

OFF STREET PARKING LOT

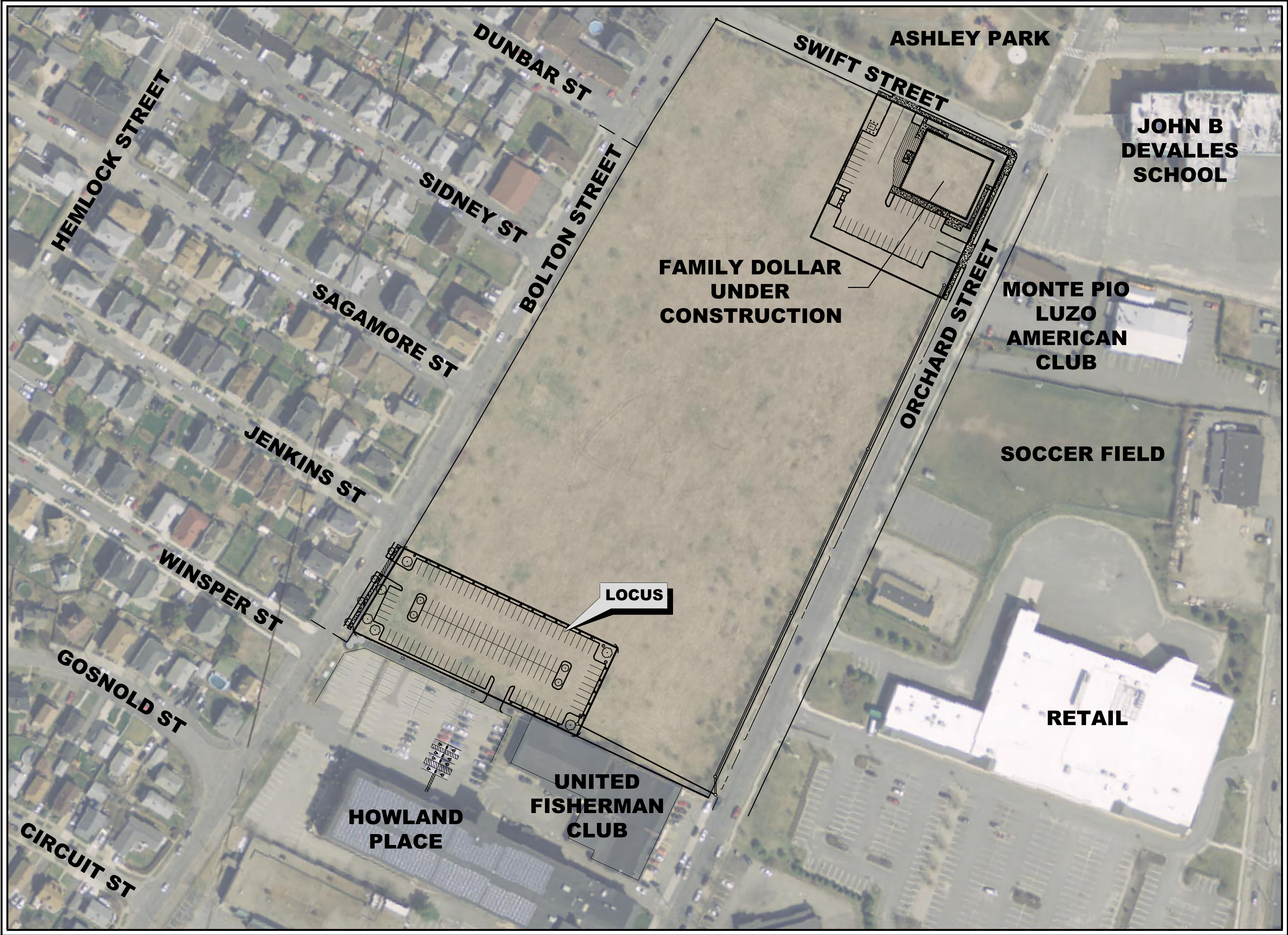
BOLTON STREET

NEW BEDFORD, MASSACHUSETTS

SITE PLAN

ZONING SUMMARY			
ZONING: MIXED USE BUSINESS			
CRITERIA	EXISTING	REQUIRED	PROVIDED
LOT AREA (SF)	44,645± S.F.	0	44,645± S.F.
LOT WIDTH (FT)	134'	0	134'
# OF DWELLING UNITS	0	0	0
TOTAL GROSS FLOOR AREA (SF)	0	N/A	N/A
RESIDENTIAL GROSS FLOOR AREA (SF)	0	N/A	N/A
NON-RES GROSS FLOOR AREA (SF)	0	N/A	N/A
MAXIMUM BUILDING HEIGHT (FT)	0	100	N/A
FRONT SETBACK (FT)	0	0	N/A
SIDE SETBACK (FT)	0	10	N/A
SIDE SETBACK (FT)	0	12	N/A
REAR SETBACK (FT)	0	10	N/A
MAX. LOT COVERAGE BY BLDG (% OF LOT)	0	100	0
PERMEABLE OPEN SPACE (% OF LOT)	100	0	19%
GREEN SPACE (% OF LOT)	100	0	19%
OFF-STREET PARKING SPACES	0	0	119
VAN ACCESSIBLE HC SPACES	0	1	2*
HANDICAP SPACES	0	5	5*
LONG TERM BICYCLE PARKING SPACES	0	0	0
SHORT TERM BICYCLE PARKING SPACES	0	0	0
LOADING BAYS	0	0	0

*REQUIRED HANDICAP SPACES HAVE BEEN PROVIDED ON EXISTING PARKING LOTS



SCHEDULE OF DRAWINGS

ALL PLANS DATED AUGUST 25, 2017

SHEET NUMBER	PLAN TITLE
-	COVER SHEET
EX-1	EXISTING CONDITIONS AND DEMOLITION PLAN
LO-1	OVERALL SITE LAYOUT PLAN
GD-1	GRADING AND DRAINAGE / LAYOUT PLAN
LS-1	LANDSCAPE AND LIGHTING PLAN
EC-1	EROSION CONTROL PLAN
D-1 TO D-2	DETAIL SHEETS

DEVELOPMENT TEAM

FUNCTION	TEAM MEMBER
DEVELOPER	HOWLAND PLACE REALTY TRUST 651 ORCHARD STREET SUITE 200 NEW BEDFORD, MA. 02744
SITE DESIGN ENGINEER	PRIME ENGINEERING, INC. P.O. BOX 1088 LAKEVILLE, MA 02347
CURRENT OWNER	CLARK COVE DEVELOPMENT CO, LLC 651 ORCHARD ST, SUITE 200 NEW BEDFORD, MA. 02744

PREPARED BY:

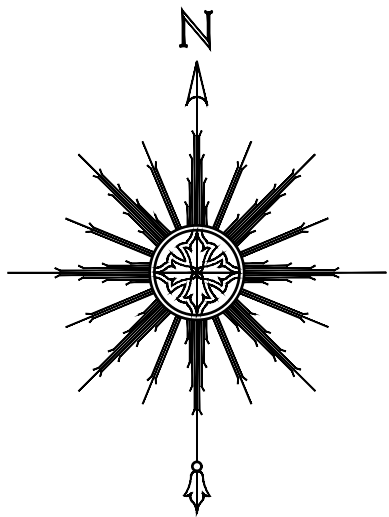


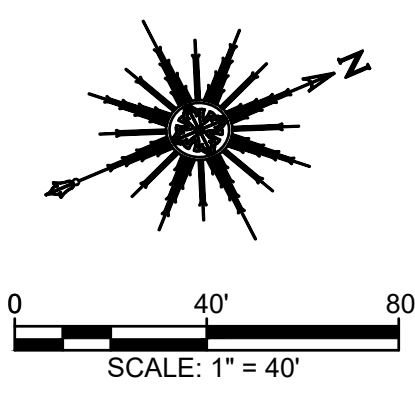
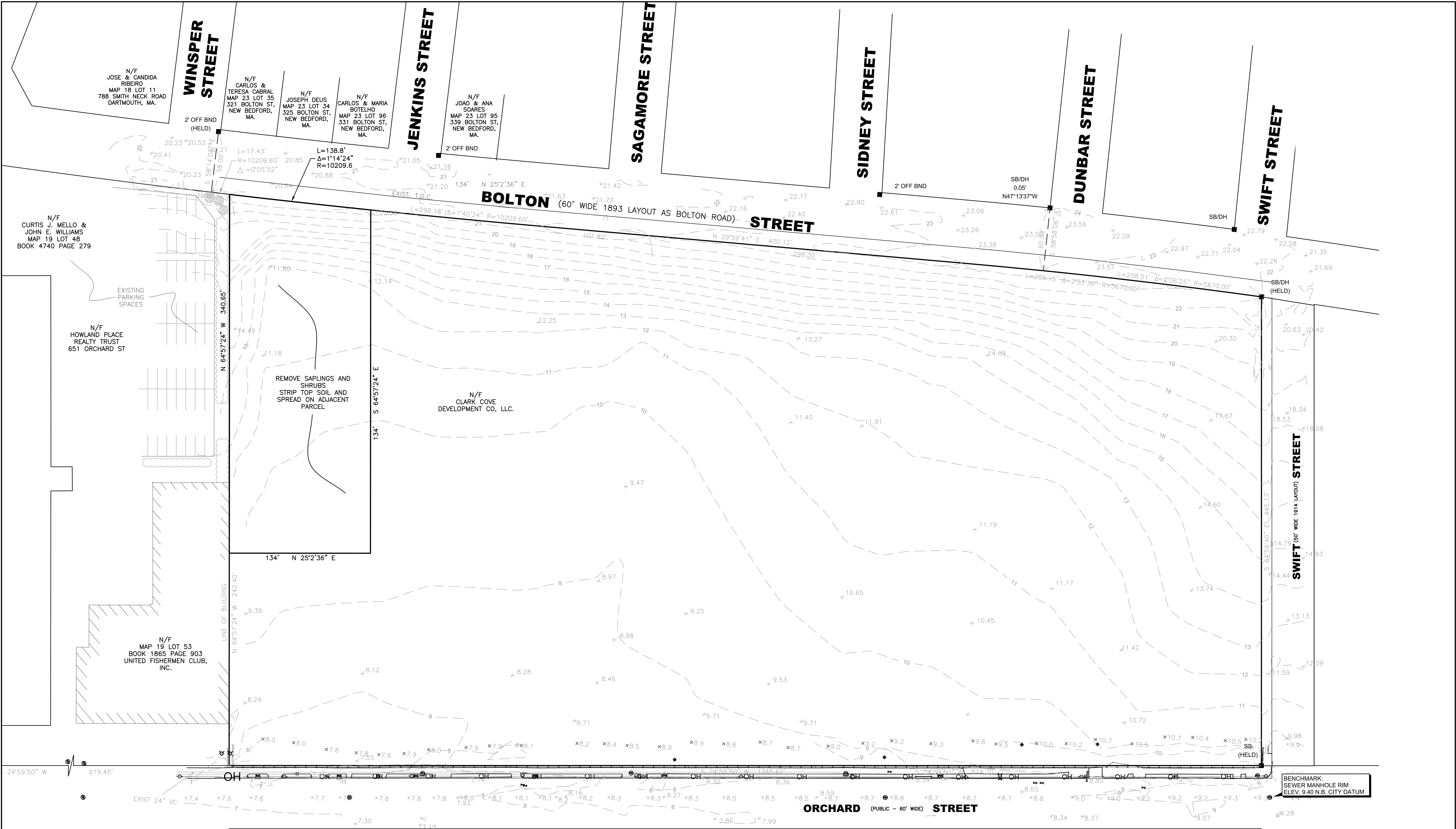
CIVIL ENGINEERING—LAND SURVEYING—ENVIRONMENTAL ASSESSMENT
P.O. BOX 1088, 350 BEDFORD STREET, LAKEVILLE, MA 02347
TEL: 508.947.0050 FAX: 508.947.2004

NEIGHBORHOOD LOCUS PLAN
SCALE: 1"=100'
AUGUST 25, 2017

SITE LOCUS IS REFERENCED AS NEW BEDFORD ASSESSOR'S MAP 23M LOT 1 AND LOT 158. SEE BOOK 7223/ PAGE 263 RECORDED IN THE BRISTOL COUNTY REGISTRY OF DEEDS, IN NEW BEDFORD.

