD PUBLIC SPACES

Refer to following pages for design concepts of specific areas.

The zone which includes the park, elementary school, and small neighborhood grocery (etc.) should be developed to emphasize its importance as a neighborhood focus. Brick paving should replace concrete walks in locations as indicated on the drawing to further relate the several parts.

Brick walks should be preserved and maintained in those areas of the neighborhood where they already



ready exist, and the missing sections installed.

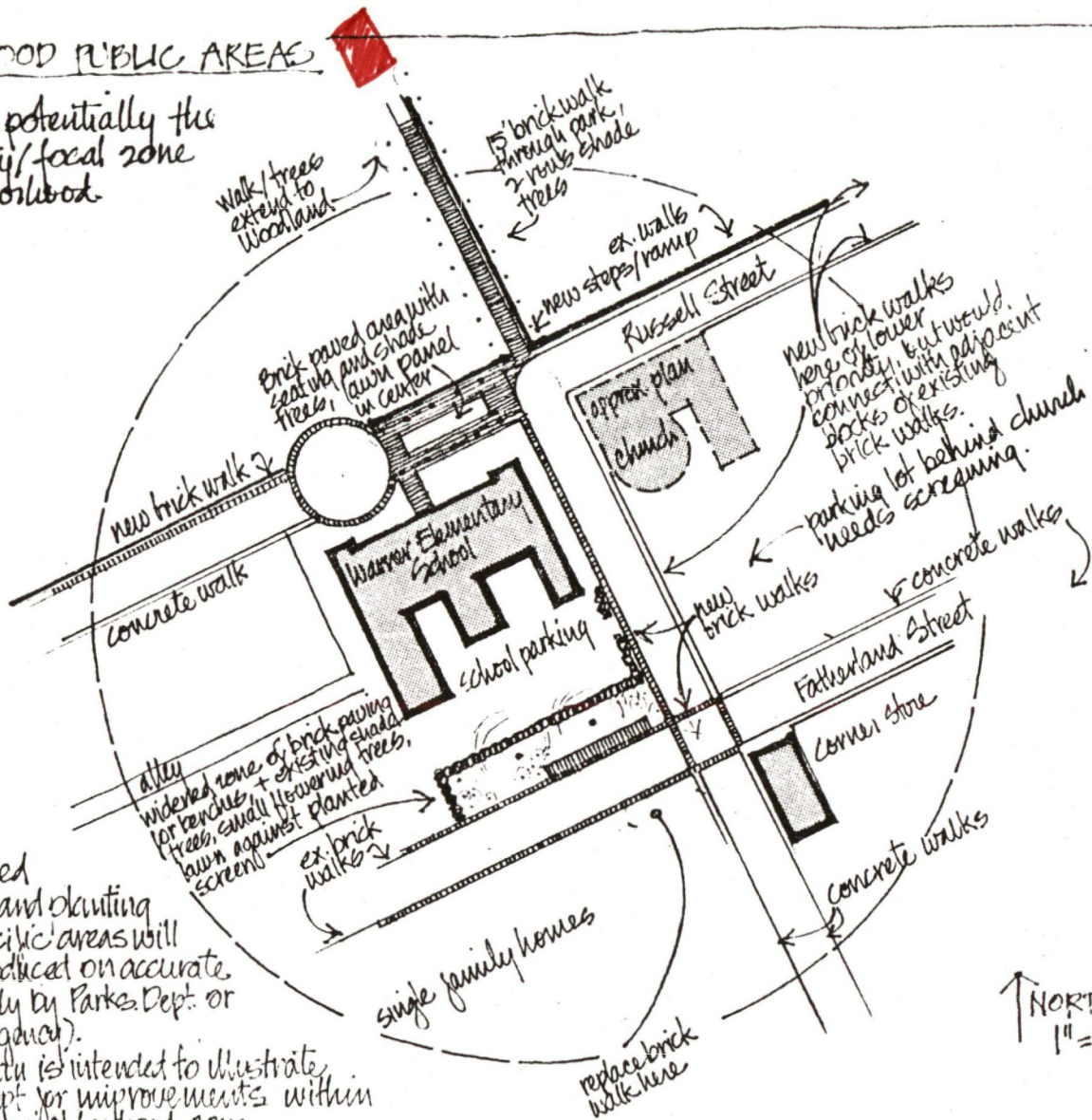
NEW BRICK PAVING
 [Hatched Box] 1ST PRIORITY
 [Solid Box] 2ND PRIORITY

Note: As available, brick walks may be installed throughout neighborhood, but walks in areas designated first and second priority must be installed before this sidewalk treatment is extended to other areas.

The small open grassy area between the school parking lot and father land is well located, and of appropriate size to serve as a parklet/rest area; landscape development to screen the parking lot, and provide seating, paving, and appropriate plantings for shade and special accent will further stress the importance of this corner in the Edgefield neighborhood.

NEIGHBORHOOD PUBLIC AREAS

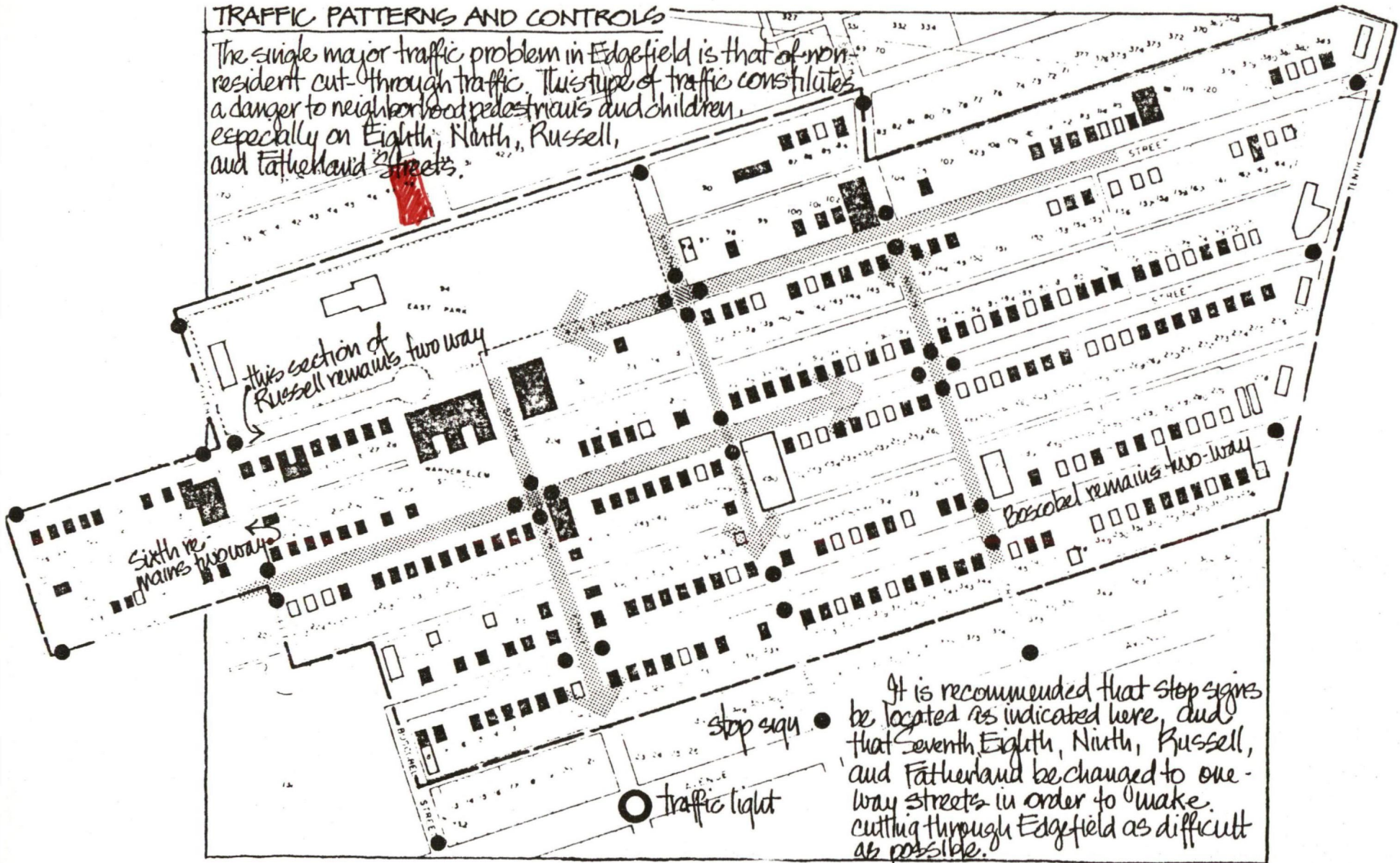
This area is potentially the main identity/focal zone of the neighborhood.



NOTE: Detailed development and planting plans for specific areas will need to be produced on accurate bases (probably by Parks Dept. or other public agency). This sketch plan is intended to illustrate just the concept for improvements within this central neighborhood zone.

TRAFFIC PATTERNS AND CONTROLS

The single major traffic problem in Edgefield is that of non-resident cut-through traffic. This type of traffic constitutes a danger to neighborhood pedestrians and children, especially on Eighth, Ninth, Russell, and Fatherland streets.



It is recommended that stop signs be located as indicated here, and that Seventh, Eighth, Ninth, Russell, and Fatherland be changed to one-way streets in order to make cutting through Edgefield as difficult as possible.

