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STAFF REPORT

NEW BEDFORD HISTORICAL COMMISSION MEETING

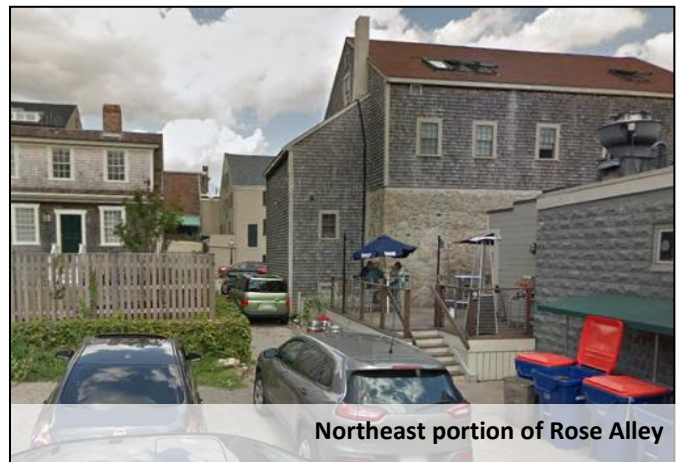
August 6, 2018

CASE #2018.22: CERTIFICATE OF APPROPRIATENESS

NS Rose Alley (Map 53, Lot 194)

APPLICANT/ The Pequod Inc.
OWNER: 94 Front Street
New Bedford, MA 02740

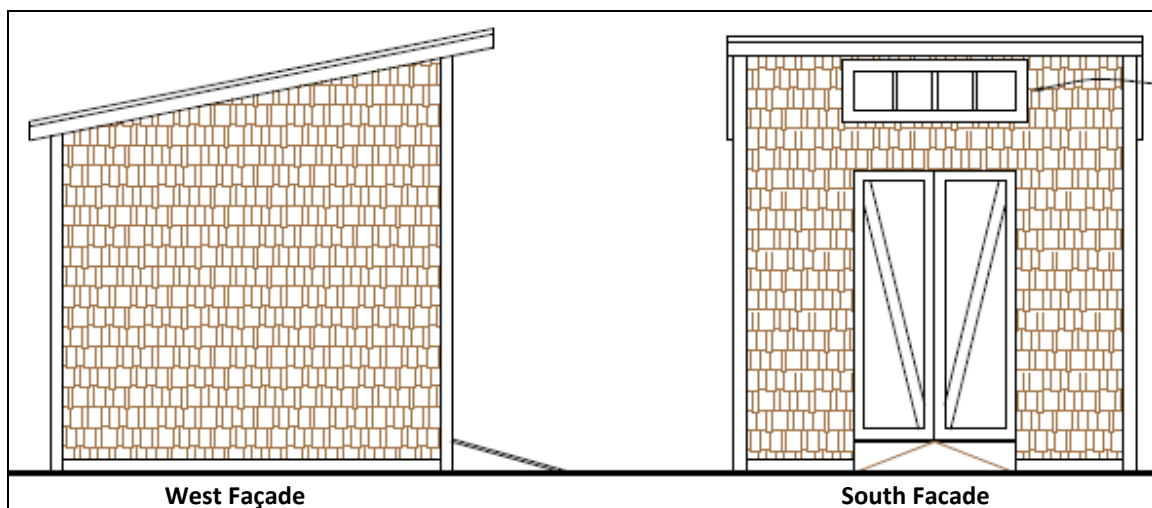
OVERVIEW: The applicant is seeking to construct an accessory structure for storage purposes on a portion of a vacant parcel situated on the north side of Rose Alley.



Northeast portion of Rose Alley

EXISTING CONDITIONS: The vacant parcel of land proposed for the construction of an accessory structure is located on the north side of Rose Alley and abuts parcel map 53, lot 195, which is the location of Rose Alley Pub at 94 Front Street. The vacant parcel is 3,086 square feet in size, and has 118 feet of frontage and is 26' deep. This undeveloped parcel of land has a pea stone gravel base and is currently used for parking.