THE SITE IS LOCATED IN THE MIXED USE BUSINESS ZONING DISTRICT



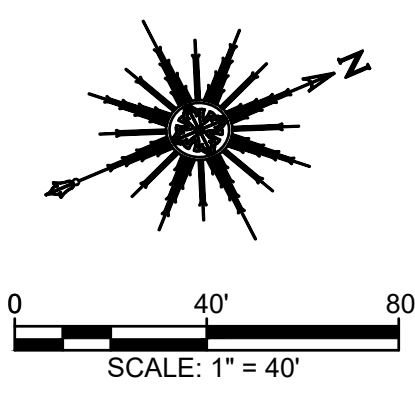


DRAWING TITLE EXISTING CONDITIONS AND DEMOLITION PLAN				SCALE: 1" = 40'	
PROJECT ORCHARD STREET NEW BEDFORD, MASSACHUSETTS				DATE: AUG 25, 2017	
CLIENT HOWLAND PLACE REALTY TRUST NEW BEDFORD, MASSACHUSETTS				DRAWN BY: D.J.S.	
DESIGNED BY: R.J.R.				CHECKED BY: R.J.R.	
APPROVED BY: R.J.R.				SHEET NO. EX-1	
PROJECT NO. 0905-10-03				PROJECT NO. 0905-10-03	

• CIVIL ENGINEERING
• LAND SURVEYING
• ENVIRONMENTAL ASSESSMENT

PRIME ENGINEERING

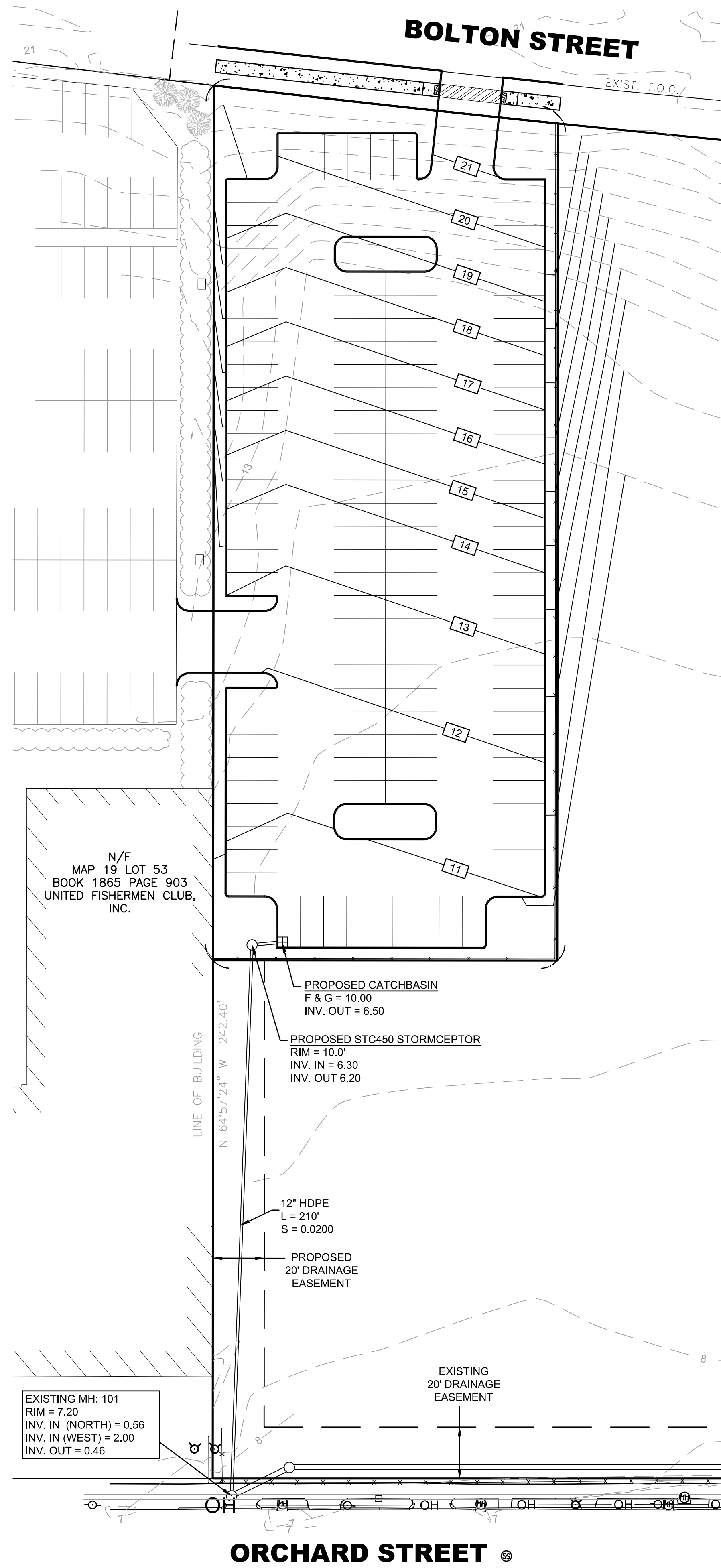
P.O. BOX 1088
330 BEDFORD ST.
LAKEVILLE, MA 02347
TEL: 508.947.0050
FAX: 508.947.2004



DRAWING TITLE				SCALE: 1" = 40'	
PROJECT				DATE: AUG 25, 2017	
CLIENT				DRAWN BY: DJLS	
DESIGNED BY: RJR				CHECKED BY: RJR	
APPROVED BY: RJR				SHEET NO. LO-1	
PROJECT NO. 0905-10-03				PROJECT NO. 0905-10-03	

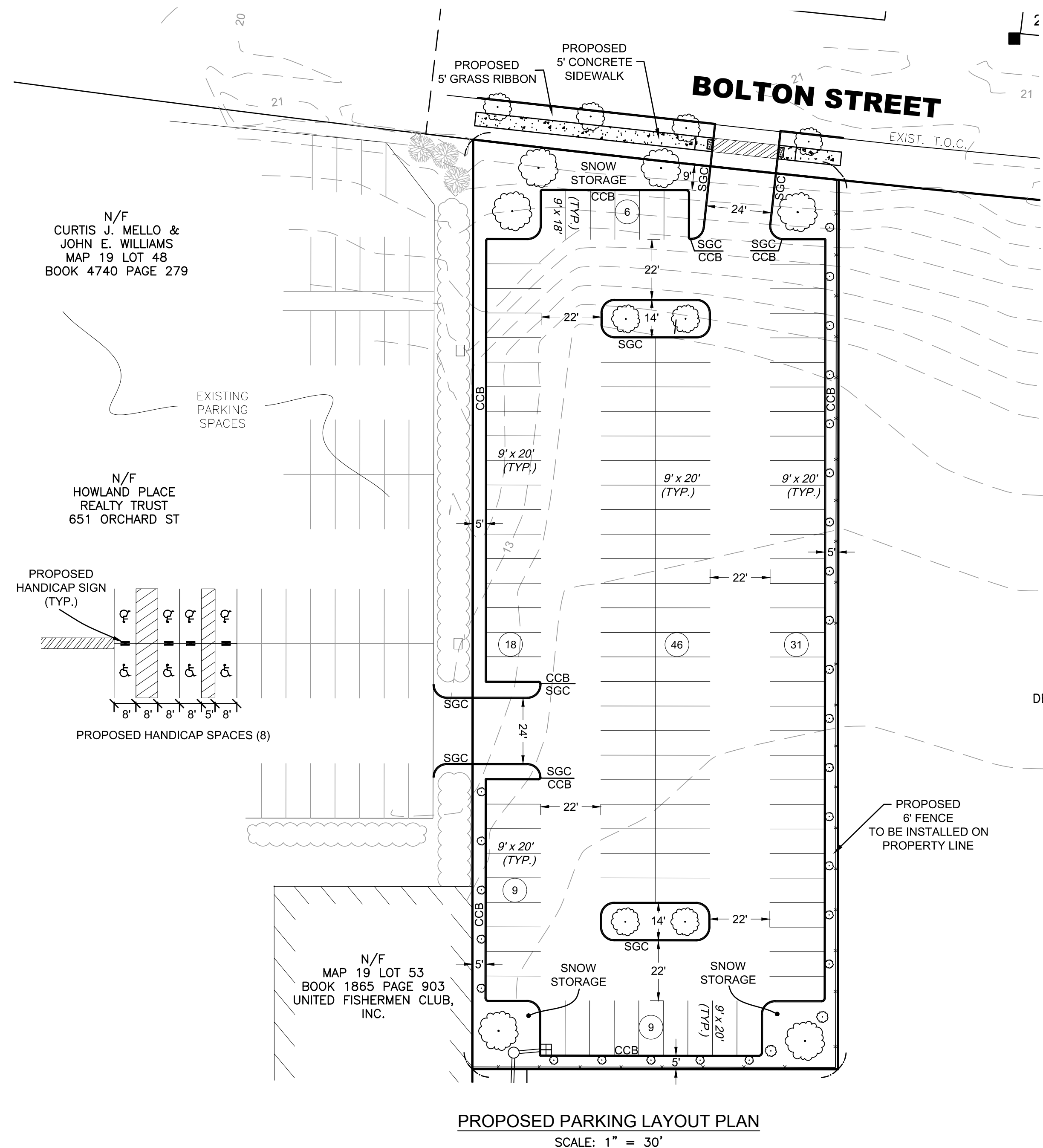
• CIVIL ENGINEERING		P.O. BOX 1088 330 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004
• LAND SURVEYING		
• ENVIRONMENTAL ASSESSMENT		

O:\PROJECTS\New Bedford\Orchard Streets\45 Orchard Street - Former Goodyear Tire - Howland Place Realty Trust\FAMILY DOLLAR STORE - HUNT REAL ESTATE\Parking Layout BASE.dwg



ORCHARD STREET

GRADING AND DRAINAGE PLAN
SCALE: 1" = 30'

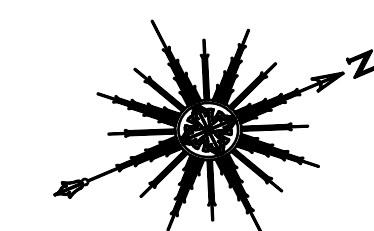


PROPOSED PARKING LAYOUT PLAN
SCALE: 1" = 30'

- NOTES:
1. THERE ARE 131 PARKING SPACES IN THE EXISTING PARKING LOT AT HOWLAND PLACE. THERE ARE 119 PARKING SPACES PROPOSED FOR A TOTAL OF 250 PARKING SPACES. SEVEN HANDICAP SPACES ARE REQUIRED. EIGHT HANDICAP SPACES ARE PROPOSED.
 2. THE CONTRACTOR SHALL OBTAIN A STREET DISTURBANCE AND OBSTRUCTION PERMIT PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.
 3. DEVELOPER AND SITE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF PUBLIC INFRASTRUCTURE PRIOR TO THE START OF CONSTRUCTION.
 4. ANY MINOR MODIFICATION (AS DETERMINED BY THE CITY ENGINEER) TO THE INFORMATION SHOWN ON THE APPROVED SITE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER AS A MINOR PLAN REVISION FOR APPROVAL PRIOR TO THE WORK BEING PERFORMED.
 5. ANY WORK AND MATERIAL WITHIN THE CITY RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF NEW BEDFORD REQUIREMENTS.
 6. ALL HANDICAP PARKING, RAMPS, AND ACCESS SHALL CONFORM TO AAB & MAAB REQUIREMENTS.
 7. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. (REFER TO EROSION CONTROL PLAN)
 8. ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO MUTCD REQUIREMENTS
 9. THE TOTAL PROPOSED OFF STREET PARKING AREA IS 44,645 ± S.F.

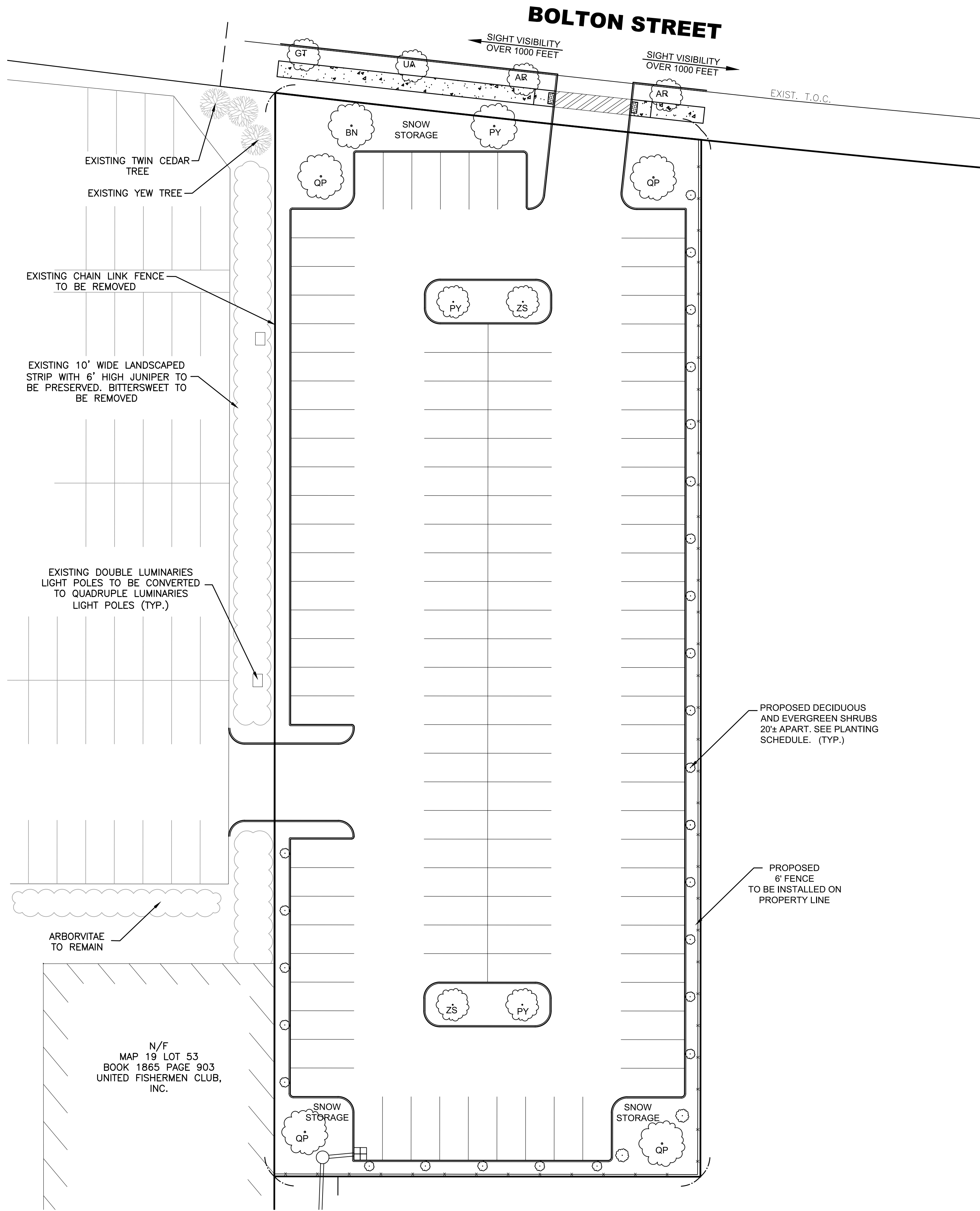
LEGEND

CCB - CAPE COD BERM
SGC - SLOPED GRANITE CURB



0 30' 60'
SCALE: 1" = 30'

