

Massachusetts Department of Environmental Protection  
Bureau of Resource Protection - Wetlands

New Bedford  
City/Town

# WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

## A. General Information

### Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Applicant:

Edward Anthes-Washburn, New Bedford Port Authority

Name

Abigail.Hevey@newbedford-ma.gov

E-Mail Address

52 Fisherman's Wharf

Mailing Address

New Bedford

City/Town

MA

State

02740

Zip Code

Phone Number

Fax Number (if applicable)

2. Representative (if any):

Foth Infrastructure & Environment, LLC

Firm

Susan Nilson

Contact Name

Susan.Nilson@foth.com

E-Mail Address

15 Creek Rd

Mailing Address

Marion

City/Town

MA

State

02738

Zip Code

(508) 762-0764

Phone Number

Fax Number (if applicable)

## B. Determinations

1. I request the New Bedford make the following determination(s). Check any that apply:  
Conservation Commission

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced below is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced below are accurately delineated.
- ☒ c. whether the **work** depicted on plan(s) referenced below is subject to the Wetlands Protection Act.
- ☐ d. whether the area and/or work depicted on plan(s) referenced below is subject to the jurisdiction of any **municipal wetlands ordinance** or **bylaw** of:

\_\_\_\_\_  
Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for work in the Riverfront Area as depicted on referenced plan(s).



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**C. Project Description**

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

52 Fishermans Wharf

Street Address

New Bedford

City/Town

53

Assessors Map/Plat Number

120 (bldg renovations also on Lot 253)

Parcel/Lot Number

- b. Area Description (use additional paper, if necessary):

The existing site is within a solid filled pier/wharf structure. The entire pier surface is paved. The proposed building site is adjacent to the existing wharfinger building and includes a small shed which will be removed. The site is mapped within FEMA Zone AE6.

- c. Plan and/or Map Reference(s):

"Addition and Renovation to Wharfinger Building, Permit Site Plan", prepared by Foth-CLE, 1 sheet

12/21/18

Date

Title

Date

Title

Date

2. a. Work Description (use additional paper and/or provide plan(s) of work, if necessary):

The proposed project includes a 1,700 sf building addition and renovations to the ex. Wharfinger building. The proposed foundation will be comprised of driven piles, grade beams and slab. Excavation will be minimal; following sawcut and removal of pavement in footprint within the footprint. There will be limited trenching for utilities. There is no change in impervious surface area.



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**C. Project Description (cont.)**

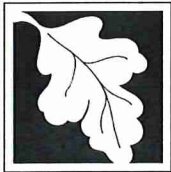
b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

Work will be conducted in the buffer zone to the coastal resources, in an AE6 flood zone. It is within an existing solid filled pier with a paved surface.

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☐ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)



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**D. Signatures and Submittal Requirements**

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Name and address of the property owner:

City of New Bedford

Name

133 Williams St.

Mailing Address

New Bedford

City/Town

MA

State

02738

Zip Code

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

[Signature]  
Signature of Applicant

12/21/18  
Date

[Signature]  
Signature of Representative (if any)

12/21/18  
Date





**CITY OF NEW BEDFORD  
MASSACHUSETTS**

**CONSERVATION COMMISSION  
2018 FILING FEE CALCULATION WORKSHEET\***

**PROJECT LOCATION:**

52 Fishermans Wharf MAP 53 LOT(S) 253 and 120

**APPLICANT:** New Bedford Port Authority

**CONSERVATION COMMISSION FEES (check all that apply):**

- ( ☒ ) REQUEST FOR DETERMINATION OF APPLICABILITY  
( ☐ ) NOTICE OF INTENT  
( ☐ ) AMENDED ORDER OF CONDITIONS  
( ☐ ) EXTENSION PERMIT  
( ☐ ) CERTIFICATE OF COMPLIANCE  
( ☐ ) AFTER THE FACT FILING

**(A.) ALTERATION FEES:**

Application and field review of a project proposed in a Wetland Resource Area or its Buffer Zone is \$200.00 plus the applicable alteration fee as follows

|   | <u><b>AMOUNT DUE</b></u> |
|---|--------------------------|
| • Application and Field Review Fee ( \$200.00 )   | <u>\$200.00</u>          |
| • \$0.50 X _____ SF Wetland Resource Area<br>Fee shall not exceed \$2,000.00 per project  | / \$ _____               |
| • \$0.05 X <u>3,320</u> SF Land Subject Coastal Flooding<br>Fee shall not exceed \$500.00 | \$ <u>166.00</u>         |
| • \$0.50 X _____ SF Developed Riverfront Area<br>Fee shall not exceed \$1,500.00          | \$ _____                 |
| • \$1.00 X _____ SF Undeveloped Riverfront Area<br>Fee shall not exceed \$2,000.00        | \$ _____                 |
| • \$5.00 X _____ LF Coastal or Inland Bank<br>Fee shall not exceed \$750.00               | \$ _____                 |
| • \$0.10 X _____ SF Buffer Zone<br>Fee shall not exceed \$6,500.00                        | \$ _____                 |

**(B.) EXTENSION of an Order of Conditions:**

- Single Family Dwelling or minor project (house addition, in ground pool etc)  
\$300.00 \$\_\_\_\_\_
- Subdivision/Commercial 600.00 \$\_\_\_\_\_

**(C.) AMENDING AN ORDER OF CONDITIONS:**

- Single family dwelling or minor project (house, in ground pool etc)  
\$300.00 plus new alteration fee – refer to (A) above \$\_\_\_\_\_
- Subdivision/Commercial \$1,000.00 plus new alteration fee – refer to (A) above  
\$\_\_\_\_\_