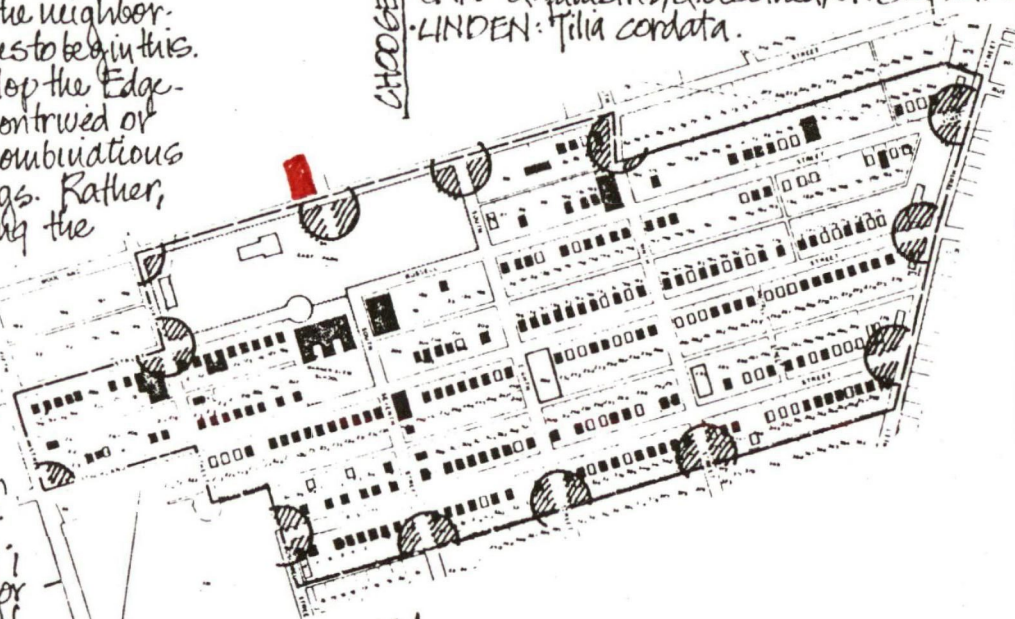
NEIGHBORHOOD ENTRANCES

It should not be a goal of the Edgefield neighborhood to set itself totally apart from the surrounding community. On the south and east sides, especially, there is a marked continuity between "inside" and "outside" Edgefield. It is desirable, however, to work to achieve a distinct neighborhood image, and the neighborhood entrances are logical places to begin in this.

The means employed here to develop the Edgefield image must not appear contrived or oute... ds with gateways or combinations of lights-signs-walls-plantings. Rather, the proper approach to identifying the neighborhood could be a consistently applied theme of distinctive, simple, large scale plantings at each street entrance into the neighborhood. This approach would in most instances require cooperation of property owners at the several neighborhood entrances; there being little opportunity for plantings in the public right-of-way, new plantings would have to go on private property; trees in these locations would, however, be provided and installed by the neighborhood association.

TREE PLANTINGS OF A SINGLE TYPE, PLACED AS LAWN EDGE OR STREET TREES, OR IN SIMPLE GROUPINGS:

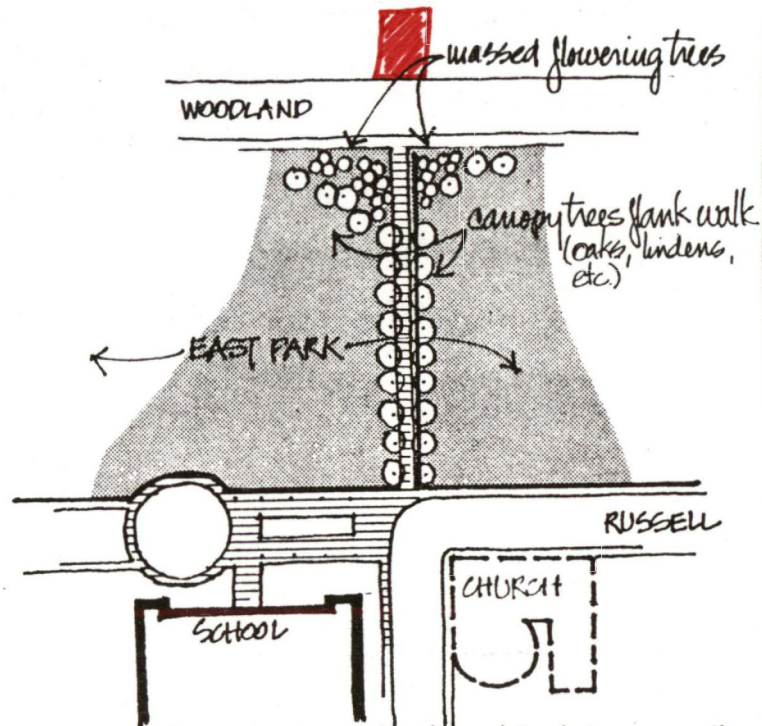
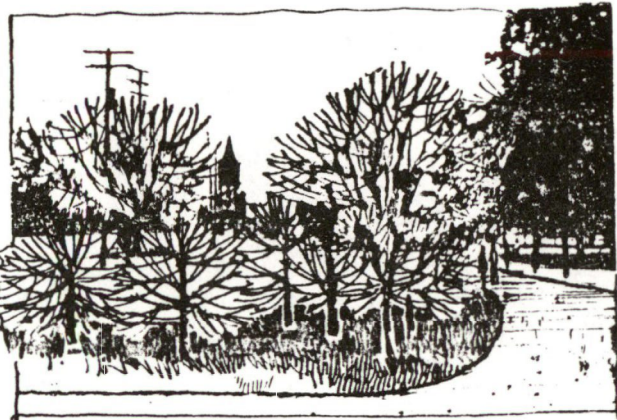
- CHOOSE FROM:
- FLOWERING CRABS - tall varieties, 4'+ trunk
 - DOGWOOD
 - MAGNOLIA tall sp - esp. *M. grandiflora*
 - OAK: *Q. palustris*, *Q. coccoloba*, or *Q. phellos*
 - LINDEN: *Tilia cordata*.



Note:
Neighborhood entrances/exits at one-way streets must be sensitively designed in order to avoid the typical clutter of signs and barriers.

NEIGHBORHOOD ENTRANCES, CONT'D

The theme of neighborhood entrance tree plantings should be extended in its application to central areas of Edgefield — particularly the park, elementary school, and other community buildings or public spaces. This theme should not be applied too widely, however; the majority of new tree plantings along residential streets in Edgefield should represent a variety of types, with the 'theme' variety occurring only in moderate numbers, as accent.



Priorities must be established to determine those locations where it is most important that trees be installed in large sizes in order to achieve the maximum visual effect, immediately. Neighborhood entrances which relate to the park are logical places for these 'immediate effect' plantings, with other entrances next in importance. Trees to fill in the street tree cover could be planted in smaller sizes.

SIDEWALKS

Sidewalks in the Edgefield neighborhood, while in reasonably good repair, are generally in need of maintenance. This is particularly true with regard to the several blocks of remaining brick sidewalk. Weedy vegetation growing in the cracks and spaces between concrete sections gives the public walks in many sections of the neighborhood an unkempt appearance, and detracts from well tended homes and yards. This kind of maintenance is something that cannot reasonably be expected of public agency. So the individual homeowner must, if he supports the goal of a quality neighborhood environment, extend his commitment to assume the responsibility for care of the walk fronting his property.

RECOMMENDATIONS:

- Brick sidewalks should be preserved in those areas of the neighborhood where they exist now.
- Brick should replace concrete walk sections in several areas of residential street where it will complete a block of brick paving.
- Existing concrete walks should be removed, and replaced with brick along several blocks in the center of the neighborhood.

SEE PLAN
ON PAGE 41

- New brick paving is recommended for installation in several locations.

NOTE: Brick installation in accordance with the latter two recommendations would be on park and school properties, and directly in the street, or fronting residential properties. Installation should in these cases be upon a concrete base, in order to reduce maintenance.

SPECIFIC SIDEWALK PROBLEMS

- Poorly constructed / maintained driveway aprons

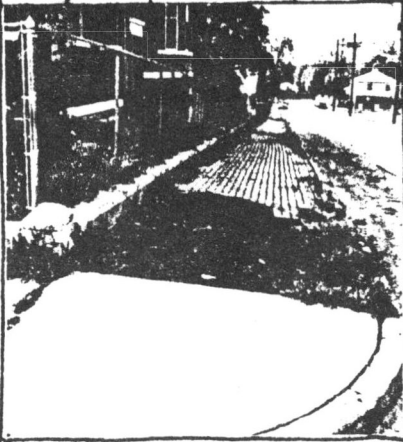


A single design for a concrete driveway apron should be adopted for the neighborhood (with special construction indicated where brick sidewalks are crossed). Existing aprons of poor quality should be replaced, and all new construction be

SIDEWALKS, CONT'D

required to conform to the approved new design.

- Asphalt patches in/over brick walks.



Asphalt should be removed, and paving brick, to match pattern and type of existing brick walk, re-set in its place.

- Some sections of brick walk are almost completely grown over.



Suggest that the most efficient approach would be for neighborhood organization to provide work groups to accomplish initial recovery of sidewalks. Individual homeowners must be responsible

for all subsequent maintenance.

- Poorly located or detailed elements on walks — telephone booths, mailboxes, etc.

Determine, if necessary, an improved location where element will not impede pedestrian movement, is convenient for use, and will not hinder maintenance or detract from the appearance of adjacent buildings or properties. Concrete (especially if located on brick paving) a suitable base in order to reduce the need for maintenance.



STREET LIGHTING

Nightlighting along streets in Edgefield is generally adequate, but further study is needed to determine specific areas in which improvement may be necessary.