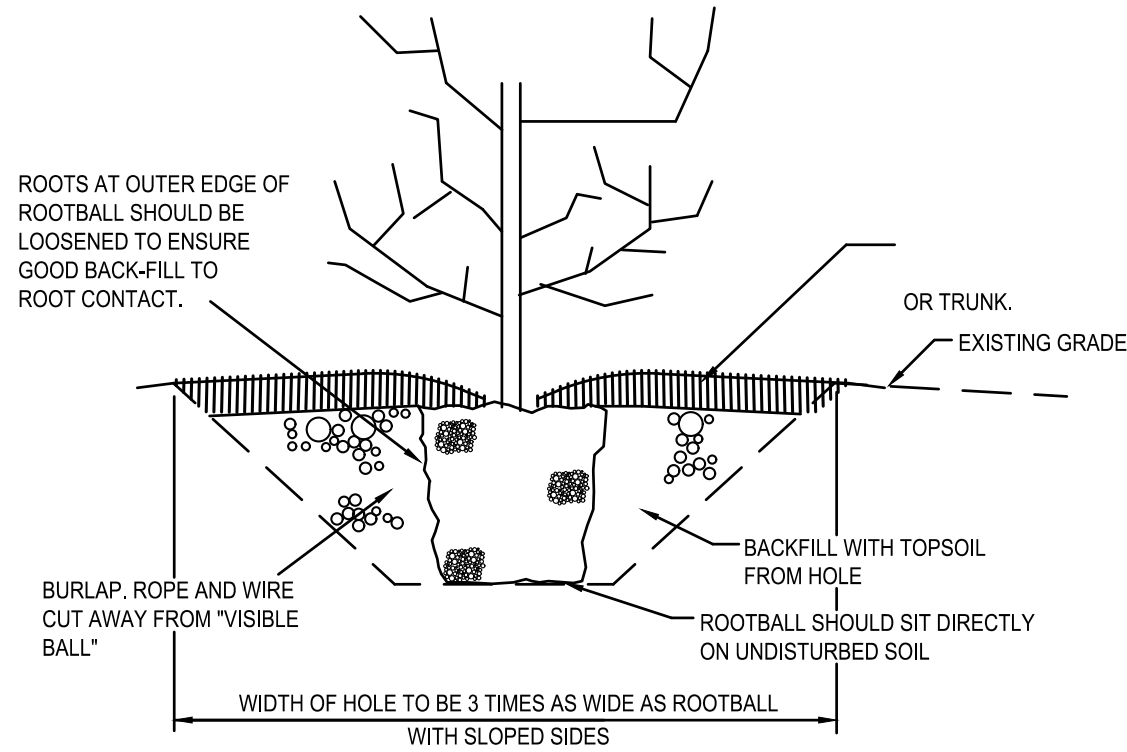
						DRAWING TITLE			SCALE:					
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						PROJECT			DATE:					
						ORCHARD STREET NEW BEDFORD, MASSACHUSETTS			AUG 25, 2017					
						CLIENT			DRAWN BY:					
						HOWLAND PLACE REALTY TRUST NEW BEDFORD, MASSACHUSETTS			D.J.I.S					
									DESIGNED BY:					
									RJR					
						• CIVIL ENGINEERING • LAND SURVEYING • ENVIRONMENTAL ASSESSMENT 			CHECKED BY:			SHEET NO.		
									RJR			GD-1		
									APPROVED BY:			PROJECT NO.		
									RJR			0905-10-03		
			</											



PLANTING SCHEDULE

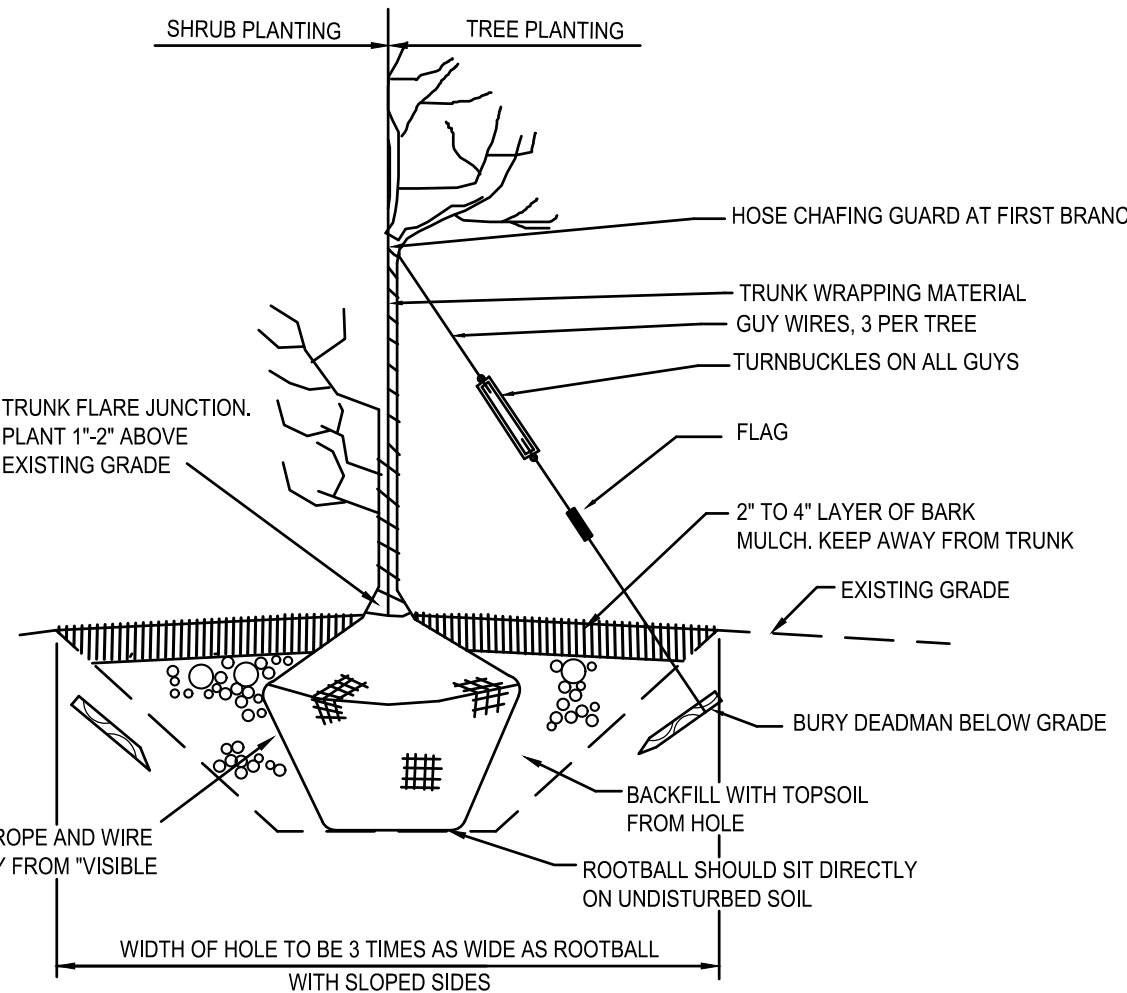
DECIDUOUS TREES				
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QT.
BN	BETULA NIGRA HERITAGE CLUMP	HERITAGE RIVER CLUMP BIRCH	6"	1
UA	ULMUS AMERICANA VALLEY FORGE	VALLEY FORGE ELM	2.5" CAL	1
QP	QUERCUS PALUSTRIS	PIN OAK	2.5" CAL	4
AR	ACER RUBRUM RED SUNSET	RED SUNSET SWAMP MAPLE	2.5" CAL	2
PY	PRUNUS YEDOENSIS	YASHINO CHERRY	2.5" CAL	3
GT	GLEDTISIA TRIACANTHOS INER SHADEMASTER	SHADEMASTER LOCUST	2.5" CAL	1
ZS	ZELKOVA SERRATA VILLAGE GREEN	ZELKOVA	2.5" CAL	2

SHRUBS			
JP	JUNIPERUS PROCUMBENS 'NANA'	DWARF JAPANESE GARDEN JUNIPER	15'
IG	ILEX GLABA COMPACTA	INKBERRY	15'
JH	LLEY CRENATA JERSEY PINNACLE	JAPANESE HOLLY JERSEY PINNACLE	3'-4'
M P	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	18"
SJ	JUNIPERUS CHINENSIS	SEAGREEN JUNIPER	18"
SM	SPRIAEA MIXED VARIETY:	MIXED SPRIAEA	
	SPRIAEA BULMALDA ANTHONY WATERER	ANTHONY WATERER	18"
	SPRIAEA FLAMING MOUND	FLAMING MOUND	18"
	SPRIAEA BULMALDA GOLD FLAME	GOLD FLAME	18"
	SPRIAEA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS	18"