**(D.) WETLAND DELINEATION VERIFICATION (WITH OR WITHOUT A PROPOSED ALTERTATION)**

- ½ acre or less \$250.00 \$\_\_\_\_\_
- ½ acre to 2 acres \$500.00 (\$100.00/acre thereafter)  
not to exceed \$3,500.00 \$\_\_\_\_\_

**(E.) DOCKS:**

- \$100.00 + \$10.00 X \_\_\_\_\_ LF of dock \$\_\_\_\_\_

**(F.) CERTIFICATES OF COMPLIANCE**

- One new house \$250.00 \$\_\_\_\_\_
- One activity at an existing house \$200.00 \$\_\_\_\_\_
- Commercial & Industrial Facilities \$1,500.00 \$\_\_\_\_\_
- New Roadways 1,500.00 \$\_\_\_\_\_

Partial Certificates of Compliance are the same fee as a Certificate of Compliance

**(G.) AFTER THE FACT FILING FEE**

- \$500.00 for a Notice of Intent or Amended Order of Conditions \$\_\_\_\_\_
- \$250.00 for a Request for Determination of Applicability \$\_\_\_\_\_

**TOTAL AMOUNT DUE (including after-the-fact fee if applicable):** \$366.00 waived as  
City / New Bedford Port  
Authority is applicant

**Notes:**

\* Please refer to the Conservation Commission Fee Schedule – dated 8/2018

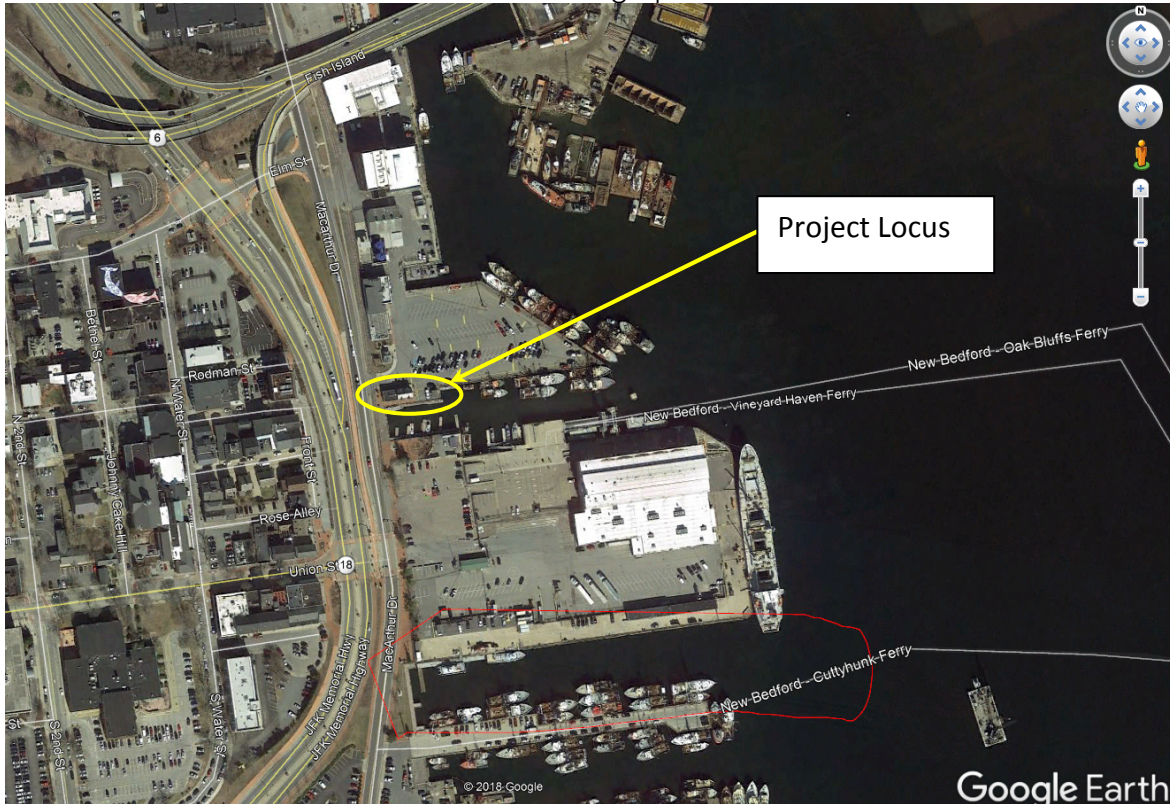
Please make check or Money Order payable to: THE CITY OF NEW BEDFORD.  
Cash is not accepted.



## Table of Attachments

|                  |   |
|------------------|---|
| <b>Exhibit A</b> | Site Photographs  |
| <b>Exhibit B</b> | Deed for Subject Property   |
| <b>Exhibit C</b> | Notice to Abutters & Certified Abutter List   |
| <b>Exhibit D</b> | Project Drawings "Addition and Renovation to Wharfinger Building", prepared for New Bedford Port Authority by Foth Infrastructure & Environment, LLC, dated 12/21/18, 1 Sheet |
| <b>Exhibit D</b> | Addition and Renovation to Wharfinger Building, Prepared by Saltonstall Architects, 12/21/18  |

**Exhibit A**  
Site Photographs



**Aerial view of site**



**View of Proposed Addition Looking East**





View of Proposed Addition Looking South

## **Exhibit B**

Deed for Subject Property

11933

QUITCLAIM DEED

The New Bedford Redevelopment Authority, a public body, political and corporate, duly organized and existing pursuant to the General Laws of the Commonwealth of Massachusetts, Chapter 121B and having its principal place of business at 21 South Sixth Street, City of New Bedford, County of Bristol, Commonwealth of Massachusetts, (hereinafter called the "Grantor") in consideration of One Dollar (\$1.00) and other valuable considerations, paid by the City of New Bedford, a municipal corporation organized and existing under the Laws of the Commonwealth of Massachusetts, having its usual place of business at 133 William Street, New Bedford, Massachusetts (hereinafter called the "Grantee"), grants to the Grantee, with quitclaim covenants, land in said New Bedford, bounded and described as follows:

Beginning at a point in the southwest corner of the parcel to be described, said point being two hundred thirty-one and 00/100 (231.00) feet northerly of the northeasterly intersection of Union Street and the Commonwealth of Massachusetts State Pier, so called;

Thence N81°51'47"E, six hundred forty-nine and 77/100 (649.77) feet to a point on the combined U. S. Pierhead and Bulkhead Line as shown on a plan hereinafter described;

Thence N56°41'40"W along said U. S. Pierhead and Bulkhead Line, five hundred eighty-three and 12/100 (583.12) feet to the northeasterly corner of this parcel and land now or formerly of New Bedford Seafood Cooperative Association, Inc.,

Thence S81°45'37"W along the line of said last named land, one hundred sixty-three and 40/100 (163.40) feet to the northeasterly corner of Parcel #34 as shown on said plan;

Thence S8°15'00"E along the easterly line of said Parcel #34 eighty-nine and 99/100 (89.99) feet to a point;



Thence S81°45'00"W along the southerly line of Said Parcel #34, fifty and 00/100 (50.00) feet to other land of the Authority;

Thence S8°15'00"E along the easterly line of said last named land, two hundred ninety-five and 56/100 (295.56) feet to the point of the beginning, containing 155,469 square feet;

Being Parcels #33, #34A and Proposed 40' Public Way as shown on a map entitled "The City of New Bedford, New Bedford Redevelopment Authority" Disposition Parcel Numbers 33, 34, 34A and Proposed 40' Public Way, South Terminal Urban Renewal Project," prepared by the New Bedford Redevelopment Authority, New Bedford, Massachusetts dated October, 1976.

THIS CONVEYANCE is made under and subject to:

- A. Present and future laws, ordinances, resolutions, regulations, and orders of all municipal, county, state, Federal or other governmental bodies, boards, agencies, or other authority now or hereafter having jurisdiction.
- B. The following covenants:
  - 1. That the Grantee, covenants and agrees for itself, its successors and assigns to or of the property or any part thereof, that the Grantee, and such successors and assigns shall:
    - a. Devote the property to and only to and in accordance with the uses specified in the Urban Renewal Plan for the South Terminal Urban Renewal Project, Mass. R-96 (hereinafter called the Plan) and as the same may be herein after modified, amended and extended from time to time, with the approval of the Grantee, its successors and assigns.

- b. Not discriminate upon the basis of race, color, religion, sex or national origin in the sale, lease or in the rental or in the use and occupancy of the premises or any improvements erected or to be erected thereon, or any part thereof.
- c. Comply with all state and local laws, in effect from time to time, prohibiting discrimination or segregation by reason of race, color, religion, sex or national origin, in the sale, lease or in the use and occupancy of the premises and not effect or execute any agreement, lease conveyance or other instrument whereby the premises or any part thereof is restricted upon the basis of race, religion, color, sex or national origin in the sale, lease or occupancy thereof.

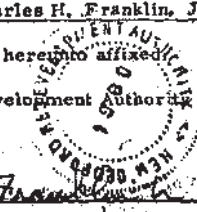
- 2. The Grantee for itself, and its successors and assigns, agrees that the aforementioned restrictions, covenants, and agreements, shall be covenants running with the land, and that they shall, in any event, and without regard to technical classification or designation, legal or otherwise be to the fullest extent permitted by law and equity, binding for the benefit and in favor, and enforceable by, the Grantor, its successors and assigns, the owner of any land (or of any interest in such land) in the Project Area which is subject to the land use requirements and restrictions of the Urban Renewal Plan and the United States, against the Grantee, and its

successors and assigns to or of the Property or any part thereof or any interest therein and any part in possession or occupancy of the Property or any part thereof. The Grantee, for itself, its successors and assigns, further covenants, and agrees that the said covenants running with the land shall be in effect until May 28, 2005 the period specified or referred to in the Urban Renewal Plan, or until such date thereafter in which it may be extended by proper amendment of the Urban Renewal Plan, on which date, as the case may be such covenants shall terminate. The Grantee, for itself, its successors and assigns, further covenants and agrees that all the said covenants running with the land shall be enforceable for said period of time without regard to whether the Grantor or the United States is or remains an owner of any land or interest therein to which said covenants relate.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be signed, acknowledged and delivered, in its name and behalf on the 1st day of November, 1976 by Charles H. Franklin, Jr. its Vice-Chairman and its corporate seal to be hereunto affixed.

New Bedford Redevelopment Authority

Charles H. Franklin, Jr.



COMMONWEALTH OF MASSACHUSETTS

Bristol, SS.

November 1, 1976  
New Bedford,

Then personally appeared the above Charles H. Franklin, Jr.  
Vice-Chairman, and acknowledged the foregoing instrument to be the free  
act and deed of the New Bedford Redevelopment Authority.