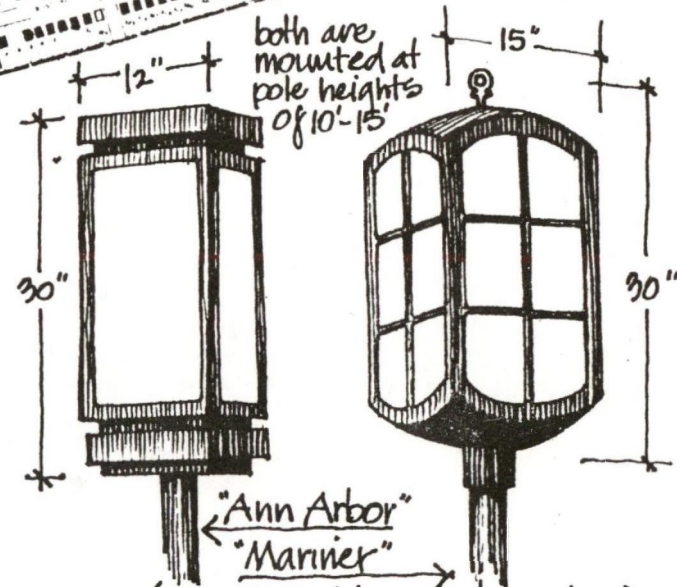
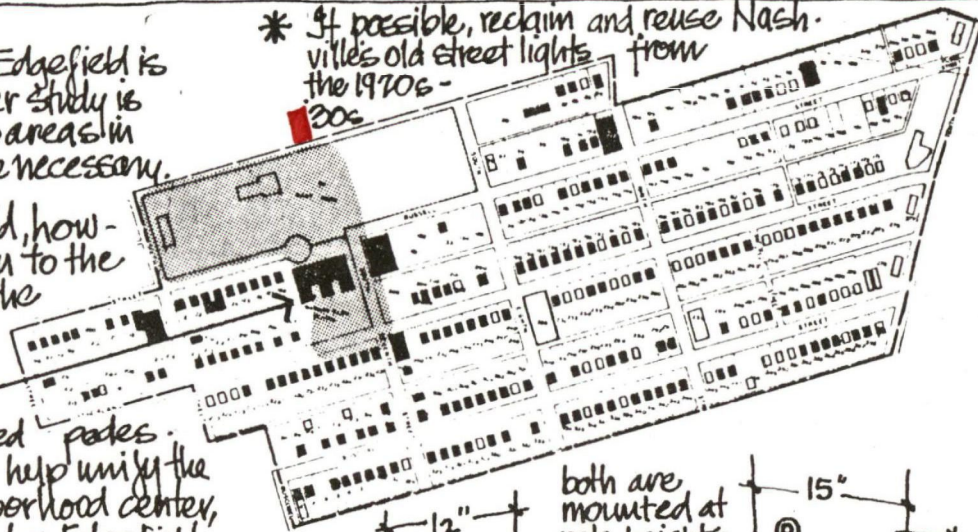
Pedestrian scale lighting would, however, be a desirable addition to the neighborhood, especially in the central zone identified for development as a neighborhood focus.

A carefully chosen and located pedestrian lighting theme would help unify the different parts of the neighborhood center, and promote increased use by Edgefield residents of this area of the neighborhood.

The pedestrian lighting system might in the future be expanded out along the residential streets of the neighborhood.

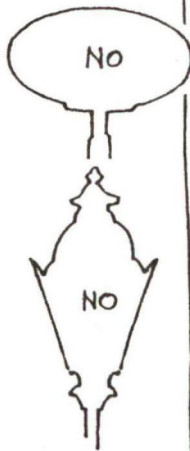
CAUTION: A simple and well designed pedestrian light would be most appropriate to this neighborhood, with its diversity of architectural styles. Any inclination to adopt a nostalgic "period" light design would be non-representative, and an arbitrary forcing of an artificial, pseudo-historic image. In the same way, a very contemporary fixture would represent only a part of Edgefield.

* If possible, reclaim and reuse Nashville's old street lights from the 1970s - 20s



(Sterner Lighting Systems, Inc.)

These 2 styles would relate acceptably to a variety of architectural periods and styles.



FENCES/EDGES

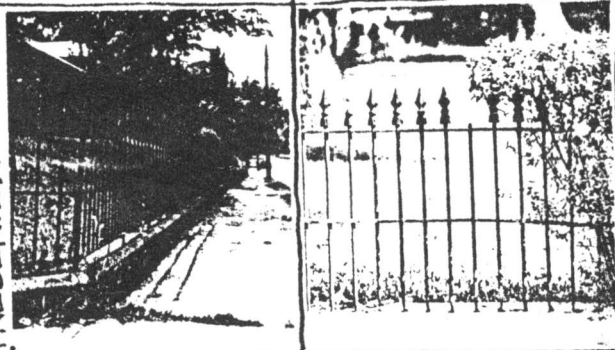
Several fence types are in common use in the Edgely neighborhood. While some, such as the few remaining intricate iron fences and a small number of picket fences, are both historic and decorative, the predominant types are the less attractive ones of wire and chain link. The iron fences are still seen mainly on those properties with pre-1900 houses; those of chain link are typically associated with houses of later vintage. There are many hedges in the neighborhood also; they are most frequently planted along side property lines, and are not so often found enclosing the entire front yard of a property.

Another edge detail, so common as to be almost a neighborhood theme, is the curb or low retaining wall along the fronts of properties, abutting the sidewalk. These structures are of stone or concrete, and vary considerably in design. They are frequently seen in conjunction with fences or hedges.

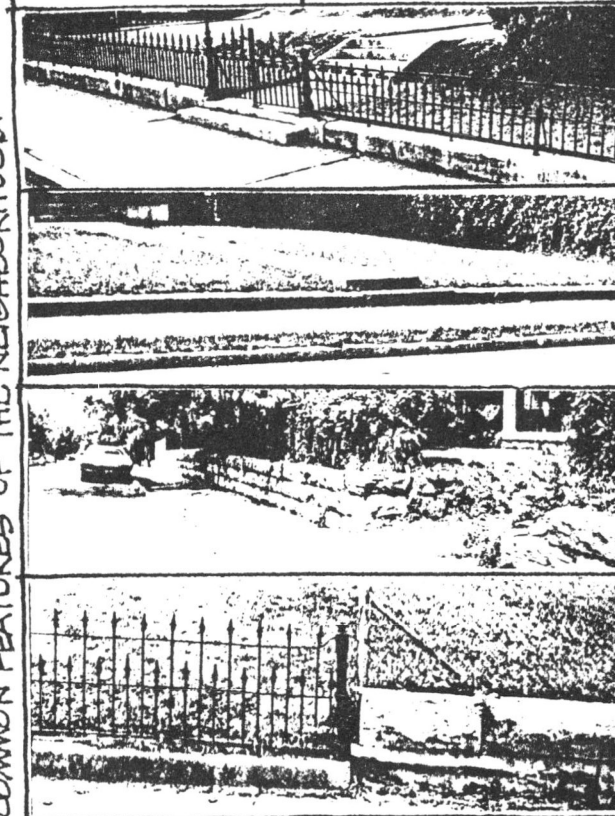
RECOMMENDED:

- The iron fences and curb/walls are attractive and historic features of Edgely, and should be preserved. Iron fencing (new or reclaimed) could be appropriately added on those properties with houses of Victorian vintage, but should not be considered

HISTORIC IRON FENCES SHOULD BE PRESERVED.



CURBS OR WALLS ALONG FRONT PROPERTY LINES, OFTEN TOPPED WITH FENCES OR HEDGES, ARE COMMON FEATURES OF THE NEIGHBORHOOD.



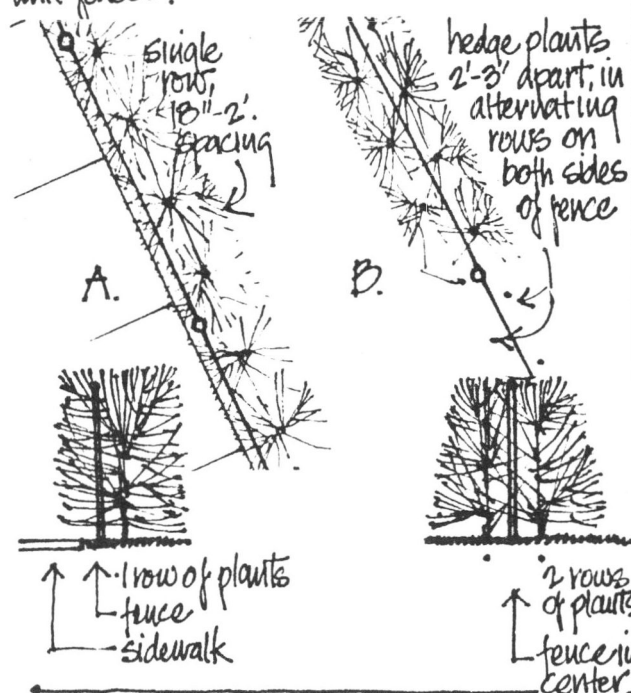
FENCES/EDGES CONT'D.

for use with houses of later date.

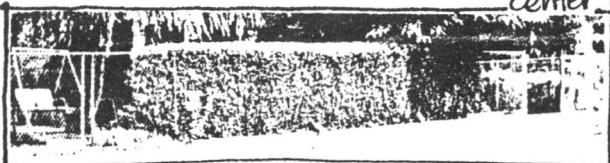
- Picket fences are uncommon in the neighborhood (none enclosing front yards). They are assets to front yards only if well maintained, and might best be used as side or rear yard enclosures where they will not extend forward of the house (fences or enclosures requiring less maintenance are preferable).

- The many chain link and wire fences reflect an apparent concern for security in the neighborhood. While useful and appropriate in rear yards, they cause some visual problems when used to enclose the front yards of residential properties. The rhythm of the streetscape is interrupted. The appearance, especially of chain link (typically 4' high), is much more suited to utilitarian use - industry, storage yards, and the like. An otherwise attractive residential property suffers when viewed in a setting of chain link fence. With woven wire fence there is an additional problem in that it tends, without attentive maintenance, to assume a 'bellied-out' and sagging look. Front yard enclosures of chain link or woven wire fence should be removed. Where this is not practical, camouflage (or at least interruption of the long expanse of shiny wire) should be attempted. The most effective means is by incorporation of the fence in a planted hedge; vines might also be allowed to fill in over it. Note: low, detailed local-type plantings such as flower borders and low flowering shrubs should not be located along a chain link fence. They merely draw attention to the fence. Also, the green plastic coated wire is little better than the shiny metal link fences.