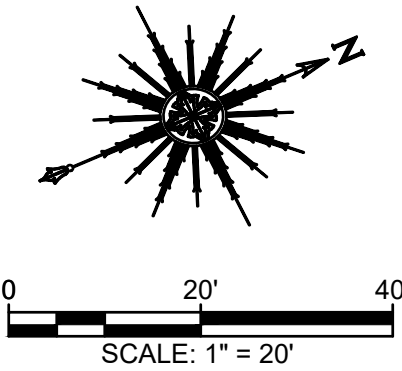
CONTAINER GROWN SHRUB AND
TREE PLANTING DETAIL

NOT TO SCALE



B&B TREE AND SHRUB
PLANTING DETAIL

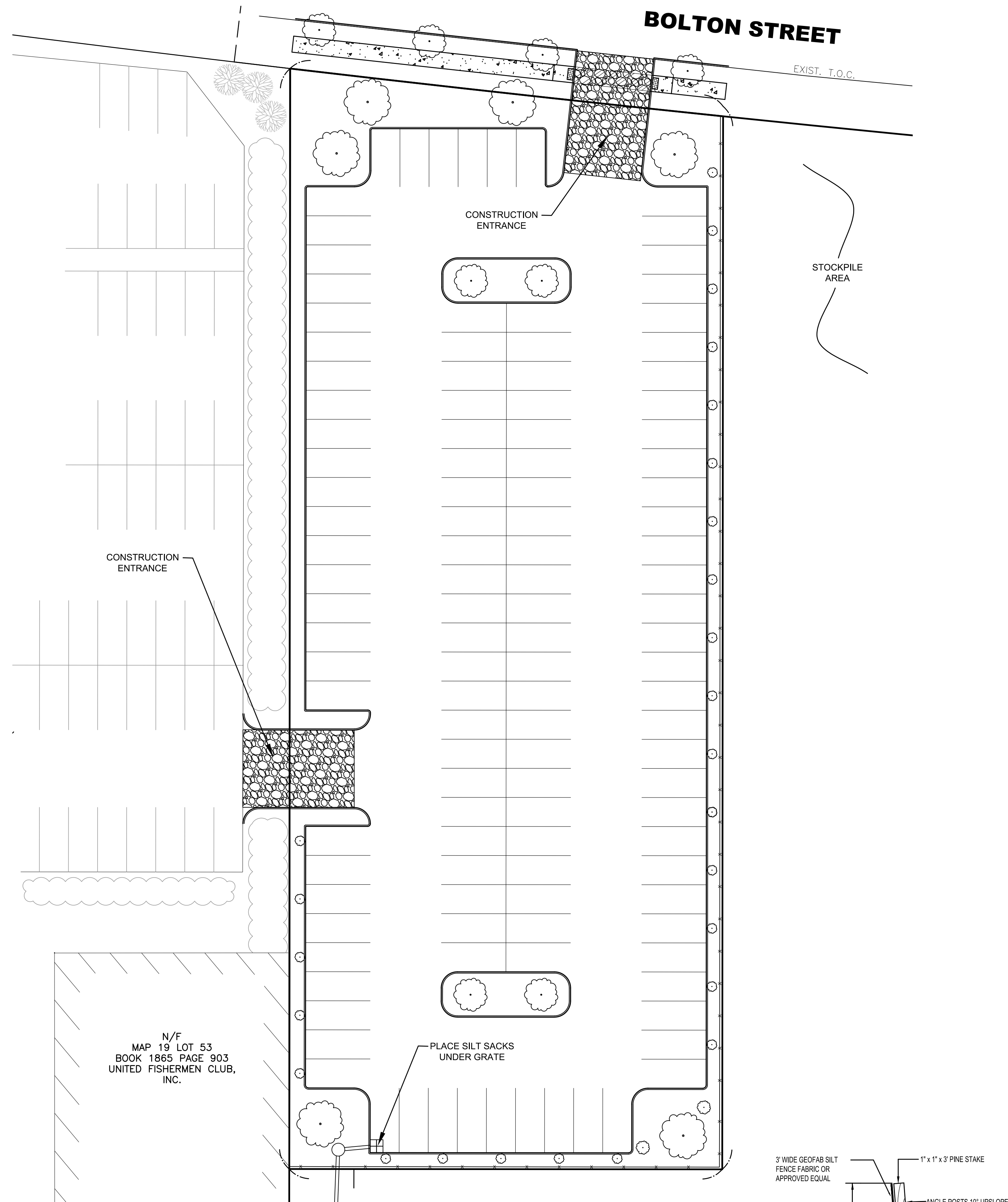
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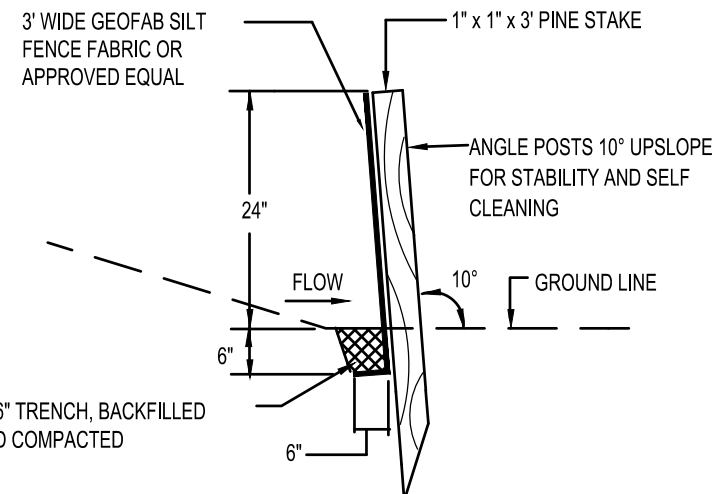
DRAWING TITLE				SCALE: 1" = 20'	SHEET NO. LS-1
PROJECT				DATE: AUG 25, 2017	
CLIENT				DRAWN BY: DJLS	
DESIGNED BY: RJR				CHECKED BY: RJR	
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT				APPROVED BY: RJR	PROJECT NO. 0905-10-03



P.O. BOX 1088
350 BEDFORD ST.
LAKEVILLE, MA 02347
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FAX: 508.947.2004



- NOTES:
1. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.
 2. EROSION CONTROL BMP'S SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.
 3. MAINTENANCE SPECIFICATIONS FOR ALL PROPOSED EROSION AND SEDIMENTATION CONTROLS.



SILT FENCE DETAIL
NOT TO SCALE

EROSION & SEDIMENT CONTROL NOTES:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND PREVENT SEDIMENTATION WITHIN 25' OF RESOURCE AREAS OR OFFSITE PROPERTIES. IT IS INTENDED THAT THE IMPLEMENTATION OF THE FOLLOWING MEASURES WILL MEET THIS GOAL. WHEN IT IS CLEAR TO THE DESIGNER THAT EROSION AND SEDIMENTATION HAVE BEEN ADEQUATELY CONTROLLED WITHOUT THE IMPLEMENTATION OF EVERY MEASURE, ADDITIONAL MEASURES NEED NOT BE IMPLEMENTED. ALTERNATIVELY, IF ALL OF THE FOLLOWING MEASURES HAVE BEEN IMPLEMENTED AND THE CONTROL OF EROSION AND SEDIMENTATION IS INADEQUATE, THE CONTRACTOR MUST EMPLOY SUFFICIENT SUPPLEMENTAL MEASURES BEYOND THE SCOPE OF THIS PLAN.

1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
3. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE OWNER OR AGENTS OF THE OWNER.
4. CATCH BASINS WILL BE PROTECTED WITH HAYBALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED. SILT SOCKS SHOULD BE INSTALLED UNDER GRATE OPENING UNTIL PAVEMENT IS IN PLACE AND GROUND SURFACE IS STABILIZED.
5. SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:

KENTUCKY BLUE GRASS	45%
CREeping RED FESCUE	45%
PERENNIAL RYEGRASS	10%

SEED TO BE APPLIED AT A RATE OF 4 LBS./1000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 15. AFTER OCTOBER 15, AREAS WILL BE STABILIZED WITH HAYBALE CHECK, FILTER FABRIC, OR WOODCHIP MULCH, AS REQUIRED, TO CONTROL EROSION.

6. AREAS THAT ARE NOT THE LOCATION OF ACTIVE CONSTRUCTION WHICH ARE TO BE LEFT BARE FOR OVER ONE MONTH BEFORE FINISHED GRADING AND SEEDING IS ACHIEVED, SHALL BE MULCHED OR RECEIVE TEMPORARY STABILIZATION SUCH AS JUTE NETTING OR SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYEGRASS APPLIED TO A RATE OF 2 LBS./1,000 SQ. FT. LIMESTONE (EQUIVALENT TO BE 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE OF 90 LBS./1,000 SQ. FT. PLANTING SEASONS SHALL BE APRIL 1 TO JUNE 1 AND AUGUST 1 TO OCTOBER 1. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR--DRIED WOOD CHIP MULCH, FREE OF COARSE MATTER.

7. AT ALL PROPOSED FILL AREAS WHICH ARE NOT CURRENTLY SHOWN ON THESE PLANS, THE CONTRACTOR SHALL ESTABLISH AN EROSION CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) ABOUT TEN (10') FEET FROM TOE TO SLOPE OF PROPOSED FILL AREAS PRIOR TO BEGINNING FILL INSTALLATION. STABILIZATION OF SLOPES IN FILL AREAS (USING MULCH OR GRASS) SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMMENCEMENT OF FILL INSTALLATION.

8. STABILIZATION OF SLOPES IN CUT AREAS (USING MULCH OR GRASS) AND THE INSTALLATION OF CONTROL LINE (HAYBALE CHECK OR FILTER FABRIC) AT THE TOE OF SLOPE SHALL BE INITIATED WITHIN THIRTY (30) DAYS OF COMPLETION.

9. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN. ALL HAYBALES OR SILT FENCE RETAINING SEDIMENT OVER 1/2 THEIR HEIGHT SHALL HAVE THE SEDIMENT REMOVED AND ALL DAMAGED EROSION CONTROLS SHALL BE REPAIRED OR REPLACED.

10. CONTRACTOR WILL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE PLANNING BOARD OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

11. THE CONTRACTOR SHALL VERIFY IN THE FIELD THAT THE CONTROLS REQUIRED BY THIS PLAN ARE PROPERLY INSTALLED. SHALL MAKE INSPECTION OF SUCH FACILITIES NOT LESS FREQUENTLY THAN EVERY 14 DAYS OR AFTER A RAINFALL IN EXCESS OF 1/2 INCH, WHICHEVER OCCURS FIRST. THE INSPECTION REPORTS SHALL BE SUBMITTED TO THE PLANNING DEPARTMENT AND CONSERVATION COMMISSION OFFICE ON A MONTHLY BASIS.

12. STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH. IF SOIL STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAYBALES. SIDE SLOPES SHALL NOT EXCEED 2:1.

13. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO SPRINKLING OF WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC.

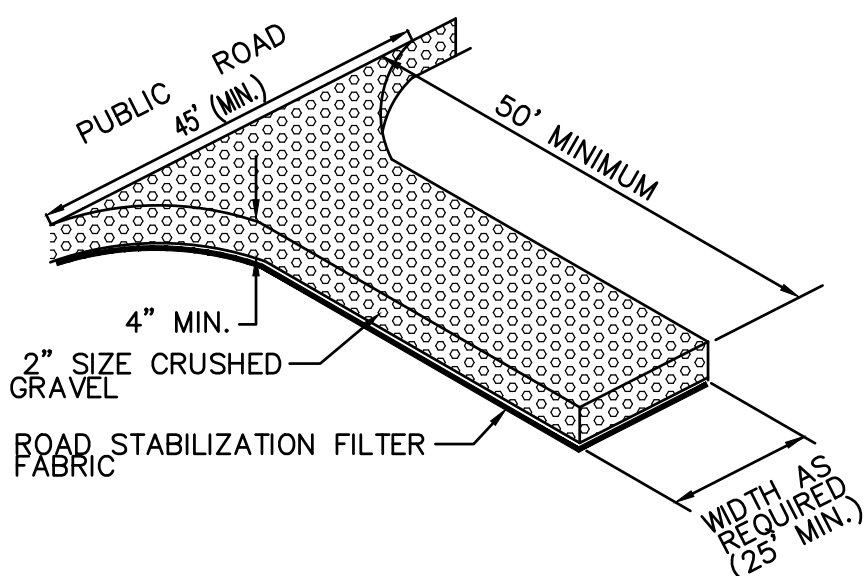
14. WHERE DEWATERING IS NECESSARY, THERE SHALL NOT BE A DISCHARGE DIRECTLY INTO WETLANDS OR WATERCOURSES. PROPER METHODS AND DEVICES SHALL BE UTILIZED TO THE EXTENT PERMITTED BY LAW, SUCH AS PUMPING WATER INTO A TEMPORARY SEDIMENTATION BOWL, PROVIDING SURGE PROTECTION AT THE INLET AND THE OUTLET OF PUMPS, OR FLOATING THE INTAKE OF THE PUMP, OR OTHER METHODS TO MINIMIZE AND RETAIN THE SUSPENDED SOLIDS. IF A PUMPING OPERATION IS CAUSING TURBIDITY PROBLEMS, SAID OPERATION SHALL CEASE UNTIL SUCH TIME AS FEASIBLE MEANS OF CONTROLLING TURBIDITY ARE DETERMINED AND IMPLEMENTED. SAID DISCHARGE POINTS SHALL BE LOCATED OVER 100 FEET FROM THE DELINEATED WETLANDS AS INDICATED ON THIS PLAN.

15. SILT SACKS OR OTHER EQUIVALENT ARE TO BE PLACED IN THE FIRST DOWNSTREAM CATCH BASINS FROM THE SITE.

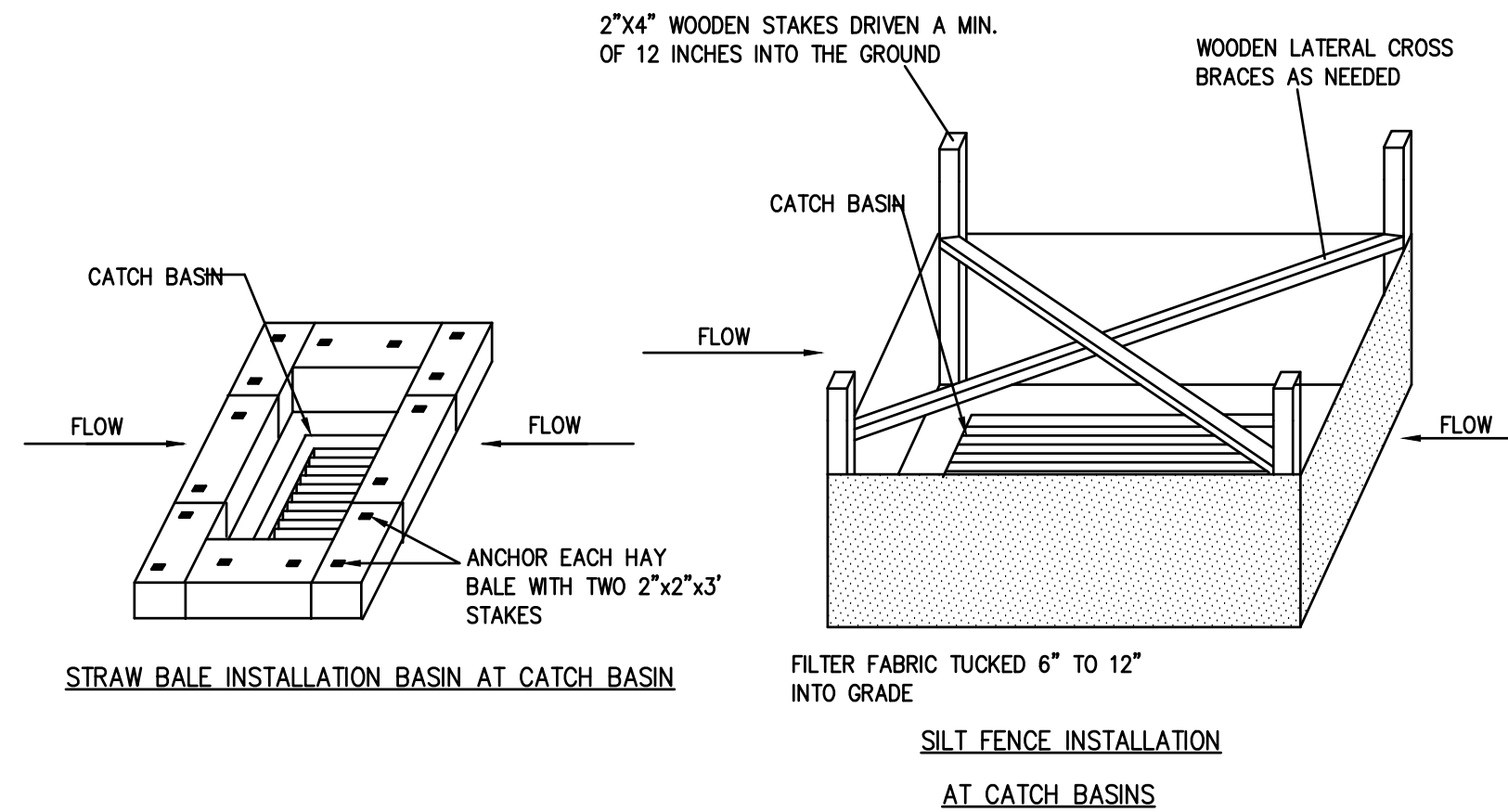
16. ALL BMP EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO DEMOLITION OR ANY SITE WORK.