Before me

Henry Z. Horn  
Notary Public

My Commission Expires: 3/10/78

I, Henry Z. Horn, Acting Executive Director and Secretary of the New Bedford Redevelopment Authority, hereby certify that at a duly called meeting of the said Authority, held on November 1, 1976 at which time a quorum was present and voting throughout, the following VOTE was unanimously adopted:

#### RESOLUTION

WHEREAS, the New Bedford Redevelopment Authority in furtherance of the Urban Renewal Plan of the South Terminal Urban Renewal Project, Mass. R-96, has determined that it is in the best interest of the Authority and the City of New Bedford to convey to the City of New Bedford that parcel known as Pier 3 and 4; and

WHEREAS, the City of New Bedford has agreed to improve said parcel in conformity with the provisions as outlined in the South Terminal Urban Renewal Plan and a Memorandum of Understanding dated September 1, 1976;

NOW, <sup>Vice/</sup>THEREFORE BE IT RESOLVED, that the Chairman and/or the Acting Executive Director be and hereby are, authorized and empowered in the name of and on behalf of the New Bedford Redevelopment Authority to execute, seal with the corporate seal or otherwise acknowledge and deliver a deed from this Authority to the City of New Bedford, conveying certain premises known as Piers 3 and 4, South Terminal Urban Renewal Project, Mass. R-96 for the purchase price of One Dollar (\$1.00) and other valuable considerations, said premises being situated in the County of Bristol, Commonwealth of Massachusetts, which deed shall be in such form as the <sup>Vice/</sup>Chairman and the Authority shall approve, execution thereof to be conclusive evidence of such approval.

I further certify that:

- a. Charles H. Franklin, Jr. is the duly elected, qualified and serving Vice-Chairman of the New Bedford Redevelopment Authority,
- b. There is no provision of the by-laws, or the said Authority that are contrary to this VOTE;
- c. Said VOTE has not been altered, amended or repealed.

WITNESS my hand and corporate seal of the said New Bedford Redevelopment Authority this 1st day of November, 1976.

*Henry Z. Adams*  
Acting Executive Director  
Secretary



### RESOLUTION

WHEREAS, the New Bedford Redevelopment Authority and the United States of America, acting through the Department of Housing and Urban Development, entered into a Loan and Grant Contract on January 25, 1966 relative to the South Terminal Urban Renewal Project, Mass. R-96; and

WHEREAS, the provisions of said Contract included the requirement that the Authority perform certain project improvements within the said South Terminal Project Area, which improvements included the reconstruction of Piers 3 and 4 in accordance and in conformity with the South Terminal Urban Renewal Plan; and

WHEREAS, the City of New Bedford agreed to furnish the local share for the project improvements and entered into a Cooperation Agreement with the New Bedford Redevelopment Authority on July 20, 1965, which Cooperation Agreement included provisions for the reconstruction of Piers 3 and 4; and

WHEREAS, the City desires to file an application with the Economic Development Administration for financial assistance to reconstruct said Piers 3 and 4; and

WHEREAS, the City must have ownership or evidence of ownership of Piers 3 and 4 in order to file said application;

NOW, THEREFORE BE IT RESOLVED BY THE MEMBERS OF THE NEW BEDFORD REDEVELOPMENT AUTHORITY as follows:

Vice/

1. The Chairman is hereby authorized to execute a quitclaim deed of the premises known as Piers 3 and 4 from the New Bedford Redevelopment Authority to the City of New Bedford.

2. The consideration for said deed shall be One Dollar.
3. The reconstruction of Piers 3 and 4 in accordance to and in conformity with the South Terminal Urban Renewal Plan, Mass. R-96, must be completed by the City of New Bedford regardless of whether the application for Economic Development Administration funds is approved or refused. Should said funds be not obtained, the City of New Bedford shall be required to utilize Community Development funds for the reconstruction of Piers 3 and 4.
4. The Mayor of the City of New Bedford in consideration of this conveyance must agree to these terms and conditions by proper written instrument acceptable to the Authority and the Department of Housing and Urban Development

Received & recorded *Mr. 12* *43* *Nov 11* *hrs. 51* *min. A. M.*

Attest: *John E. Jones* Registrar



**Exhibit C**

Notice to Abutters & Certified Abutter List

## **Notification to Abutters under the City of New Bedford Wetlands Ordinance**

In Accordance with the City of New Bedford Wetlands Ordinance (New Bedford Code of Ordinances Sections 15-101 through 15-112) you are hereby notified of the following.

The name of the applicant is: New Bedford Port Authority

The applicant has filed a Request for Determination of Applicability for the municipality of New Bedford, Massachusetts seeking permission to remove, fill, dredge or alter an area subject to protection under the City of New Bedford Wetlands Ordinance (New Bedford Code of Ordinances Sections 15-101 through 15-112).

The address of the lot where the activity is proposed is: 52 Fishermans Wharf  
Assessor's Map 53; Lot 120

Copies of the Request for Determination of Applicability may be examined at the New Bedford Conservation Commission, City Hall, 133 William St. Room 304 New Bedford, MA 02740 between the hours of 8:00 AM and 4:00 PM, Monday through Friday. For more information call (508) 991-6188.

Copies of the Request for Determination of Applicability may be obtained from either (check one) the applicant \_\_\_\_\_ or the applicant's representative X by calling this telephone number (508) 748-0937 between the hours of 8:00 AM and 4:00 PM on the following days of the week: Monday through Friday.

Information regarding the date, time and place of the public hearing may be obtained from New Bedford Conservation Commission by calling 508-991-6188 between the hours of 8:00 AM and 4:00 PM Monday through Friday.

Note: Notice of the Public hearing, including its date, time and place, will be posted in the City Hall not less than forty eight (48) hours in advance of the meeting.

Note: Notice of the Public Hearing including its date, time and place, will be published at least five (5) days in advance in the Standard Times.