PLANS
ELEVATIONS

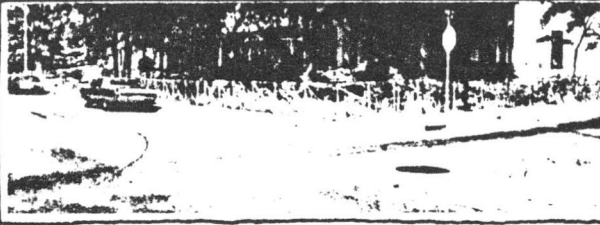


EXAMPLE:
FENCE IN
A HEDGE



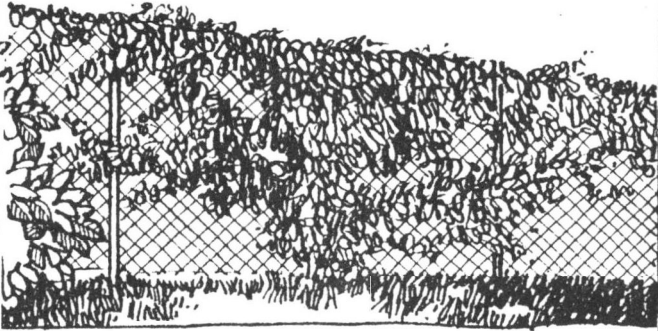
FENCES/EDGES, CONT'D.

- Screen walls and high wood fences may be necessary in some instances. The criteria for their use should be: location restricted to the sides or rear of the house, and style and materials in keeping with those of the building.



CHAIN LINK AND WOVEN WIRE FENCES ARE BETTER SUITED TO UTILITARIAN ENCLOSURES THAN TO FRONT YARDS ON RESIDENTIAL STREETS

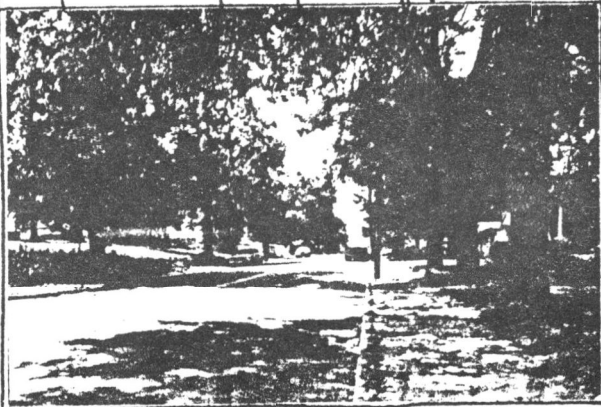
EXAMPLE:
VINES ON WIRE FENCE



Vines of neutral character may help to disguise portions of a wire or chain link fence.

STREET TREES

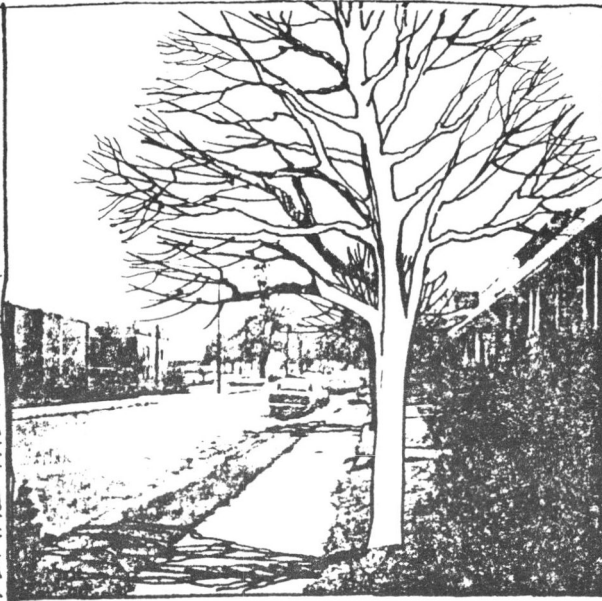
Plantings of large canopy trees (refer to list for recommended species) along the front edges of residential properties should be encouraged as a matter of general neighborhood policy in Edgefield.



A TREE-LINED STREET IN EDGEFIELD.

Mature trees are important positive features of the residential street environment; areas where trees are absent lack not only moderating effect of their shade in summer heat, but homes there are also devoid of the grace of setting and enframement that fronting shade trees provide. The function of mature landscape plantings as major elements of climate control should not be disregarded.

PLANTINGS OF CANOPY TREES ARE NEEDED TO SHADE HOUSES AND STREET, AND DEFINE THE NEIGHBORHOOD EDGE.



Following is a list of large deciduous trees recommended for street tree use:

- Maples (Sugar, Norway, Red)
- Lindens (Little-leaf, American)
- Oaks (Scarlet, Red, Shingle, Willow)
- Ashes (Green, Marshall's Seedless)
- Honeylocusts (thornless varieties)
- Tulip poplars
- Plane trees
- Ginkgos
- Hickories

Other large deciduous trees found in the neighborhood, but not recommended for further use, are:

Ailanthus, Box-elder, Catalpa, Black Walnut, Cottonwood, Elms, Silver Maple.

STREET TREES, CONT'D.

Lawn extensions (the grass strips between sidewalk and curb) exist along only a few streets in Edgefield, and these are mostly inadequate in width for street tree plantings. The only area where street trees can be planted on public property, if not within the street right-of-way, is along Woodland Street, in East Park. The north side of the park is very open, and since it is a neighborhood boundary, tree plantings are desirable both from the standpoint of providing shade along the walks and for definition of the neighborhood edge.



STREET TREES ALONG PARK EDGE FOR SHADE, TO MARK NEIGHBORHOOD EDGE, AND BUFFER TRAFFIC AND COMMERCIAL EDGE.

STREET TREES ARE NEEDED TO REDUCE IMPACT OF THE VISUAL 'HOLE' OF THE PARKING LOT



Other opportunities for plantings of canopy trees along edges of public or quasi-public properties should be identified in the neighborhood. One situation in which street-edge tree plantings should be of high priority is in the several church parking lots. These paved areas create pronounced gaps in the building/vegetation fabric of the neighborhood; street trees along their edges would reduce considerably the appearance of openness and extend the shaded overhead enclosure of the streets.

STREET FURNITURE

Street furniture includes:

- benches
- trash receptacles
- drinking fountains
- planters
- bollards
- lighting
- signs

Could be selected or specially designed for use in the Edgefield neighborhood

- mailboxes
- newspaper dispensers
- telephone booths

of standard design

1. Simple design and materials —

A sturdy unit of restrained design, but constructed of rich and attractive components, is preferable to elaborate detail in design and materials. Thus:



• blends with many styles



• relates only to a single style or period.

2. Low maintenance —

Unit should not require frequent main.

tenance to keep it in good condition, nor should it be susceptible to easy vandalism.

3. Appropriate and convenient location

Location should be determined on the basis of convenient use by the maximum number of people.

Thus, trash receptacles, benches, drinking fountains, pedestrian lighting

- would most logically be placed in areas of high pedestrian use—relating to park, school, and central neighborhood areas.

Utilitarian furniture of standardized design such as mailboxes, telephone booths and newspaper dispensers

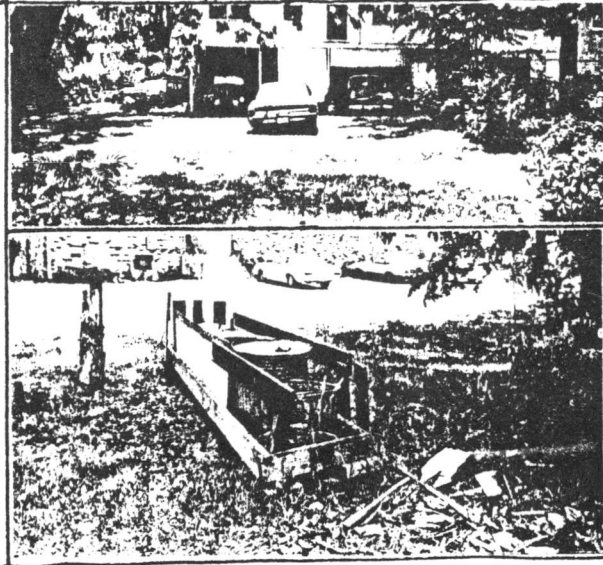
- should be associated with neighborhood commercial or public facilities, or located along walks for accessibility by the maximum number of people in the neighborhood.

- should not block or constrict walkways.

- it is best to cluster these units, rather than spotting them all over the neighborhood.

REAR YARD ELEMENTS

The areas of the Edgefield neighborhood most in need of upgrading are its rear yards and alleys. Since municipal services such as trash pickup are carried out from the alleys, it has been a natural consequence that an accumulation of more or less permanent debris - junk vehicles, building materials, old furniture and appliances, etc. has built up in rear yards adjacent to the alleys. Also, much of the parking access for residences is via the alleys; garages open off them and in many cases cars are stored or the open in back yards. These problems are most severe in rental - especially multi-family housing. An intensive