17. EROSION CONTROL BMPS SHALL CONFORM TO US EPA, NPDES, MA DEP AND MASSACHUSETTS EROSION AND SEDIMENTATION CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS.

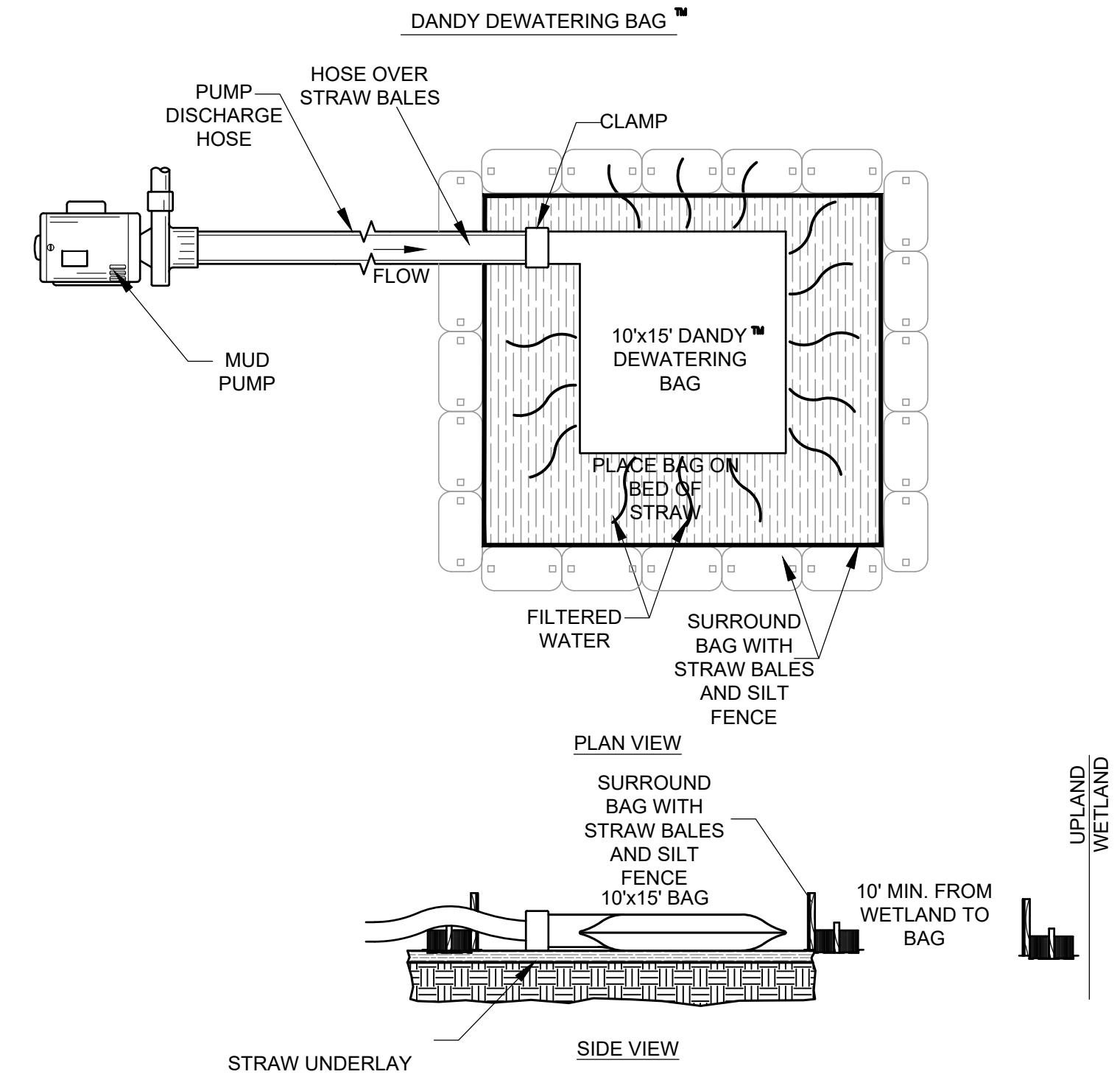
18. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL THE SITE HAS BEEN FULLY STABILIZED. THE MAINTENANCE SHALL INCLUDE REPLACEMENT OF THE BMP IF NECESSARY.



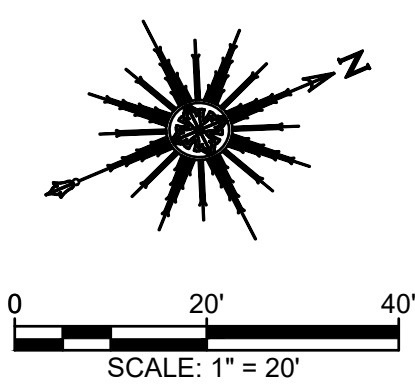
CONSTRUCTION ENTRANCE
NOT TO SCALE



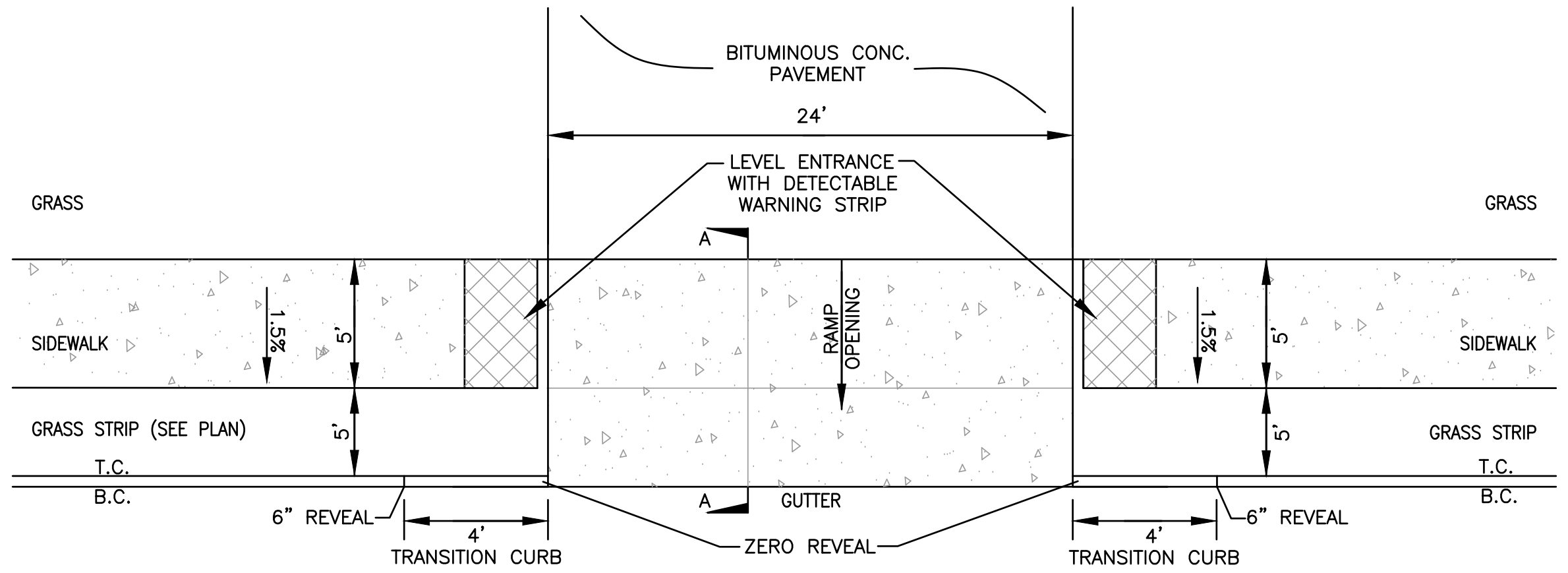
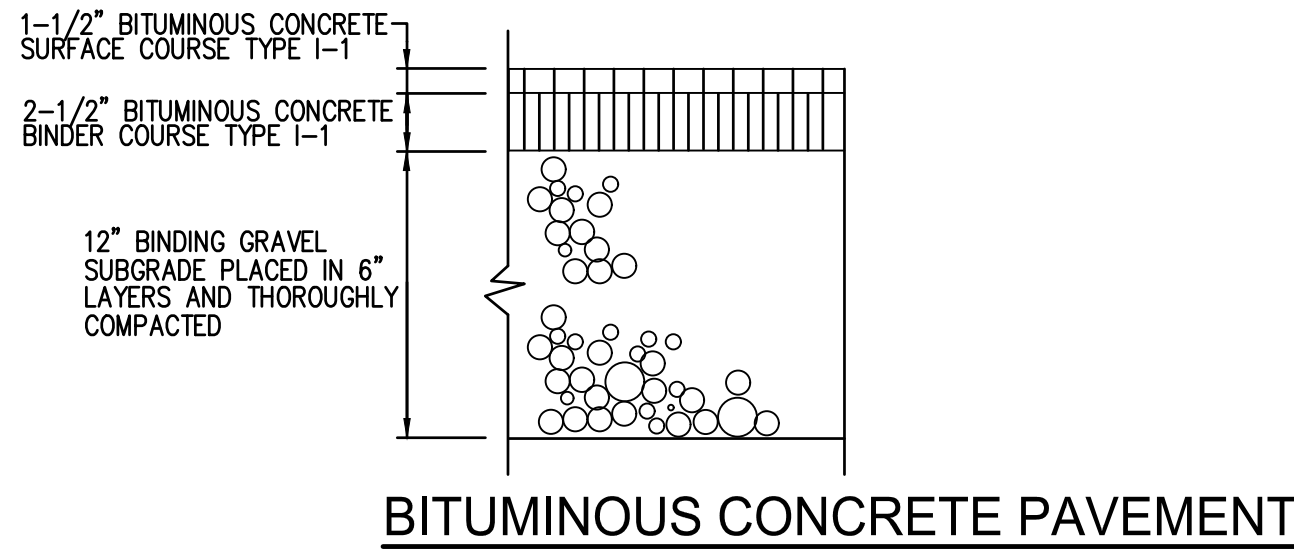
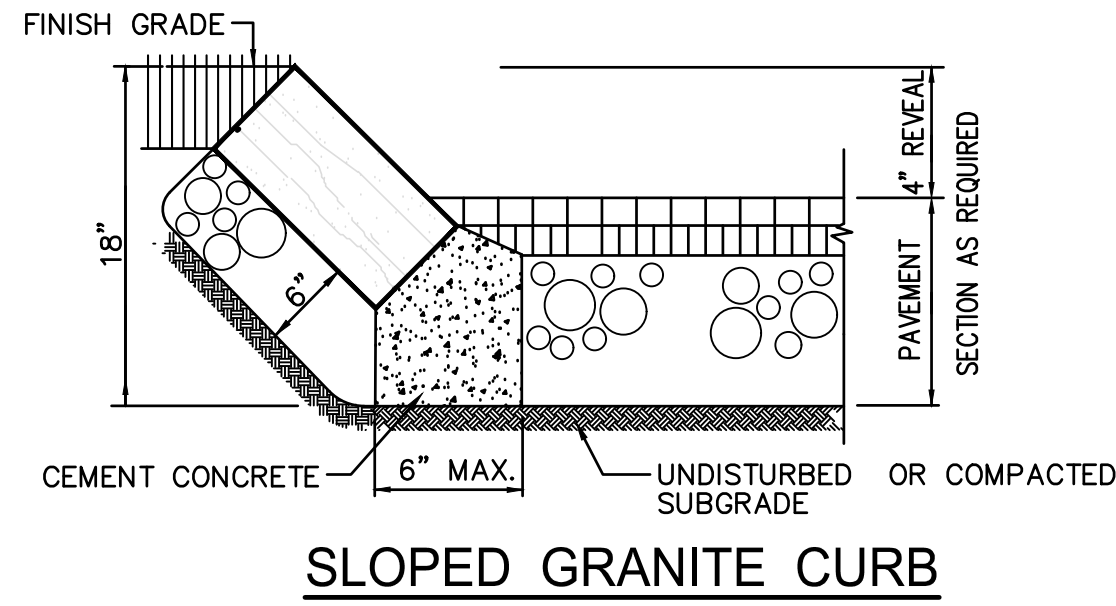
SEDIMENT AND EROSION CONTROL AT CATCH BASINS
TO BE INSTALLED IF SPECIFIED BY FIELD ENGINEER
NOT TO SCALE