Note: You may also contact the New Bedford Conservation Commission at 508-991-6188 for more information about this publication or the City of New Bedford Wetlands Ordinance



## City of New Bedford

# REQUEST for a CERTIFIED ABUTTERS LIST

This information is needed so that an official abutters list as required by MA General Law may be created and used in notifying abutters. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

| SUBJECT PROPERTY                                  |                                     |         |     |
|---|-------------------------------------|---------|-----|
| MAP #   | 53                                  | LOT(S)# | 120 |
| ADDRESS:  |                                     |         |     |
| OWNER INFORMATION                                 |                                     |         |     |
| NAME: CITY OF NEW BEDFORD                         |                                     |         |     |
| MAILING ADDRESS:                                  |                                     |         |     |
| 131 WILLIAM STREET NEW BEDFORD, MA 02740          |                                     |         |     |
| APPLICANT/CONTACT PERSON INFORMATION              |                                     |         |     |
| NAME (IF DIFFERENT):                              |                                     |         |     |
| GABRIELA KURAN                                    |                                     |         |     |
| MAILING ADDRESS (IF DIFFERENT):                   |                                     |         |     |
| 15 CREEK ROAD MARION, MA 02738                    |                                     |         |     |
| TELEPHONE #                                       | 508 748 0937                        |         |     |
| EMAIL ADDRESS:                                    | GABRIELA.KURAN@FOTH.COM             |         |     |
| REASON FOR THIS REQUEST: <i>Check appropriate</i> |                                     |         |     |
| <input type="checkbox"/>                          | ZONING BOARD OF APPEALS APPLICATION |         |     |
| <input type="checkbox"/>                          | PLANNING BOARD APPLICATION          |         |     |
| <input checked="" type="checkbox"/>               | CONSERVATION COMMISSION APPLICATION |         |     |
| <input type="checkbox"/>                          | LICENSING BOARD APPLICATION         |         |     |
| <input type="checkbox"/>                          | OTHER (Please explain):             |         |     |

DEC 17 2018

Once obtained, the Certified List of Abutters must be attached to this Certification Letter.

Submit this form to the Planning Division Room 303 in City Hall, 133 William Street. You, as applicant, are responsible for picking up and paying for the certified abutters list from the assessor's office (city hall, room #109).

### Official Use Only:

As Administrative Assistant to the City of New Bedford's Board of Assessors, I do hereby certify that the names and addresses as identified on the attached "abutters list" are duly recorded and appear on the most recent tax.

Carlos Amado

Printed Name

*Carlos Amado*

Signature

12/18/2018

Date

December 17, 2018

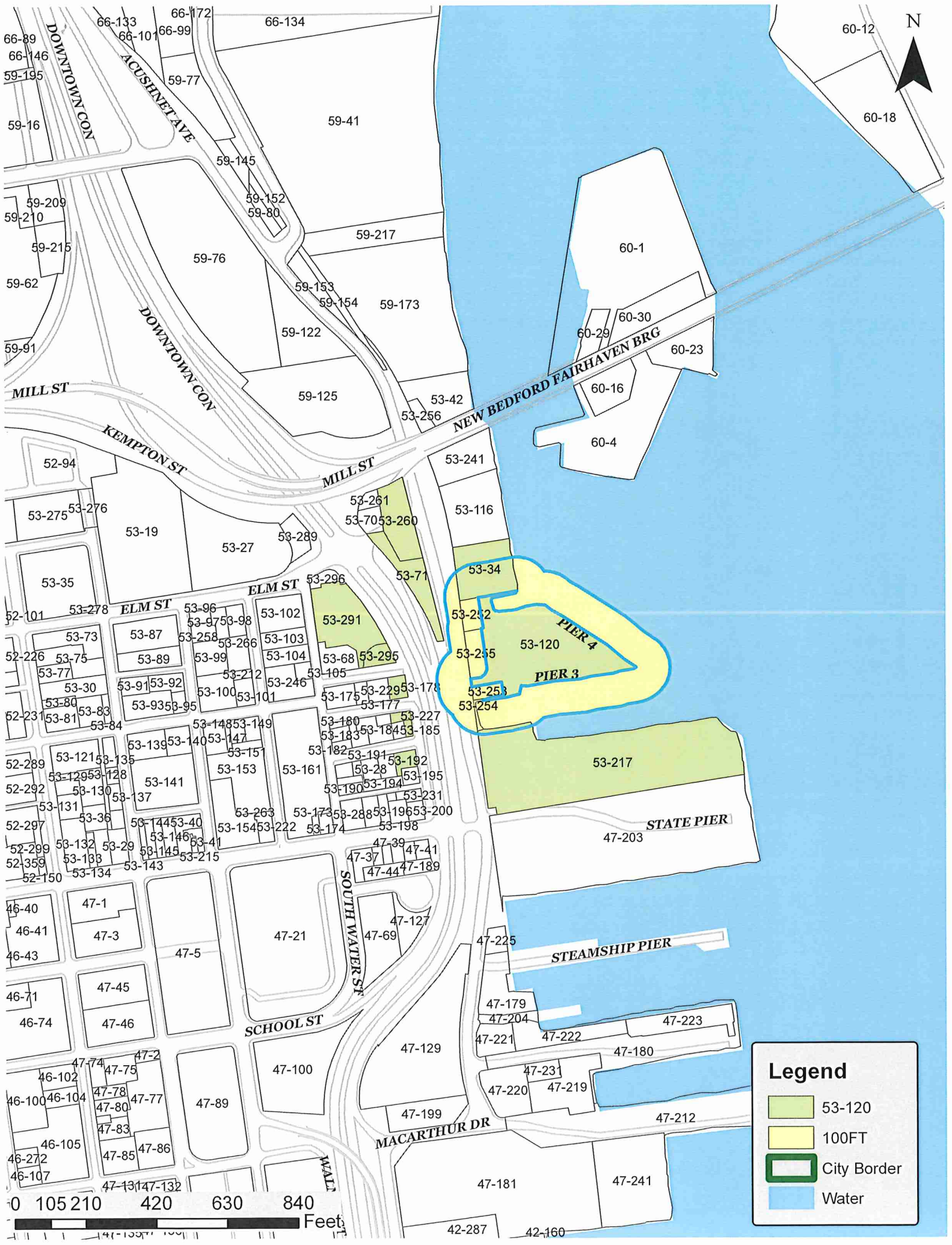
Dear Applicant,

Please find below the List of Abutters within 100 feet of the property known as Macarthur Drive (Map: 53, Lot: 120). The current ownership listed herein must be checked and verified by the City of New Bedford Assessor's Office. Following said verification, the list shall be considered a Certified List of Abutters.