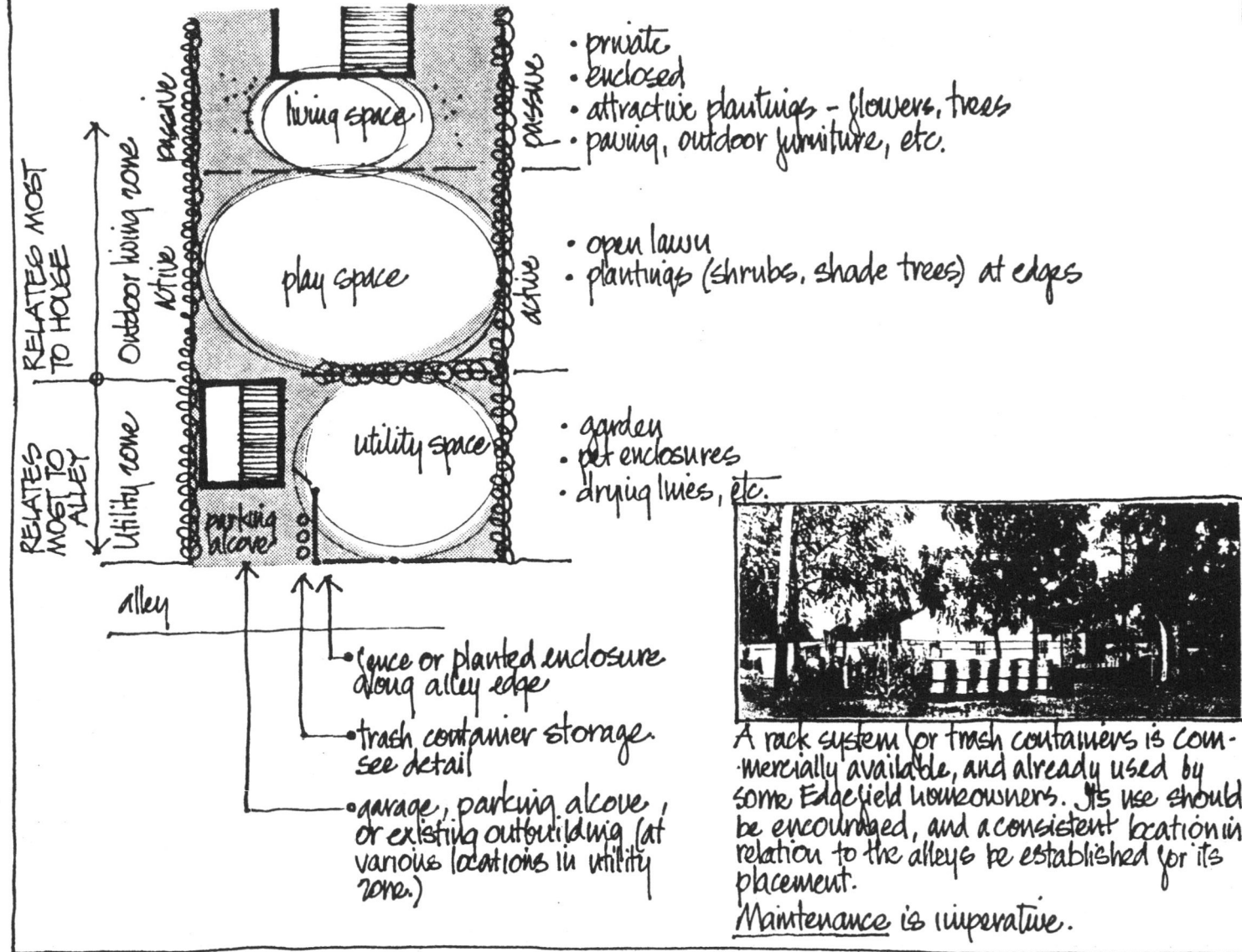


JUNK VEHICLES, IMPROPER VEHICLE PARKING, AND CARELESS TRASH DISPOSAL ARE MAJOR PROBLEMS.

cleanup of rear yards is essential. There are many cases where trash storage is so haphazard as to constitute a public health hazard. (Work groups from the Edgefield neighborhood organization, with trucks and personnel from the city, could carry out an initial neighborhood-wide cleanup of debris from back yards. Subsequent maintenance and trash disposal would be the responsibility of property owners and tenants, with an annual large trash pickup service by the neighborhood organization).

Few homeowners have developed their back yards as spaces for outdoor living, and there has generally been little consideration given to the positive potential of rear yards. Their use has tended to be purely utilitarian, with a number of well kept gardens being the most attractive feature prevalent in the back yards of Edgefield. Reorganization and maintenance of the utilitarian elements, and careful accommodation of the functions which must occur off the alleys could leave free areas near each house which could then be developed as an attractive, pleasant, and private area for outdoor living.

REAR YARD ELEMENTS, CONT'D.



A rack system for trash containers is commercially available, and already used by some Edgefield homeowners. Its use should be encouraged, and a consistent location in relation to the alleys be established for its placement.
Maintenance is imperative.

ALLEYS

The most significant improvement in the quality of Edgefield's alleys will come about through rear yard cleanup and property improvement efforts by the individual homeowners. However, there are two categories of change, necessary for the long range up-grading of the neighborhood alleys, where commitment beyond individual private effort will be needed. These are:

- paving of those sections of alley not yet paved.
- consolidation of the clutter of overhead utility lines on as few poles as possible, and elimination of any non-essential lines and poles.

RESIDENTIAL - MULTI-FAMILY

Multi-family residential buildings in Edgefield fall into two general categories:

- converted old single family homes
- buildings constructed originally as multi-family dwellings

There is the beginning of a trend toward reconversion of the old houses back to their original single family use. This is happening as individuals identify Edgefield as an improving neighborhood with attractive qualities, and one in which it is therefore safe to make a financial commitment. This change of ownership frequently happens at the point where a building has reached such a state of deterioration that the landlord faces the prospect of major investment in order to bring the building into compliance with housing codes. This reconversion is a trend which should be encouraged — not, however, to the extent that elimination of all multi-family rental in converted older structures becomes the policy. The landlord who is committed to neighborhood goals is as effective an agent for preservation of neighborhood quality as is the similarly committed resident homeowner. In instances where the multi-family use of an older home is purely exploitive, though, its return to single family should be a goal.

Apartment buildings and duplexes of more

recent vintage are the prevalent expression of multi-family housing in Edgefield. They vary considerably in age, architectural merit, and quality of maintenance. Some fit well into the architectural fabric of the neighborhood; others, whether by reason of design, siting, or poor maintenance, are negative intrusions and detract from the properties around them.

1. Building masses are often very different from those of adjacent houses, interrupting the rhythm of buildings along a street.
2. Siting is frequently insensitive, and apartments often do not adhere to prevailing building setbacks.
3. Inappropriate materials and design details further emphasize the awkward relationship between new multi-family units and adjacent single family dwellings.
4. Lack of maintenance is the factor which most frequently and obviously sets the multi-family units apart from their single family neighbors.
5. Finally, whatever the architectural worth of a new apartment, it is too likely that it represents the loss of an old home — part of Edgefield's history — from the property the new building occupies.

RESIDENTIAL - MULTI-FAMILY, CONT'D.

Property conditions which are the result of high resident density and their tenant status are the chief problems connected with apartment buildings in Edgefield. Where the typical single family house has, at most, two vehicles connected with it, an apartment building has at least twice this number. This often leads to use of the entire rear of the property for car storage; the street in front becomes 'parked up' too. Maintenance of the property is often of significantly lower quality than with single family homes, for renters feel no obligation to assume the upkeep of communal areas. The property quickly develops an un-planted, beaten down, and unmaintained appearance — unless the owner is willing to commit himself to the cost of a property maintenance program.

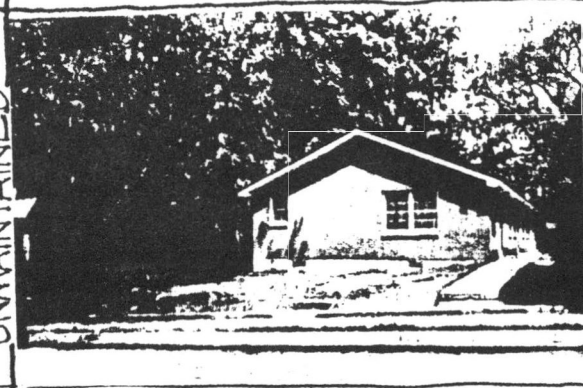


MAINTENANCE, ATTRACTIVELY DEVELOPED PROPERTY

1/6.

PROPERTIES UNDEVELOPED EXCEPT FOR NEW STRUCTURES: NOTE THAT WALKS/STEPS FROM ORIGINAL HOUSES STILL REMAIN.

UNMAINTAINED UNMAINTAINED UNMAINTAINED



CHURCH, SCHOOL AND COMMERCIAL BUILDINGS

Churches. . . . Tulip Street Methodist Church, Edgefield Baptist Church, and the Russell Street Church of Christ are all very good members of the neighborhood community from the standpoint of both use and architectural continuity. They must be encouraged to continue as lively and active elements in the neighborhood. Even though their congregations come largely from outside the community, the churches must become committed to active participation in the neighborhood organization. They must understand that this commitment is to their advantage, and that preservation through maintenance is a necessity. Church parking facilities (unpaved vacant lots, for the most part) should be screened with landscape plantings from the streets and adjacent residential properties (This treatment should also be applied to the parking lot of the church at the corner of Woodland and Sixth, just outside the neighborhood).

School. . . . Warner School is also compatible architecturally with the residential neighborhood. Its use as an educational facility is a healthy contri-

bution to the rich diversity of the Edgefield community. It is understood that plans are being considered to phase the building out as an elementary school. If the school district cannot be convinced to adapt the building to other special educational use, then other adaptive use concepts such as a community center, apartments or housing for the elderly should be explored. The building should stay.

Commercial building. . . . the structure at 7th and Fatherland fits comfortably in the neighborhood from a visual standpoint. It needs only some graphic help to make it more compatible with adjacent residential buildings. The commercial use is essential as a part of a zone of neighborhood focus.

ARCHITECTURAL INTRUSIONS

Of the 270 buildings in Edgefield about 30% have been identified as "intrusions". In other words, there are about 80 buildings that were not listed on the nomination form for inclusion of Edgefield as a historic district on the National Register of Historic Places. The reason, for the most part, is that they do not meet the 50 year cutoff generally used by the Register. Therefore, the "intrusions" are buildings built in the neighborhood primarily after WWII.

In a neighborhood with a large percentage of architecturally significant buildings, newer homes do look out of place because their size and detail is so different. And this is true in Edgefield, where the newer homes tend to look as though they have strayed from 1950's and 1960's suburban settings.

However, one of the heralded aspects of the Edgefield neighborhood is its display of a rich continuum of architecture from the 1850's to the 1920's—seventy years during which architectural styles underwent a diversity of changes.

Why then should we turn our backs on the new? The contemporary structures do show the popular taste of our own time, and perhaps it is because we are so close to them in time that we cannot see that they too may support the concept of diversity.

They do, however, provide an uncomfortable contrast in certain instances where they are very close to older buildings of widely contrasting mass and scale. But unless someone can really afford to tear one down and build a new home of more sensitive and compatible design, they are going to remain. It is, therefore imperative that ways to soften jarring building relationships be found. Until the role and position of these "intrusions" in the continuum of Edgefield's historic architecture is understood better, probably the best way to deal with some of the visual problems they create is through carefully placed screen plantings.

ZONING

The Edgefield neighborhood is designated under four primary zoning classifications:

- CG. . . . general commercial districts
- includes wholesale trade; warehousing; manufacturing processes (with highest performance standards); and ancillary services.
- CS. . . . commercial service districts
- includes retail and consumer services; amusement and entertainment; drive-ins, eating places and financial institutions; and offices.
- OP. . . . office and service parking districts
- transitional uses between more intensive commercial activities along major traffic arteries and residential areas.
- RM8, RM6. . . . high density residential districts - high density residential development allowing 40% maximum lot coverage; .80 (RM8) and 1.0 (RM6) floor area ratio; 2000 square feet (RM8) or 1200 square feet (RM6) required lot area per dwelling unit density; and 500 square feet (RM8) or 315 square feet required lot area per rooming unit density.