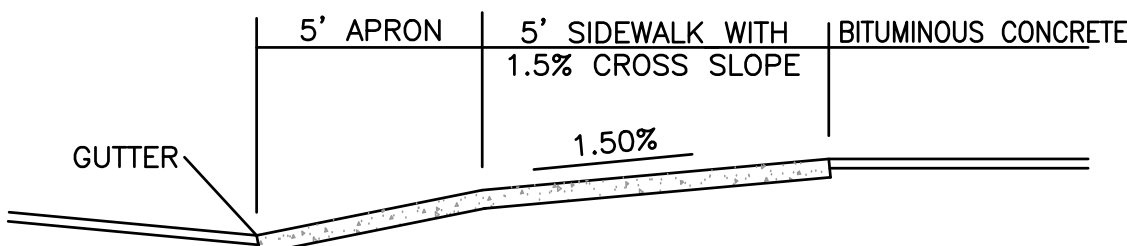
DEWATERING BAG DETAIL
NOT TO SCALE



DRAWING TITLE					SCALE: 1" = 20'	
PROJECT					DATE: AUG 25, 2017	
CLIENT					DRAWN BY: DJLS	
CLIENT					DESIGNED BY: RJR	
CIVIL ENGINEERING LAND SURVEYING ENVIRONMENTAL ASSESSMENT					CHECKED BY: RJR	
P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004					APPROVED BY: RJR	
PRIME ENGINEERING INC.					SHEET NO. EC-1	
REV. DATE DESCRIPTION BY APP.					PROJECT NO. 0905-10-03	