Please note that multiple listed properties with identical owner name and mailing address shall be considered duplicates and shall require only 1 mailing. Additionally, City of New Bedford-Owned properties shall not require mailed notice.

| Parcel         | Location                | Owner and Mailing Address   |
|----------------|-------------------------|---|
| ✓ 53-34        | 101 CO-OP WHARF         | LIARIKOS JOHN G II "TRUSTEE", CO-OP WHARF REALTY TRUST<br>101 CO-OP WHARF<br>NEW BEDFORD, MA 02740          |
| ✓ 53-71<br>ES  | JOHN F KENNEDY HWY      | N B REDEVELOPMENT, AUTHORITY<br>133 WILLIAM STREET<br>NEW BEDFORD, MA 02740                                 |
| ✓ 53-260<br>WS | MACARTHUR DR            | CITY OF NEW BEDFORD,<br>133 WILLIAM STREET<br>NEW BEDFORD, MA 02740   |
| ✓ 53-192       | 98 FRONT ST             | FIELD HORACE F IV, FIELD EMILY O<br>18 CENTRE STREET<br>NEW BEDFORD, MA 02740                               |
| ✓ 53-178       | 114 FRONT ST<br>114-120 | BUZZARDS BAY CENTER INC,<br>620 BELLEVILLE AVENUE<br>NEW BEDFORD, MA 02745                                  |
| ✓ 53-120<br>ES | MACARTHUR DR            | CITY OF NEW BEDFORD,<br>131 WILLIAM ST<br>NEW BEDFORD, MA 02740   |
| ✓ 53-217       | 49 STATE PIER           | COMMONWEALTH OF MASS, STATE PIER BUILDING<br>NEW BEDFORD, MA 02740  |
| ✓ 53-187       | 13 CENTRE ST            | TALLMAN ASSOCIATES LLC,<br>13 CENTRE STREET<br>NEW BEDFORD, MA 02740  |
| ✓ 53-291<br>ES | N WATER ST              | <del>CANDLEWORKS VENTURES LLC,</del> New Bedford Inc.<br>72 N WATER STREET 3RD FLR<br>NEW BEDFORD, MA 02740 |
| ✓ 53-227       | 108 FRONT ST<br>108-110 | DIDRIKSEN HARRIET ANE "TRUSTEE", C/O N B SHIP SUPPLY<br>108 FRONT STREET<br>NEW BEDFORD, MA 02740           |
| 53-295         | RODMAN ST               | NEW BEDFORD PARCEL A LLC,<br>13 WILLIAM STREET - D-15<br>FAIRHAVEN, MA 02719                                |
|                |                         |   |
|                |                         |   |