The following zoning classifications are also found to a lesser extent in the Edgefield area:

- CSL. . . . limited commercial service districts - neighborhood services.
- IR. . . . restrictive industrial district - high performance standard industrial.
- I6. . . . general industrial district - general industrial uses.
- R6. . . . medium-high density residential districts - medium-high density residential development allowing 40% maximum lot coverage; .60 floor area ratio; and 2000 square feet required lot area per dwelling unit density; and no allowance for rooming unit density.

Apparently the range of land uses allowed in Edgefield under the present zoning is much broader than the range of uses now actually existing in the neighborhood. Strong consideration should be given to the simplification of zoning by eliminating those classifications not applicable to present uses. This approach to zoning change would be supportive of the process of

ZONING, CONT'D.

neighborhood conservation.

Residential density presently allowed is too high. RMB and RMO zoning allow development of existing and new housing not compatible with the primarily single family character and scale of the existing neighborhood. Consideration should be given to eliminating zoning which allows rooming units, and which permits low lot area to develop unit ratios.

Historic District regulations presently exist as a part of the Comprehensive Zoning Ordinance — though they have not as yet been applied. This designation functions as an overlay zone (not changing existing zoning or prohibiting future zoning improvements). This Historic District regulations will, however, superimpose their own zoning restrictions. The required five-member Historic District Commission has been appointed, and as soon as is practical, historic Edgefield should be designated under this zoning classification.

This local designation would add to the existing national recognition to give the neighborhood what it needs in the way of legal protection to maintain and

upgrade its present historical integrity.

GUIDELINES

Certain specific recommendations take the form of guidelines. These recommendations are detailed to provide guidance in two ways.

First, private property owners who choose to upgrade their properties will find specific direction. This covers both property development and landscape planting, and guidance in aspects of building improvement. Any action from "restoration" to "maintenance" can be involved, and the guidelines help to determine what is or is not appropriate.

Second, new infill construction should and probably will take place on vacant property. The form this will take should be of concern to the neighborhood in general and the private property owner in particular because infill construction will affect neighborhood visual quality and property values. Therefore, guidelines are set forth to help influence new construction in an aesthetically compatible way. The same landscape guidelines are also appropriate to infill construction to assure that new de-

velopments fit comfortably with their older neighbors.

The guidelines presented are identified as:

- landscape planting
- home renovation or repair
- infill construction

It should be noted that design guidelines are not an end unto themselves. A design consultation service manned by sensitive professionals should be developed to apply these guidelines, and be offered to neighborhood residents by Historic Edgefield, Inc.

LANDSCAPE PLANTING GUIDELINES

An important aspect of the character of the Edgefield neighborhood derives from the vegetation—the large shade trees and mature plantings that exist on almost every older property. The extension of this landscape quality to new homes constructed in the neighborhood should be encouraged as one of the Association's goals.



MATURE PLANTINGS CHARACTERIZE MUCH OF EDGEFIELD

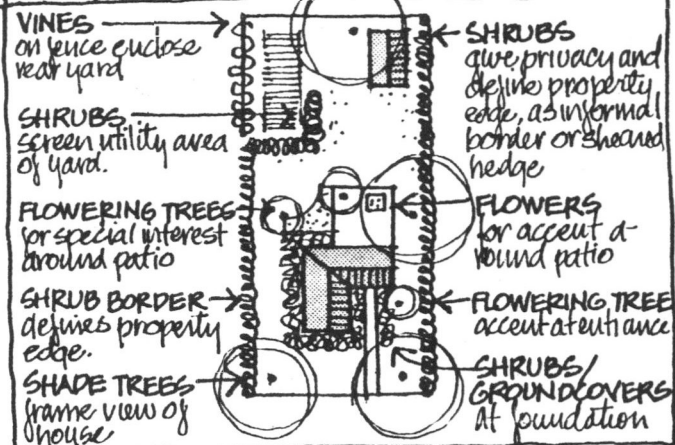
New plantings should be considered in the following categories, and in the order listed:

- **SHADE TREES** to frame the view of the house from the street and provide shade; appropriate for the same reasons along side property lines and in the rear yard.
- **SMALL FLOWERING TREES** for special accent; best when related to building (don't hide building details) or planted background; may be part of shrub borders; avoid centering in lawn areas.
- **SHRUBS** around house foundations; use to enclose yard areas, define property

edges; screen poor views; best when left to grow in natural form, except when used as sheared hedges.

- **GROUNDCOVERS** as foregrounds to shrub borders, in place of lawn under the heavy shade of trees, and in restricted areas that would be difficult to mow.
- **VINES** can serve the same function as shrubs, but without the mass; some flowering vines are excellent as special accent or focal plantings.
- **FLOWERS** add bright color to the predominating neutral greens; useful as focus near entrances, around patios, etc.; best when used in generous quantity in specific areas, and not spread around the property in little spots and thin rows, or tucked in here and there among large shrubs.

EXAMPLE APPLICATION OF PLANT TYPES



LANDSCAPE PLANTINGS, CONT'D.

The following is a partial list of plant materials recommended for plantings on residential properties in Edgefield. This is not intended to be complete, and there are many other species in each category which could be well used in Edgefield.

LARGE DECIDUOUS TREES

SHADE, STREET TREES

- * *Acer* spp. (Maples, various species, esp. *A. rubrum*, *A. platanoides*, *A. saccharum*)
- Carya* spp. (Hickories)
- * *Fraxinus pennsylvanica lanceolata* (Green Ash)
- Ginkgo biloba* (Ginkgo)
- * *Liriodendron tulipifera* (Tulip Poplar)
- * *Quercus* spp. (Oaks, various species, esp. *Q. coccinea*, *Q. palustris*, *Q. phellos*)
- * *Tilia cordata* (Little Leaf Linden)

SMALL DECIDUOUS TREES

FOCUS, SPECIAL INTEREST

- * *Acer* spp. (Maples, esp. *A. ginnala*, *A. palmatum*)
- Betula* spp. (Birches)
- * *Cercis canadensis* (Redbud)
- * *Cornus* spp. (Dogwoods, esp. *C. florida*, *C. kousa*)
- * *Crataegus* spp. (Hawthornes)

Koelreuteria paniculata (Varnish Tree)

Laburnum vossii (Golden Chain Tree)

* *Lagerstroemia indica* (Crepe Myrtle)

* *Malus* spp. (Flowering Crabapples, many varieties)

Prunus spp. (Flowering Cherries and Ornamental Plums, several varieties)

DECIDUOUS SHRUBS

SHRUB BORDERS, FOUNDATION PLANTINGS, HEDGES, ACCENT

- * *Acanthopanax sieboldianus*
- Berberis*, several deciduous species
- Buddleia*
- * *Cotoneaster*, several deciduous species
- * *Deutzia gracilis*, *D. lemoinei*
- * *Euonymus alatus*
- * *Forsythia*, several species and varieties
- Hydrangea*, several species
- * *Ligustrum*
- Philadelphus*, several varieties
- * *Syringa vulgaris* varieties, *S. chinensis*
- * *Viburnum*, several deciduous species

EVERGREEN TREES

SPECIAL ACCENT, SCREENING

- * *Magnolia grandiflora*
- Picea* (spruces)
- * *Pinus* (Pines, esp. *P. resinosa*, *P. strobus*)
- Thuja* (Arborvitae)
- * *Tsuga* (Hemlocks, esp. *T. canadensis*)

LANDSCAPE PLANTINGS, CONT'D.

T. caroliniana)

• EVERGREEN SHRUBS

FOUNDATION PLANTINGS, ACCENT

- * Abelia grandiflora (Glossy Abelia)
- Barberis, several evergreen species
- * Buxus (Boxwood)
- * Cotoneaster, evergreen species
- * Euonymus, several evergreen species
- Ilex (Hollies)
- * Nandina domestica (Nandina)
- * Pyracantha (Firethorn)
- Rhododendron
- * Viburnum rhytidophyllum (Leatherleaf Viburnum)

• EVERGREEN GROUNDCOVERS

FOREGROUND PLANTINGS, SHADE, SPECIAL ACCENT

- * Euonymus fortunei and its varieties
- * Hedera helix (English Ivy and its varieties)
- * Pachysandra terminalis
- * Vinca minor

• VINES

SPECIAL ACCENT, SCREENING

Numerous types of vines are of easy culture in Nashville's climate. Selection should be made on the basis of the particular planting situation and design use.

NOTE:

Those plant materials which are especially highly recommended, because of either their extended seasons of ornamental appeal or ease of culture, are indicated with an asterisk (*).

CUIDELINES FOR RENOVATION OR REPAIR

To renovate means to replace worn out or deteriorated parts of a building or to add to it. To repair means to fix or make sound parts that do not yet need to be replaced. In order to preserve the essential values of a home and to enhance existing desirable neighborhood character there are right and wrong ways to go about both renovation and repair.

What parts of a building need a resident be concerned about? First, these guidelines apply only to the exterior of the building, not the interior. The exterior is in essence a part of the community and the resident should undertake renovation or repair with this in mind. The interior is a part of the resident's own private world, and he should be able to do with it what he wishes.

Second, not all parts of the exterior have equal importance with regard to a structure's "correctness" in its neighborhood setting. The "public" portions of the building are the front facade and

street-related side facades — these should be of most concern.

There are many architectural styles in Edgefield. Each is a product of its own time and therefore different from other styles. It is impossible in the context of this report to present guidelines that relate to each specific architectural style. There are, however, general principles that apply to all styles, and which if applied to an individual situation should produce the correct and appropriate end result.

Again, it should be pointed out that the application of these guidelines need not be done in a "restoration" way — the precise replacement of original materials and detail. If this is what one wants and can afford — excellent. But if a less precise and therefore less expensive solution can be found that essentially meets the criteria established by the guidelines, that should be acceptable too. The major concern is to preserve the essential original character of the buildings.