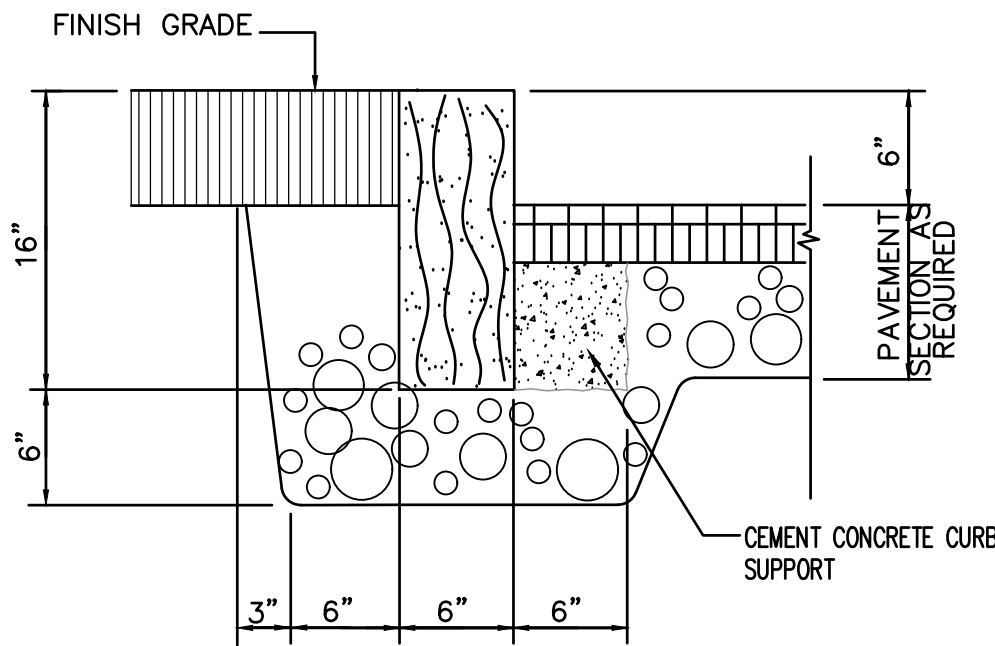


PLAN

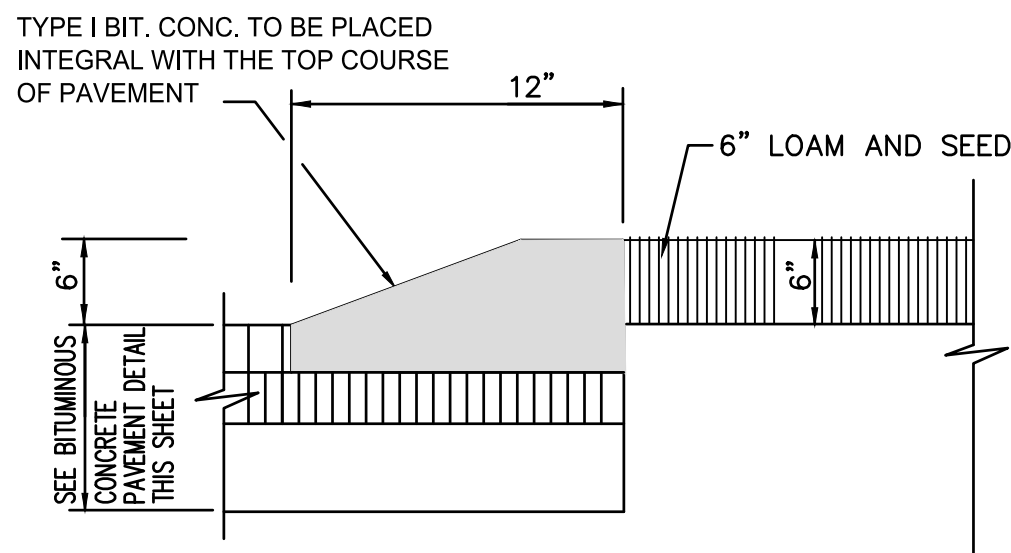


CROSS SECTION A-A

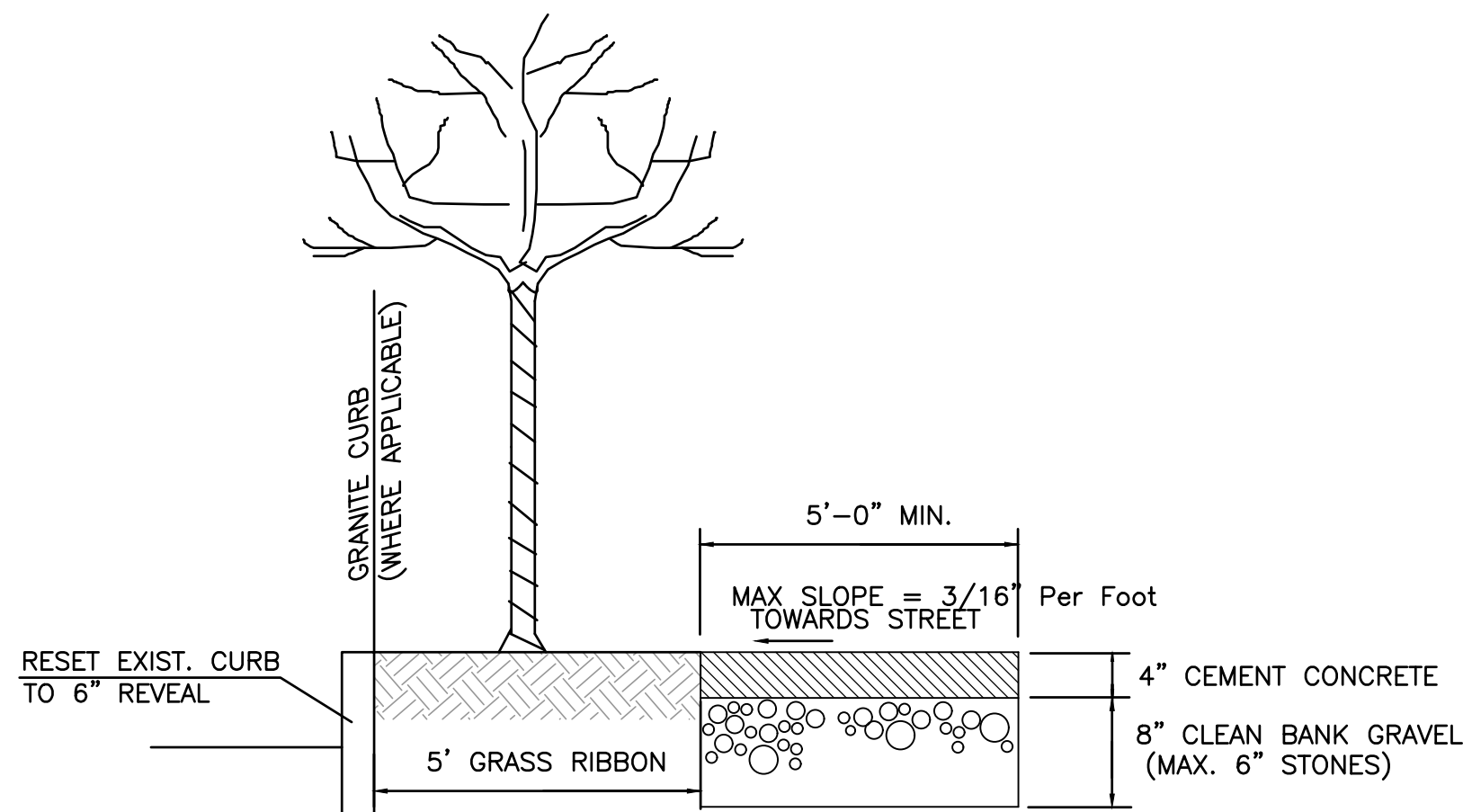
CEMENT CONCRETE APRON
AT BOLTON STREET ENTRANCE DRIVE
NOT TO SCALE



6 inch VERTICAL GRANITE CURB

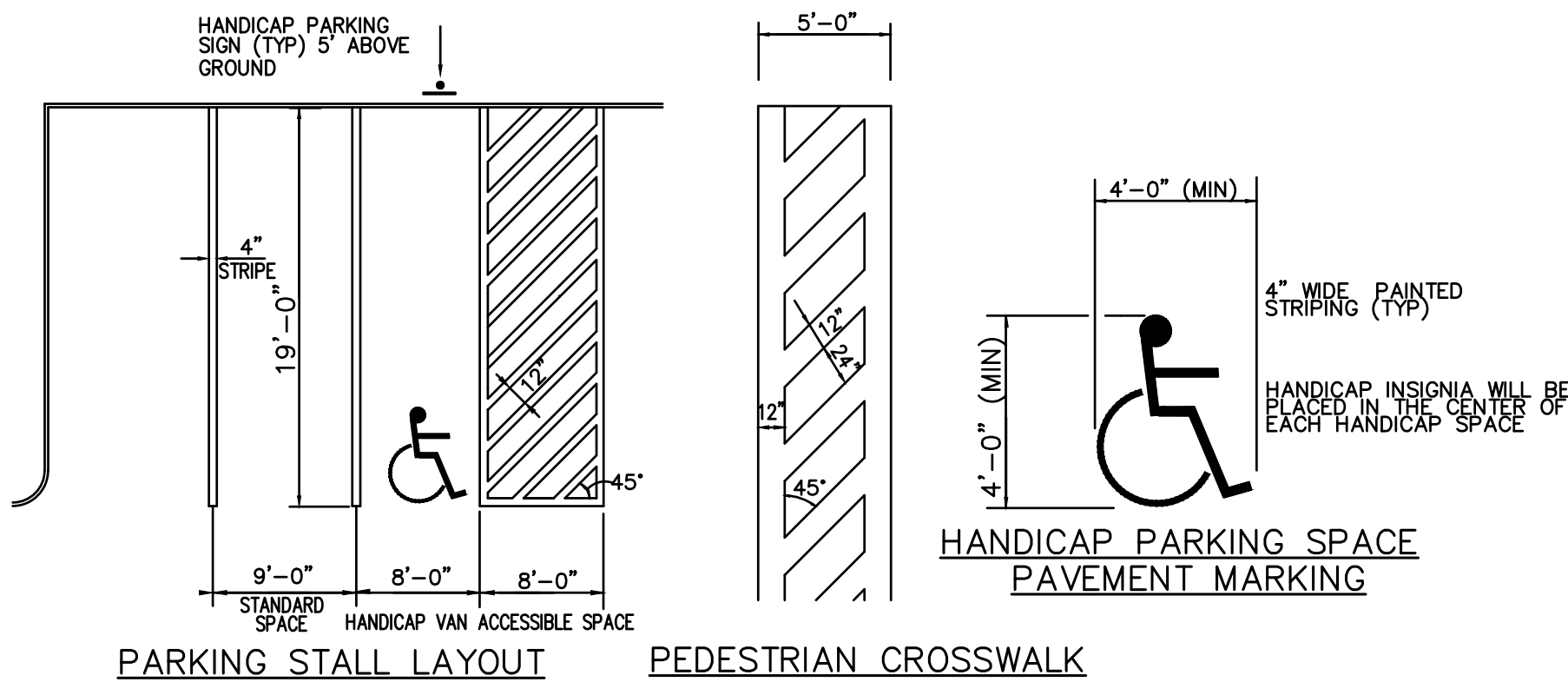


CAPE COD BERM



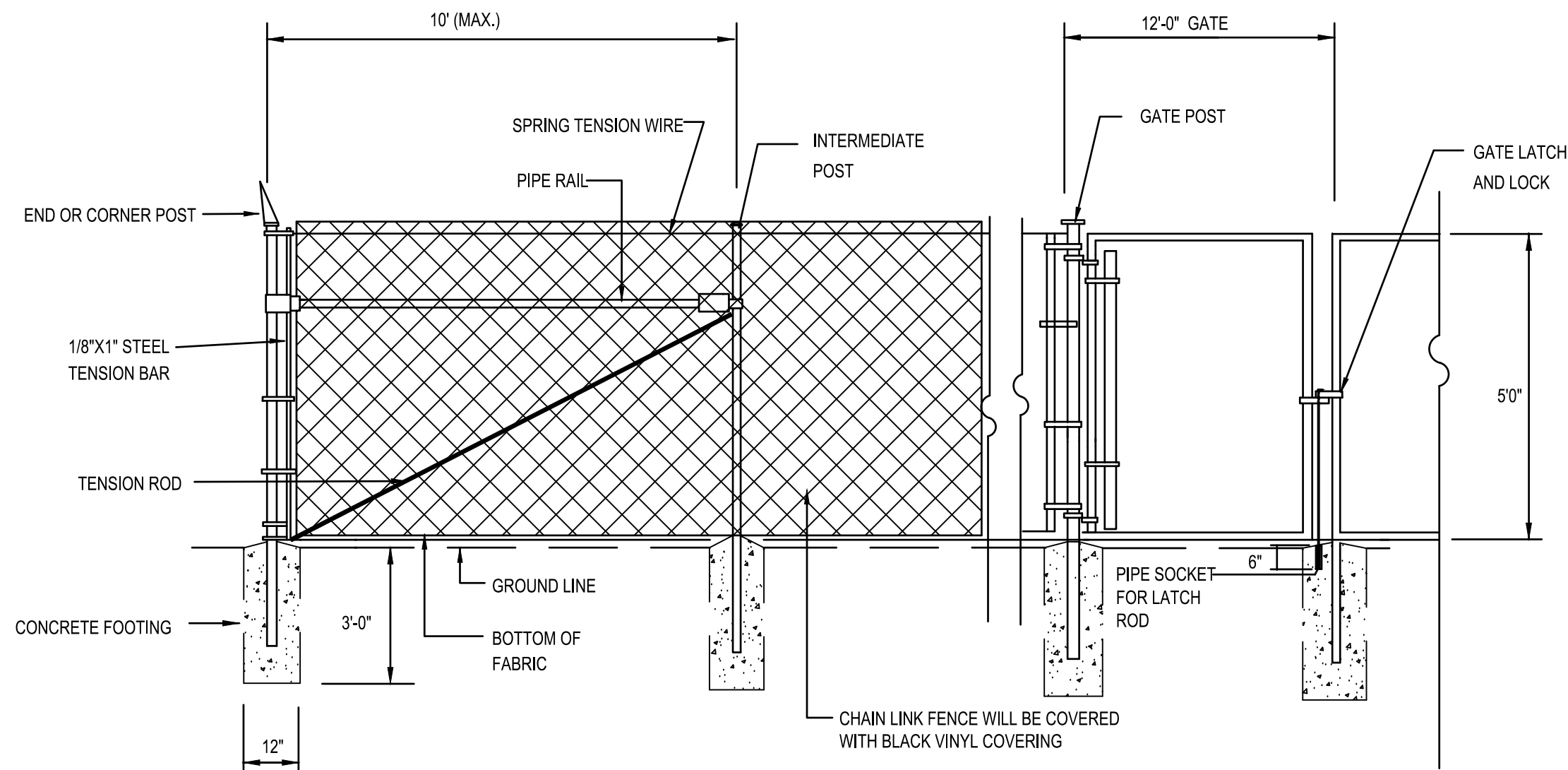
CONCRETE SIDEWALK

NOT TO SCALE



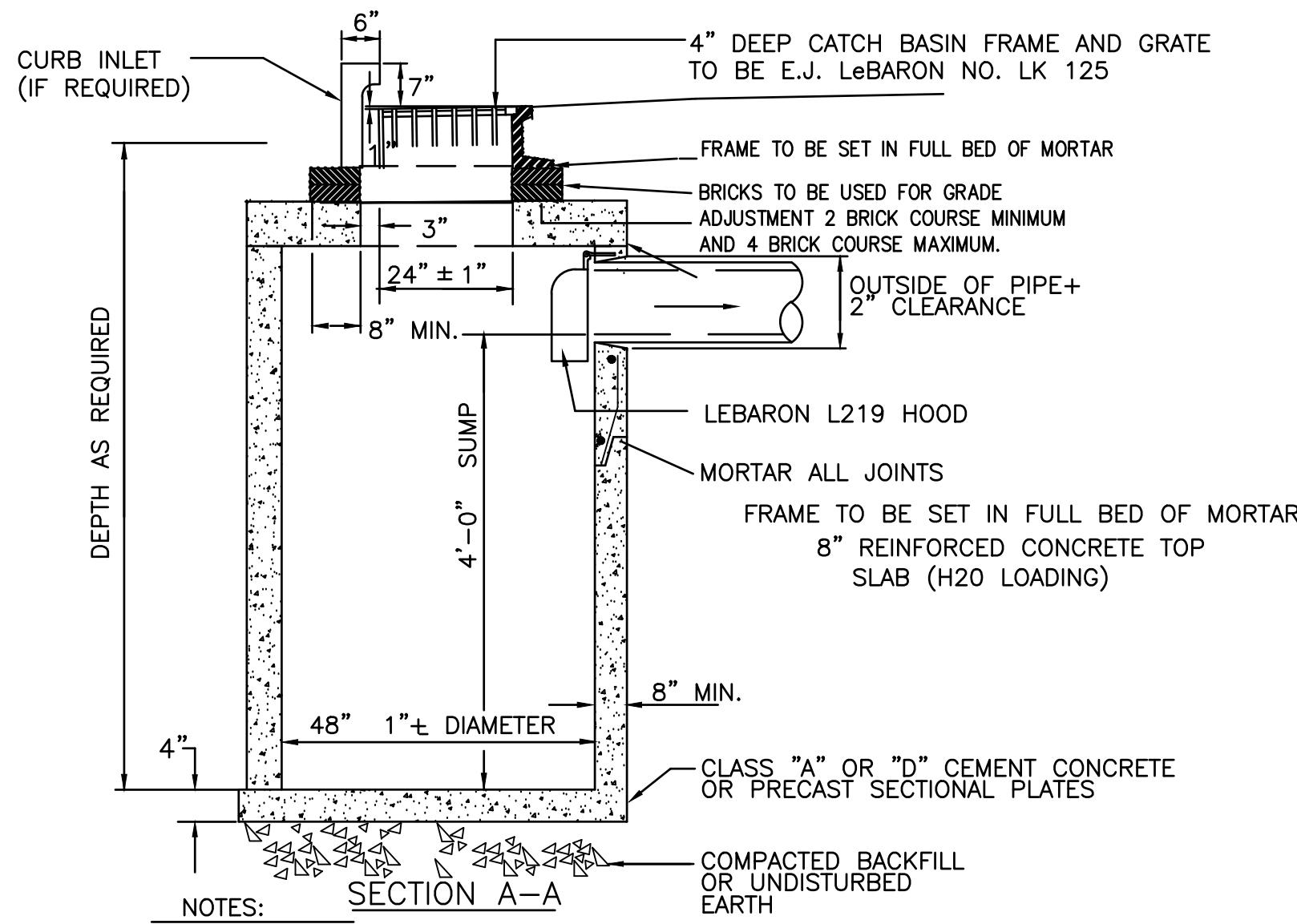
TYPICAL PAVEMENT MARKINGS

ALL PAVEMENT MARKINGS OTHER THAN THOSE SHOWN ON SHEET NO. 5 SHALL BE REFLECTORIZED TRAFFIC PAINT. WIDTH AS NOTED.



CHAIN LINK FENCE DETAIL

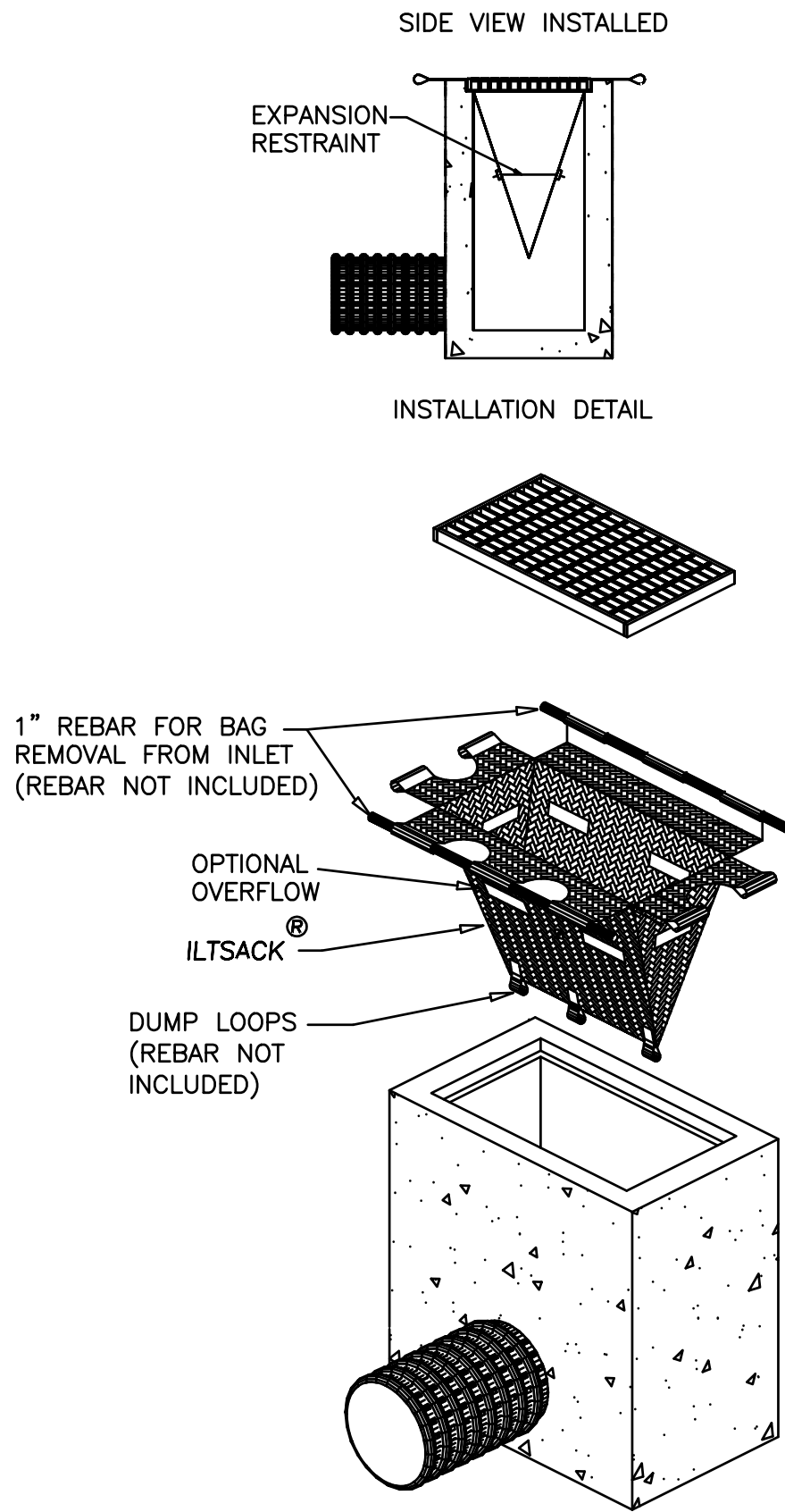
DRAWING TITLE				SCALE:	
DETAIL SHEET 1				NOT TO SCALE	
PROJECT				DATE:	
ORCHARD STREET				AUG 25, 2017	
CLIENT				DRAWN BY:	
NEW BEDFORD, MASSACHUSETTS				DJLS	
CLIENT				DESIGNED BY:	
HOWLAND PLACE REALTY TRUST				RJR	
NEW BEDFORD, MASSACHUSETTS				CHECKED BY:	
				RJR	
				APPROVED BY:	
				RJR	
				SHEET NO.	
				D-1	
				PROJECT NO.	
				0905-10-03	