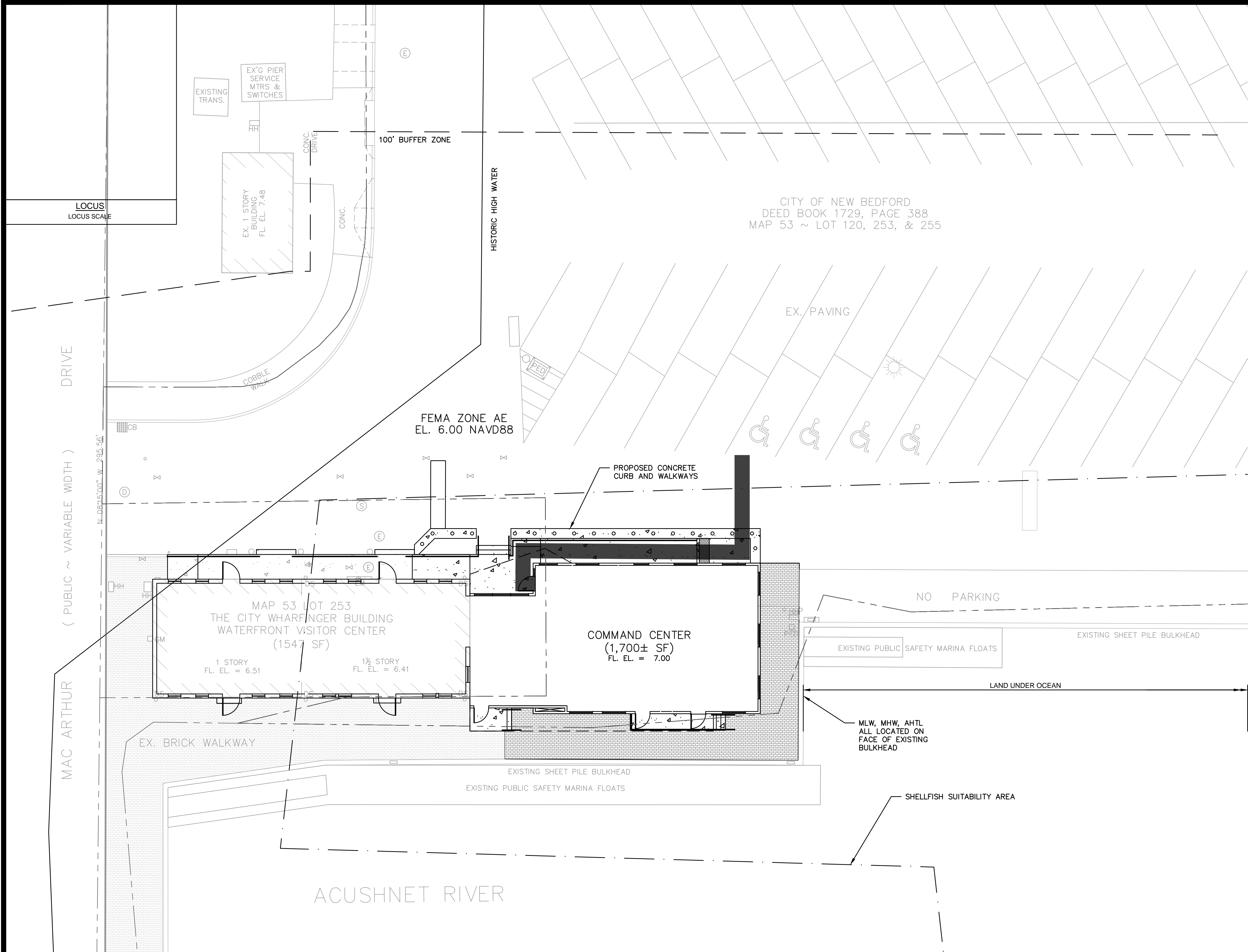




## **Exhibit D**

Project Drawings "Addition and Renovation to Wharfinger Building", prepared for New Bedford Port Authority by Foth Infrastructure & Environment, LLC, dated 12/21/18, 1 Sheet





LOCUS

DATUM  
OFFSETS

| MLW  | NAVD88          |
|------|-----------------|
| 3.99 | 2.00 MHHW       |
| 3.75 | 1.76 MHW        |
| 2.82 | 0.83 NGVD29/MSL |
| 1.99 | 0 NAVD88        |

0.15 -1.84 MLW  
0.00 -1.99 MLLW

OFFSETS TAKEN FROM  
VDATUM ONLINE 99/25/18)  
LAT=41.641529  
LONG=-70.919687

- GENERAL NOTES:
- SEE ARCHITECTURAL CONCEPT DRAWINGS FOR ARCH. DETAILS.
  - PROPERTY LINES, SHELLFISH SUITABILITY, AND FEMA FLOOD ZONES ARE TAKEN FROM MOST RECENT AVAILABLE DATA FROM MA GIS DATABASE AND LICENSE PLAN INFORMATION.
  - MLW, MHW, & AHTL ARE ALL LOCATED ON THE FACE OF THE BULKHEAD
  - THE PROJECT SITE IS LOCATED WITHIN FEMA ZONE AE - 6.00 NAVD88. FLOOD PLAIN INFORMATION FROM FEMA FIRM: TOWN OF DARTMOUTH PANEL: 25005C0393G DATED JULY 16, 2014
  - THE ENTIRE PROJECT FALLS WITHIN THE LAND SUBJECT TO COASTAL STORM FLOWAGE RESOURCE AREA.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE NOT SHOWN AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CITY OR FOTH. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE THE UTILITY.

It is a violation of law for any person unless he is acting under the direction of a licensed professional engineer to alter this document

This drawing was prepared at the scale indicated in the title block. Inaccuracies in the stated scale may be introduced when drawings are reproduced by any means. (Use the graphic scale bar to determine the actual scale of this drawing)



ADDITION & RENOVATION TO  
WHARFINGER BUILDING

52 FISHERMAN'S WHARF  
NEW BEDFORD, MA  
PERMIT SITE PLAN

SEAL AND SIGNATURE

REVISIONS

SHEET TITLE

PERMIT SITE  
PLAN

ISSUANCE

SCALE  
1" = 10'

DRAWN BY  
PSR

CHECKED BY  
SN

PROJECT NO  
-----

DATE  
12/21/2018

SHEET NUMBER

1

## **Exhibit E**

Addition and Renovation to Wharfinger Building,  
Prepared by Saltonstall Architects, 12/21/18



Z:\2018\2018-012 NBPA Wharfinger Building\18-12 DRAWINGS\12-10-18 CD Plan.aec



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



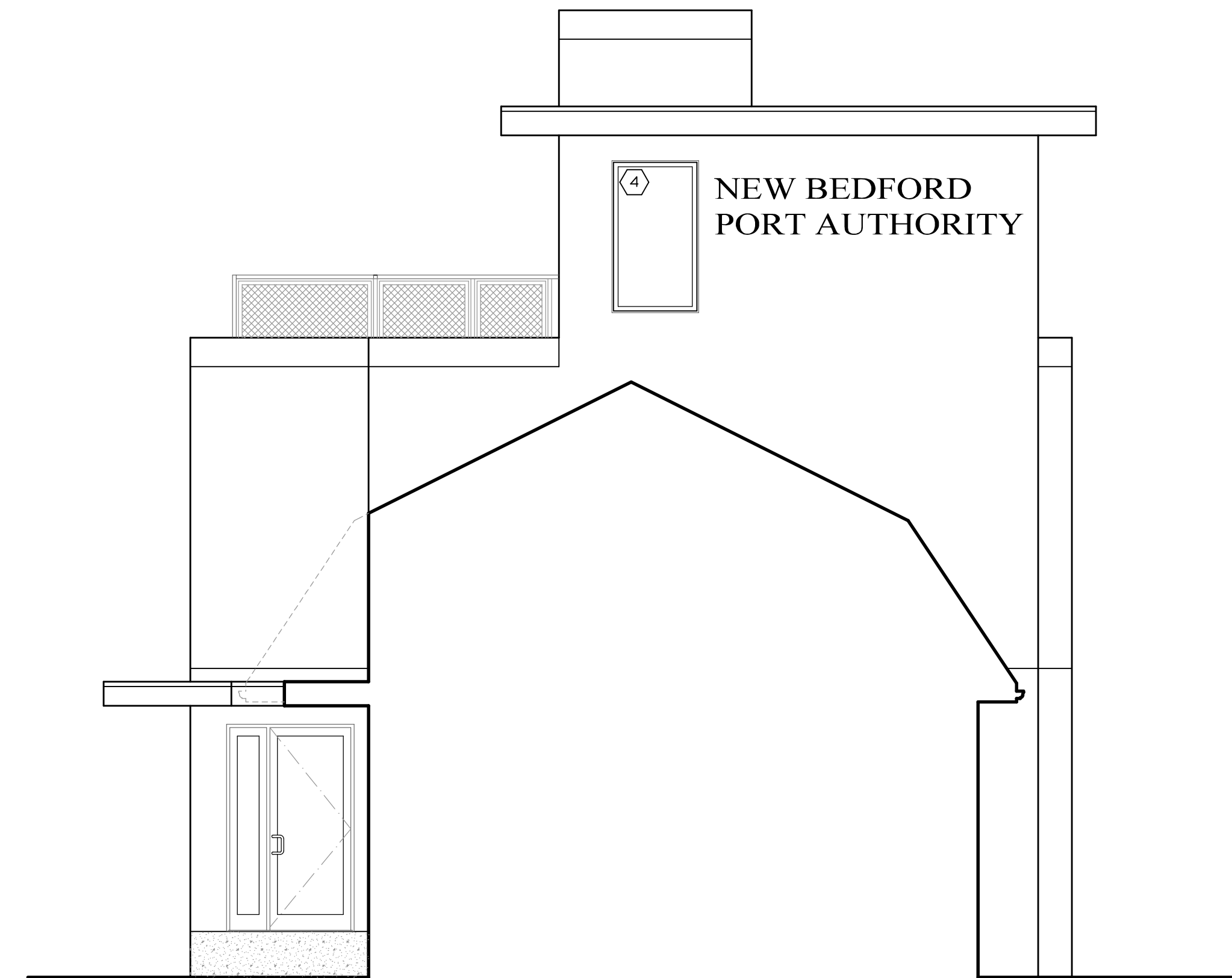
2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2