GUIDELINES FOR RENOVATION OR REPAIR, CONT'D

Additions . . . as pointed out in the preceding section, the addition of new rooms to a home is often desirable. There should be no restrictions against this, but it should be required that additions be situated so as not to change the composition of the "public" facades of the building. Locate additions on the rear of the house, only.

Roofs . . . the original shape of a roof is an essential feature of each individual architectural style, no matter what its shape is. Do not change roof pitch or configuration to gain more space in a second story - or for any other reason. Create additional needed space as discussed under "Additions."

Dormers . . . are also essential to each building style on which they occur. Do not change the shape of a dormer or add dormers to a house that did not originally have them. If an original dormer has deteriorated and needs replacement, duplicate the original shape - though materials don't necessarily need to be exactly what was original. Follow the guidelines for "Materials" below.

Porches . . . because of their exposure to the weather, tend to be the first part of a house to deteriorate. Many porches have already been removed, and some have been replaced with new porches of inappropriate design for the house.

Porches are probably the most difficult and costly elements of houses to renovate. But care and sensitivity should be exercised in the process. First the shape - its outline, roof height and roof pitch - should be duplicated as faithfully as possible. Materials are not as important as the way in which the new porch as a whole relates to the house. Materials which differ from the original ones are acceptable as long as the end result has the same configuration as the original porch with regard to height, column location, railings, steps, etc. Fascia, column and railing details should be the same as or approximate the originals, except that they may be simplified if cost is a factor.

Enclosing porches in order to gain extra interior space presents a visual problem. A porch was originally intended to appear light and open. If it is necessary to en-

GUIDELINES FOR RENOVATION OR REPAIR, CONT'D.

close a porch, select materials that are as transparent as possible to let the original feeling of the open porch be retained.

Windows the window shape characteristic of all the older architectural styles in Edgefield is vertically rectangular — the height being greater than the width. The original sizes and shapes of window openings should not be changed. New horizontal windows or "picture" windows should not be installed; they never existed in older architecture.

If windows have deteriorated to the point that they need to be replaced, it is usually not difficult to find a virtual match at a local lumber company. Windows (usually wood) are not very expensive, even if custom sizes are needed. They can easily be adapted for insulating glass, if that is desired.

Older homes were not typically fitted with storm windows. If their installation is desired, choose wood painted the same color as the windows. If aluminum is preferred, avoid shiny raw aluminum; those with black anodized frames cost

little more and are much more compatible with the older architectural materials. The same recommendations apply to screens.

Doors if an original front door needs to be replaced — or if it has already been replaced with one which is inappropriate, choose a design which compliments the architecture. If matching the original is too expensive (even though most desirable) choose a paneled door rather than a flush door. They are usually not more expensive. Then don't install a storm/screen door that covers it all up! The same recommendations for window storms and screens apply here too.

Details the individualistic architectural style of older homes is usually due in large part to original detail. Fashioned most often in wood, this also has been subject to deterioration through weathering over the years.

Do not remove any original detail from a house if it is in good condition. Even if it is not, try to maintain it as long as possible in its original configuration. If it must be removed, don't replace it

GUIDELINES FOR RENOVATION OR REPAIR, CONT'D.

with something different. It is better to leave it off entirely than to confuse the architectural style with something new. If the budget permits, "restoration" of detail is the best approach. If an approximate match can be found, this is the next choice. If porch columns must be replaced, try to match what was original. Do not use lumber company "New Orleans" formed iron columns.

If original detail cannot be replaced, keep what is installed simple, not "fussy." Simple detail will compliment the neighborhood much better.

Materials. . . . original materials in Edgefield on all architectural styles are primarily wood, brick, stone, and terra cotta. Depending upon their age and period, roofs originally were cedar shingle, slate, metal, and even asphalt shingle (bungalows).

Masonry walls of buildings in the neighborhood are for the most part in good condition; and if not, merely need repointing.

This is not difficult and should be undertaken if needed - taking care to match original adjacent mortar color. Wood siding can be repaired fairly easily if it is deter-

iorated. Do not cover it up with a texture that was never on the house originally. If aluminum siding is felt to be necessary or desirable from a cost standpoint, do not be sold a "cover-up" job. Aluminum siding should be installed with the same "exposure" to the weather (lap dimension) as the original wood siding. This can easily be done, but must be insisted upon! And do not let surface detail be covered by the siding; the person installing it can easily cut around detail in order to preserve it.

If the house has a wood, metal or slate roof, maintain it as long as possible. If budget permits when replacing it, restore it with original material. If this is too expensive, use asphalt shingles, but be careful of color and texture. A dark color and uniform texture are usually most appropriate. Avoid anything bright or garish!

Color. . . . natural masonry materials (brick, stone and terra cotta) should be left exposed in their natural state and color. If brick is so deteriorated that it

GUIDELINES FOR RENOVATION OR REPAIR, CONT'D.

will not stand up to the weather, it can be painted. But this should be the last resort. If brick cleaning is needed, do not sand-blast! Other less destructive cleaning methods are available (detergent or mild acid with water pressure).

When repainting wood surfaces, use the color that was original to the house, if that can be determined. If this is not practical or desirable, choose a muted, earthy tone — not a bright, loud color. White was a color not commonly used in the entire last half of the nineteenth century. A color palette from which to choose should be developed by the Metropolitan Historical Commission — it should be strictly followed. An appropriate color costs no more than an inappropriate one!

GUIDELINES FOR INFILL CONSTRUCTION

Construction of new housing on vacant property should be encouraged. Because new buildings will have to be fitted in between existing older homes, they are termed "infill" structures. The emphasis must be on the new building's appropriateness to the neighborhood in the way it is designed. Inappropriate or insensitive design can have a greater negative impact on the neighborhood than almost anything else.

What is "appropriate" for the design of infill construction? The following may smack of heresy to the traditional "purist", but it is generally agreed among design professionals who work with historic preservation that new construction in an area of architecturally significant older buildings should be compatibly contemporary in design. It is virtually impossible to copy historic architecture with today's costs. And if it were done, all that would result is that the integrity of the authentic architecture would be diminished. It would, in other words, be "fake" historic architecture. Remem-

ber that the main goal in the improvement of Edgefield is to maintain desirable existing neighborhood continuity. This can best be realized with today's architecture done in a sensitive way.

As with guidelines for renovation and repair, it is impossible to derive specific guidelines for infill construction. There are many architectural styles in Edgefield and each potential new building site is flanked by at least one different style. In other words, specific guidelines probably should be developed (which respond to the features of the particular setting) for each individual project.

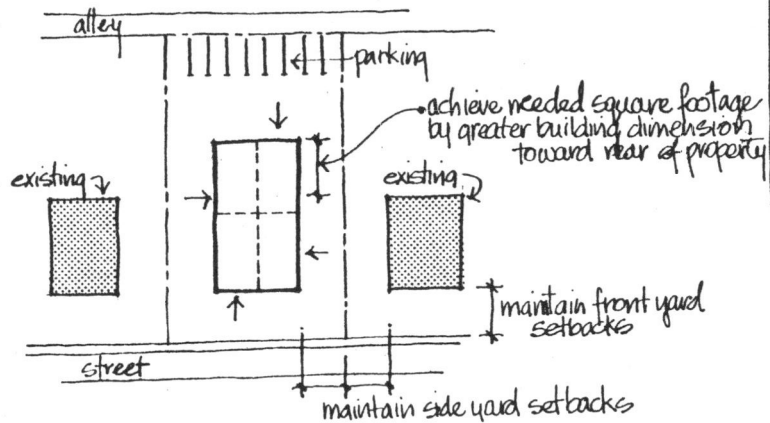
However, there are general design criteria that relate to all older buildings, and which enable more specific guidelines to be developed. Any guidelines for infill construction should be so conceived that they allow a design architect the freedom of his individual talent. But they do impose constraints which assure design compatibility with the historic architecture.

GUIDELINES FOR INFILL CONSTRUCTION, CONT'D.

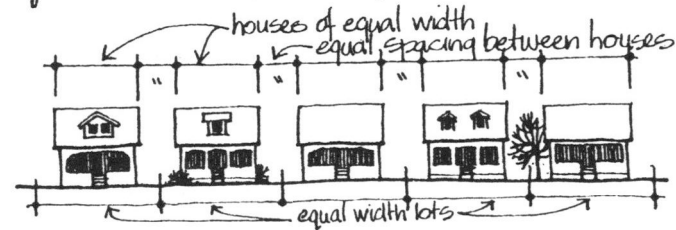
It should be stressed the good contemporary design in a historic area is not easy. It requires a great deal of talent and sensitivity. For this reason the "design review" powers of Nashville's Historic Zoning Commission are very appropriate. Along with the design review there should be coupled the requirement, if possible, that a registered architect be the designer of any project submitted for review.

General design guidelines are as follows:

General size: . . . because Edgefield is primarily a single family neighborhood, single family infill construction would be most desirable. However, because this may not be economically possible, existing homes do exist in the neighborhood that are of such a size that small multi-family units (duplex or quadruplex) could be constructed, and be compatible in scale. Quadruplex units would have to be two stories in height, and arranged with no more than two units across the front in order not to become too broad on the street facade.



Rhythm of facades. . . . because of generally uniform lot sizes and side yard setbacks, blockscapes in Edgefield are very regular with respect to facade width.

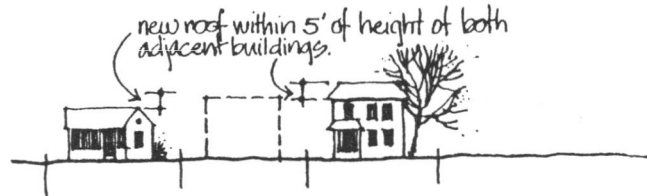


This regularity must be maintained.

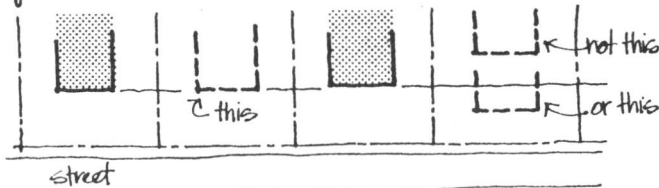
Facade height. . . . the vertical dimension to the highest point on a front facade or the peak of the roof does not vary greatly (except

GUIDELINES FOR INFILL CONSTRUCTION, CONT'D.