1. MASSACHUSETTS STANDARD CATCH BASIN HOOD SHALL BE INSTALLED ON OUTLET PIPE.

TYPICAL FLAT TOP CATCH BASIN

NOT TO SCALE

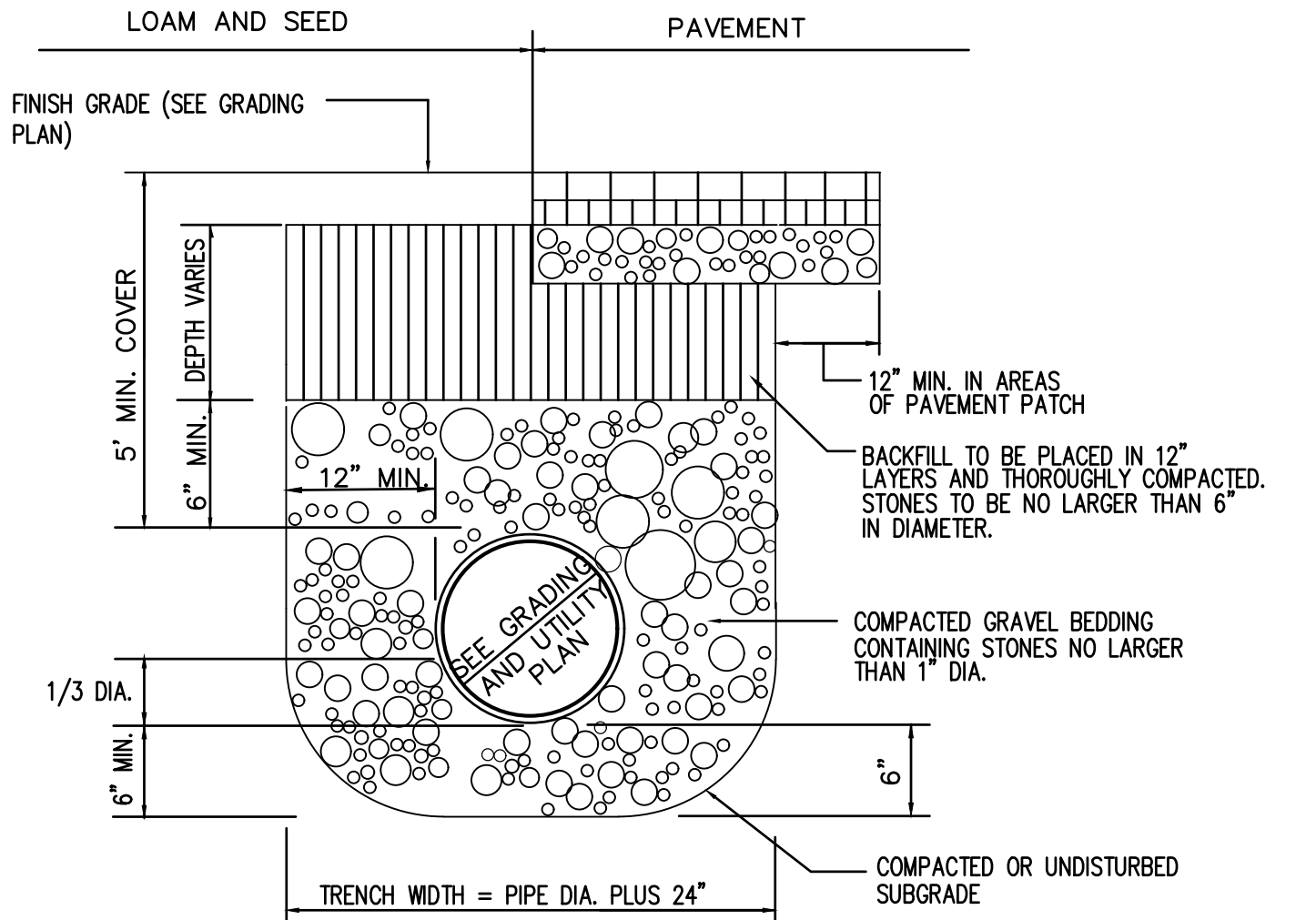


DETAIL OF INLET SEDIMENT CONTROL DEVICE
WITH CURB DEFLECTOR ("SILT SACK")

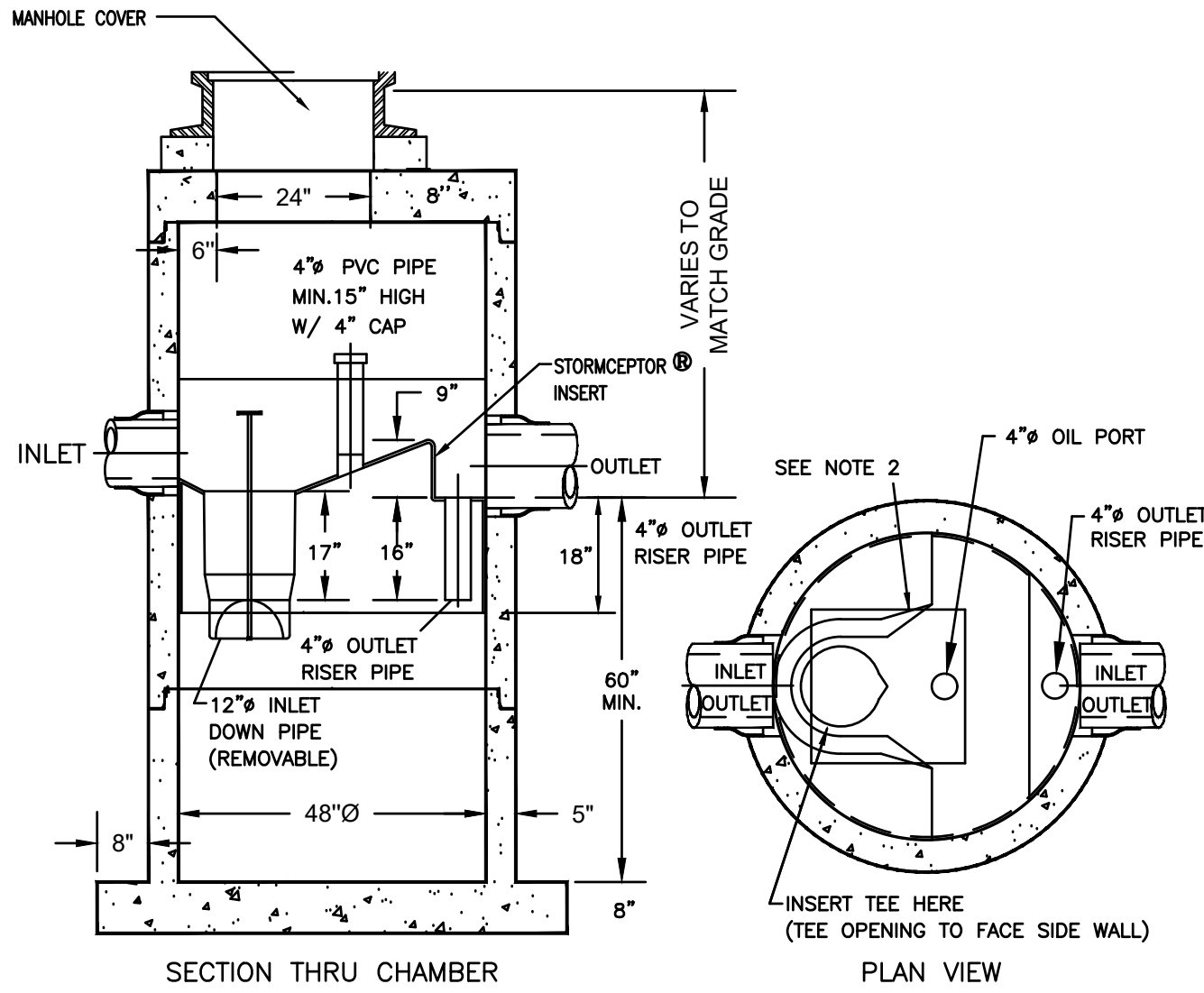
NOT TO SCALE

REGULAR FLOW SILTSACK® (FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH GRAB	ASTM D-4632	300 LBS
TENSILE ELONGATION	ASTM D-4833	20%
PUNCTURE MULLEN	ASTM D-3786	120 LBS
BURST TRAPEZOID	ASTM D-4533	800 PSI
TEAR UV RESISTANCE	ASTM D-4355	120 LBS
APPARENT OPENING	ASTM D-4751	80%
SIZE FLOW RATE	ASTM D-4491	40 US SIEVE
PERMITTIVITY	ASTM D-4491	40 GAL/MIN/SQ FT 0.55 SEC -1

HI-FLOW SILTSACK® (FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH GRAB	ASTM D-4632	265 LBS
TENSILE ELONGATION	ASTM D-4833	20%
PUNCTURE MULLEN	ASTM D-3786	135 LBS
BURST TRAPEZOID	ASTM D-4533	420 PSI
TEAR UV RESISTANCE	ASTM D-4355	45 LBS
APPARENT OPENING	ASTM D-4751	90%
SIZE FLOW RATE	ASTM D-4491	20 US SIEVE
PERMITTIVITY	ASTM D-4491	200 GAL/MIN/SQ FT 1.5 SEC -1



NOTE: ALL DRAINAGE PIPING SHALL BE 12 IN DIAMETER UNLESS OTHERWISE SPECIFIED.
DRAINAGE PIPING SHALL BE AS SPECIFIED ON THE PLAN AND EITHER CLASS IV RCP OR HDPE ASTM D 3350



NOTES:
1. THE USE OF FLEXIBLE CONNECTION IS RECOMMENDED AT THE INLET AND OUTLET WHERE APPLICABLE.
2. THE COVER SHOULD BE POSITIONED OVER THE INLET DROP PIPE AND THE OIL PORT.
3. THE STORMCEPTOR SYSTEM IS PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. CONTACT A CONCRETE PIPE DIVISION REPRESENTATIVE FOR FURTHER DETAILS NOT LISTED ON THIS DRAWING.

STC 450 PRECAST CONCRETE STORMCEPTOR

NOT TO SCALE

RECOMMENDED MAINTENANCE PROCEDURE:
OIL IS REMOVED THROUGH THE 4" INSPECTION/OIL PORT AND SEDIMENT IS REMOVED THROUGH THE 24" DIAMETER OUTLET RISER PIPE. ALTERNATIVELY, OIL COULD BE REMOVED FROM THE 24" OPENING IF WATER IS REMOVED FROM TREATMENT CHAMBER, LOWERING THE OIL LEVEL BELOW THE DROP PIPES.
THE DEPTH OF SEDIMENT CAN BE MEASURED FROM THE SURFACE OF THE STORMCEPTOR WITH A DIPSTICK TUBE EQUIPPED WITH A BALL VALVE (SLUDGE JUDGE). RINKER MATERIALS RECOMMENDS MAINTENANCE BE PERFORMED ONCE THE SEDIMENT DEPTH EXCEEDS THE GUIDELINE VALUE PROVIDED IN TABLE BELOW.

TABLE SEDIMENT DEPTHS INDICATING REQUIRED MAINTANCE*	
MODEL	SEDIMENT DEPTH
450i	8" (200MM)
900	8" (200MM)
1200	10" (250MM)
1800	15" (375MM)
2400	12" (300MM)
3600	17" (425MM)
4800	15" (375MM)
6000	18" (450MM)
7200	15" (375MM)
11000s	17" (425MM)**
13000s	20" (500MM)**
16000s	17" (425MM)**

* DEPTHS ARE APPROXIMATE
** DEPTHS IN EACH STRUCTURE
NO ENTRY INTO THE UNIT IS REQUIRED FOR ROUTINE MAINTENANCE OF THE INLET STORMCEPTOR OR THE SMALLER DISC INSERT MODELS OF THE IN-LINE STORMCEPTOR. ENTRY TO THE LEVEL OF THE BY-PASS MAY BE REQUIRED FOR SERVICING THE LARGER IN-LINE MODELS. ANY POTENTIAL OBSTRUCTIONS AT THE INLET CAN BE OBSERVED FROM THE SURFACE. THE BY-PASS CHAMBER HAS BEEN DESIGNATED AS A PLATFORM FOR AUTHORIZED MAINTENANCE PERSONNEL. IN THE EVENT THAT AN OBSTRUCTION NEEDS TO BE REMOVED, DRAIN FLUSHING NEEDS TO BE PERFORMED, OR CAMERA SURVEYS ARE REQUIRED.
TYPICALLY, MAINTENANCE IS PERFORMED BY THE VACUUM SERVICE INDUSTRY, A WELL ESTABLISHED SECTOR OF THE SERVICE INDUSTRY THAT CLEANS UNDERGROUND TANKS, SEWERS, AND CATCH-BASINS. COSTS TO CLEAN THE STORMCEPTOR WILL VARY BASED ON THE SIZE OF THE UNIT AND TRANSPORTATION DISTANCES. IF YOU NEED ASSISTANCE FOR CLEANING A STORMCEPTOR UNIT, CONTACT YOUR LOCAL RINKER MATERIALS REPRESENTATIVE, OR THE RINKER MATERIALS STORMCEPTOR INFORMATION LINE AT (800) 909-7763.

DRAWING TITLE DETAIL SHEET 2				SCALE: NOT TO SCALE	
PROJECT ORCHARD STREET NEW BEDFORD, MASSACHUSETTS				DATE: AUG 25, 2017	
CLIENT HOWLAND PLACE REALTY TRUST NEW BEDFORD, MASSACHUSETTS				DRAWN BY: DJLS	
DESIGNED BY: RJR				CHECKED BY: RJR	
• CIVIL ENGINEERING • LAND SURVEYING • ENVIRONMENTAL ASSESSMENT				APPROVED BY: RJR	SHEET NO. D-2
P.O. BOX 1088 350 BEDFORD ST. LAKEVILLE, MA 02347 TEL: 508.947.0050 FAX: 508.947.2004				PROJECT NO. 0905-10-03	
REV	DATE	DESCRIPTION	BY	APP.	