PROPOSAL: The applicant is proposing to construct a sloped roof shed structure which is dimensioned 10' wide X 8' deep and 11'-2" high. The proposed structure's wall finish is natural cedar shingles with painted trim boards. The roof is an asphalt shingle to match color and style of the existing storage shed located on the south side of Rose Alley. *See submitted Plan for details.*





STATEMENT OF APPLICABLE GUIDELINES: *The Bedford Landing District Design Guidelines* state the following relative to this proposal:

NEW CONSTRUCTION: When considering a new structure within the District the designer shall study the appearance and character of the entire neighborhood and pay particular attention to immediate abutters. The District has a unique character based on its history and development patterns. These characteristics express themselves in the scale, setback, roof form and materials and detail of its historic buildings. A new building should be designed so that it shares and is compatible with these qualities. New construction should be in harmony with the old and at the same time be distinguishable from the old so that the evolution of the District can be interpreted correctly.

STAFF RECOMMENDATION:

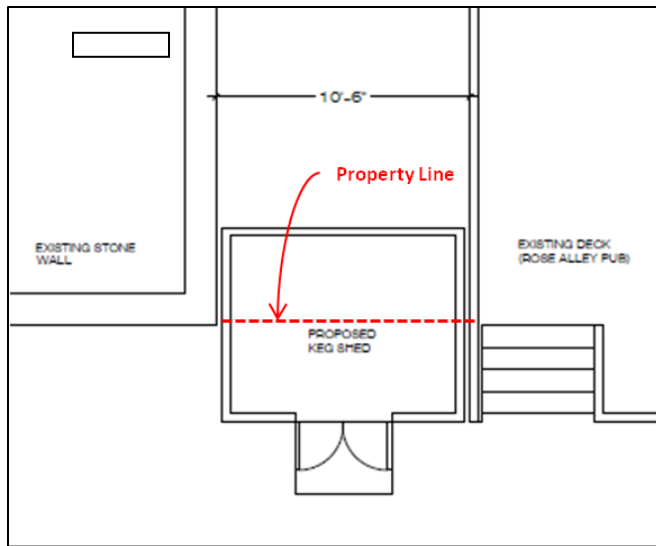
The construction of the proposed shed structure fulfills the need to store beer kegs, which are currently stored outside and behind Rose Alley Pub, and adversely affects the historic view of the Alley.

Shed Structure:

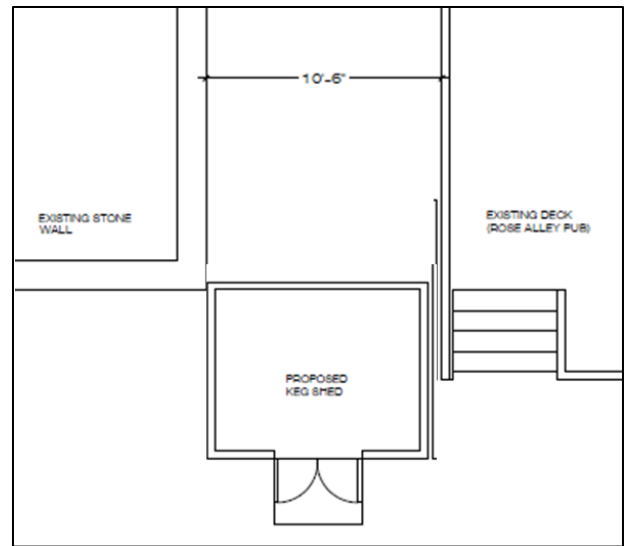
The size, scale, massing, form and materials of the proposed shed are compatible with the site, the adjacent buildings and the District as a whole. The paint color for the trim and doors has not yet been determined, but should match the existing storage shed located on the south side of Rose Alley.

Siting Location:

The applicant's draftsman has mistakenly situated the shed a few feet beyond the parcel's north boundary line within the submitted Plan. After consultation with Staff, the applicant has acknowledged the error and will situate the shed within the property boundaries.



Submitted Shed Location



Revised Shed Location

The proposed shed is necessary and meets the Design Guidelines of the District. The addition of signage to prevent parking in front of the shed entrance may be necessary. Staff recommends that the Commission consider conditioning the approval upon the following: that the applicant work with staff relative to any associated signage, the applicant secure any other permitting required for the shed, and if substantial changes are required through additional permitting, the applicant may be required to seek a modification to the Certificate.

Staff recommends the approval of the application and the issuance of a Certificate of Appropriateness with the conditions so noted.