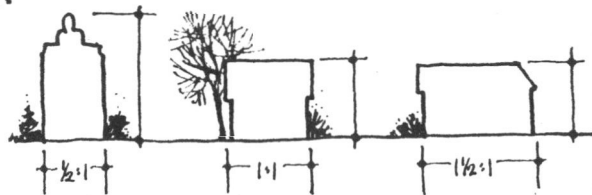
in a few widely separated instances). The poor height relationship of some "intrusions" to adjacent older houses has already been pointed out. This must be avoided with new infill construction.



Relationship of facade to street... Front yard setbacks must be maintained.



Proportion of front facades... the relationship between width and height of existing buildings should be respected in adjacent infill construction.



Relationship of roof forms... Infill buildings should not contrast greatly in roof form.



Proportion of openings... relation of width to height of adjacent buildings should be reflected in doors and windows of infill buildings.



Rhythm of openings... the ratio of window openings to wall surface should be respected.



Relationship of materials... as stated before, existing materials are primarily masonry or wood. Infill construction should respect the materials of adjacent construction, and not contrast greatly.



Color... of masonry or painted surfaces should be selected from the approved "palette" of neighborhood colors.



PROCESS OF ACCOMPLISHMENT

In a few words, this Neighborhood Design Study is a study of appearances, visual problems, and design potentials. Its purpose is to encourage change—physical improvements supportive of the character and vitality of Edgefield.

The most difficult job remains ahead—to communicate and promote neighborhood conservation. In part, this involves education. That is, Edgefield residents and others (local government, code officials, lending institutions, real estate agents) need to be made aware of design goals and neighborhood potentials. They need to be convinced to work together for revitalization.

The task of promoting will likely fall to Historic Edgefield, Inc., with the assistance of the Metropolitan Historical Commission and the Metropolitan Planning Commission. Neighborhood meetings, slide or film presentations, posters, workshops, and walking tours are all tried and true methods of heightening awareness.

Printed handouts might be generated, per-

haps copying excerpts from this report; perhaps developing a series of simple "how-to" guidelines for homeowners; or perhaps even directing maintenance ideas at renters. And, of course, the least expensive, most effective communication will be word of mouth, the day-to-day conversations between neighbors.

Along with promotion, a number of steps should be taken to encourage private investment in Edgefield. Implementation of public improvements recommended in this report would demonstrate a telling commitment to the neighborhood. Revisions in zoning would also support revitalization, both in designating an Edgefield Historic District and in decreasing allowable density.

Funding programs should be cultivated which offer assistance or incentives for private investment. This would include programs of the federal, state, and local governments, as well as private financing. One very comprehensive source of information is A Guide to Federal Programs, published in 1974 by the National Trust for Historic Preservation, along with its

PROCESS OF ACCOMPLISHMENT, CONT'D

1976 supplement.)

For example, federal funds might be used to implement a concentrated code enforcement program in concert with rehabilitation loans, helping to alleviate landlord abuses in the neighborhood. Or, Community Development Block Grants might be used to back a loan guarantee program through local banks.

It should, however, be noted that code enforcement programs and other economic upgrading in Edgefield will certainly accelerate the problem of displacement.

One possible remedy might be HUD's Housing Assistance Payments Program (Section 8) for infill as well as existing houses, particularly the less historic, more easily rehabilitated fifties and sixties structures.

The end goal of neighborhood conservation is more than good design. Rather, design is a means to the end, to a revitalized neighborhood with an enviable quality of life. Thus this study

is only a beginning for Edgefield. Now, tools must be developed to work for good design and for neighborhood goals.

DATA SOURCES

Listed below are the background information sources for this study.

Proposed General Plan for Nashville: Summary of Three Alternatives. Metro. Planning Commission, January 1977.

" " Public Economics Alternative. Metro. Planning Commission, July 1976.

" " Residential Livability Alternative. Metro. Planning Commission, July 1976.

" " Economic Development Alternative. Metro. Planning Commission, July 1976.

Nashville Urban Area Transportation Study, 1975 Annual Report. Metro. Planning Commission, 1975.

" " 1975 Annual Report Summary. Metro. Planning Commission, April 1976.

Land Use Policy Plan for Nashville - Davidson County, Tenn. Metro. Planning Commission, 1970 (1974 printing)

Inner City Blight, Analysis - Proposals. Metro. Planning Commission, Sept. 1975.

Social Types in Nashville - Davidson Co. Tenn. Metro. Planning Commission, Dec. 1976.

Zoning Regulations of the Metropolitan Government, Metro. Planning Commission, Nov. 1976.

memoranda of the Metropolitan Planning Commission re:

- Programs which are and might be available to Edgefield, 22 July 1977.
- Increasing the Amount of Federal '312' Rehabilitation Funds Available to Nashville, 6 June 1977.

Progress of the Section 8 Program, 6 June 1977.

Notes Taken at the "Neighborhood Preservation and Housing Rehabilitation Workshop" of May 20.

Proposed Strategy for Stimulating Private-Market Construction of New Housing in Community Development Treatment Areas, 10 Nov. 1976.

"Chapter No. 876, House Bill No. 7705" State enabling legislation for tax exemption of rehabilitated or historic structures. (copy) 1976.

Land Use Coding Manual, Metro. Planning Commission (copy) June 1974.

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Metro. Historical Commission, 1974.

"Emergency Repairs Available at no Charge for:" information sheet from the Community Development Emergency Rehab Program.

Federal Register, xerox copies of sections, HUD rules and regulations, 9 June 1975

" " xerox copy of Section 8, Fair Market Rents for Substantial Rehab and New Construction

Nomination Form, National Register of Historic Places, for Edgefield Historic District, prepared by David H. Paine, Metro. Historical Commission, 4 Aug. 1976.

"A New Opportunity in Mortgage Insurance", (pamphlet) Tennessee Housing Rehab Corp.

"A New Opportunity in Homeownership and Rehabilitation", (pamphlet) Tennessee Housing Rehab Corp.

"Historic Edgefield Tour, Dec. 12, 1976" (pamphlet). Ann Reynolds and David H. Paine.

Nashville Banner, copy of front page of March 23, 1916, showing boundaries of burned area in Edgefield.

xerox copies from undated (parts of) newspapers. . .

"Nashville Suspension Bridge"

history of Shelby family

maps showing locations of libraries and schools serving the Edgefield neighborhood.

trees and shrubs for Nashville's climate, communication from Metro. Planning Commission.

NATIONAL REGISTER DATA SHEET

① NAME as it appears on federal register: Miles House
 ② OTHER NAMES:
 ③ date of entry: JAN 8 1979
 ④ county code: 37

⑤ LOCATION street & number: 631 Woodland St.
 city / town: Nashville
 vicinity of: TN
 state: Davidson
 county: SE
 ⑥ NPS REGION: SE

⑦ OWNER: PRIVATE STATE MUNICIPAL COUNTY MULTIPLE FEDERAL (agency name)
 ⑧ ADMINISTRATOR:

⑨ EXISTING SURVEYS: HABS HAER NHL
 ⑩ FUNDED?: YES NO
 ⑪ CONGRESS. DISTRICT: 5
 ⑫ SOURCE of NOMINATION: STATE FEDERAL
 if state who prepared form?

⑬ WITHIN NATIONAL REGISTER HISTORIC DISTRICT?: YES, NAME: NO
 ⑭ WITHIN NATIONAL HISTORIC LANDMARK?: YES, NAME: NO
 ⑮ ACREAGE: LOCAL PRIVATE ORGANIZATION

⑯ CONDITION:
 deteriorated altered original site
 excellent ruins unaltered moved
 good unexposed reconstructed unknown
 fair unexcavated excavated
 ⑰ features:
 INTERIOR: SUBSTANTIALLY INTACT-1 SUBSTANTIALLY INTACT-2 SUBSTANTIALLY INTACT-3
 NOT INTACT-0 NOT INTACT-0
 UNKNOWN-4 UNKNOWN-5
 NOT APPLICABLE-7 NOT APPLICABLE-8
 EXTERIOR: NOT APPLICABLE-9
 ENVIRONS: NOT APPLICABLE-9

⑱ ACCESS: YES-Restricted YES-Unrestricted No Access Unknown
 ⑲ ADAPTIVE USE: YES NO
 ⑳ SAVED?: YES
 ㉑ IS PROPERTY A HISTORIC DISTRICT?: yes no

㉒ AREAS OF SIGNIFICANCE:
 ARCHEOLOGY-prehistoric-2 COMMERCE-6 ENTERTAINMENT-26 LANDSCAPE ARCH.-15 POLITICS/GOVT.-21 RECREATION-28
 ARCHEOLOGY-historic-1 COMMUNICATIONS-7 EXPLORATION-12 LAW-16 RELIGION-22 SETTLEMENT-29
 AGRICULTURE-3 CONSERVATION-8 HEALTH-27 MILITARY-18 SCIENCE-23 URBAN PLANNING-31
 ARCHITECTURE-4 ECONOMICS-9 INDUSTRY-13 MUSIC-19 SOCIAL/HUMANITARIAN-24 OTHER (SPECIFY)
 ART-5 EDUCATION-10 INVENTION-14 PHILOSOPHY-20 TRANSPORTATION-25
 ㉓ CLAIMS: explain
 'first'
 'oldest'
 'only'

㉔ functions: WHEN HISTORICALLY SIGNIFICANT: CURRENTLY:
 ㉕ dates of initial construction: major alterations: historic events:
 ㉖ ETHNIC GROUP ASSOCIATION

㉗ architectural style(s):
 ㉘ architect:
 ㉙ master builder:
 ㉚ engineer:

㉛ landscape architect / garden designer:
 ㉜ interior decorator:
 ㉝ artist:
 ㉞ artisan:
 ㉟ builder/contractor:

㊱ NAMES give role & date
 PERSONAL:
 EVENTS:
 INSTITUTIONAL:

㊲ NATIONAL REGISTER WRITE-UP