EAST ELEVATION

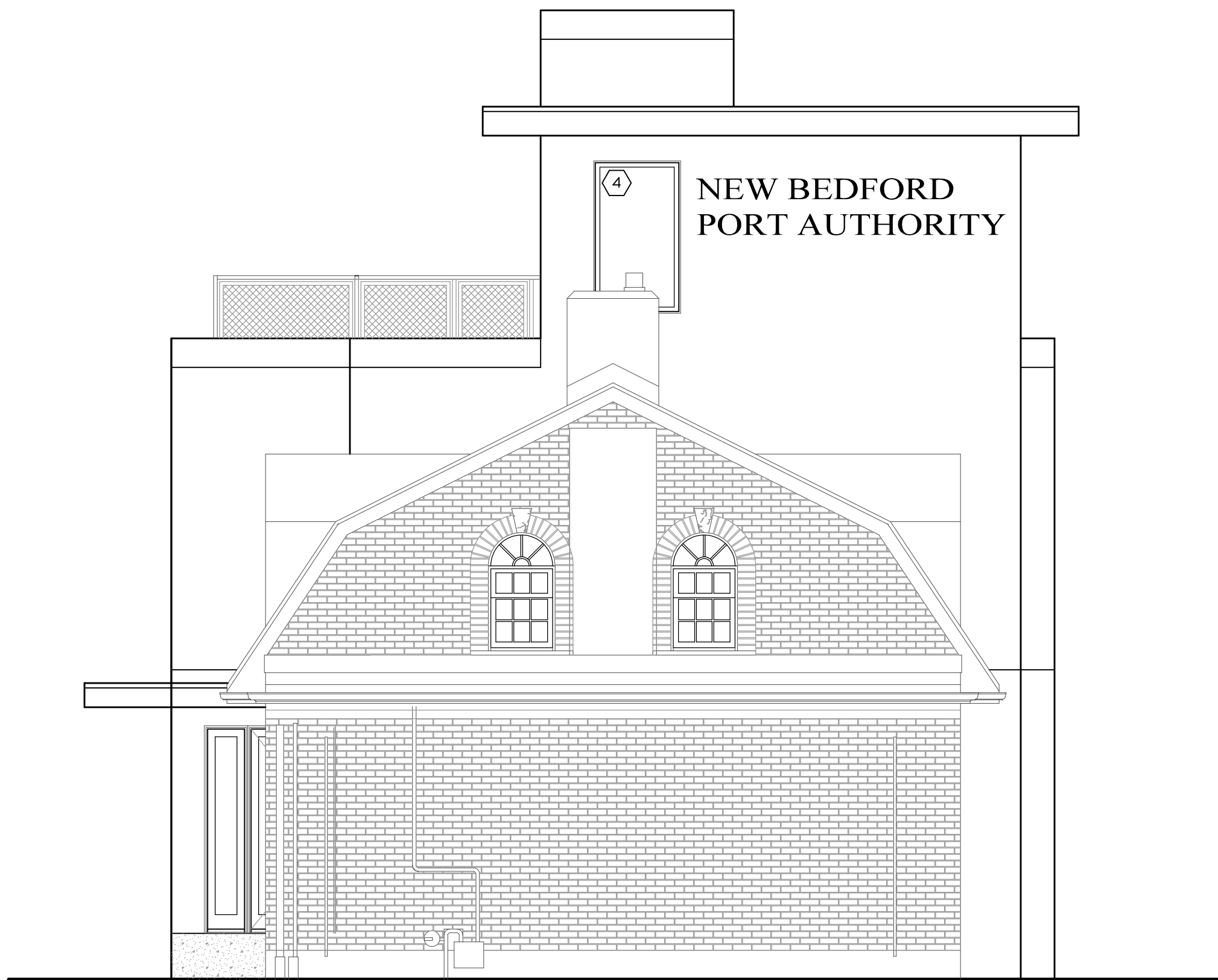
SCALE: 1/4" = 1'-0"



#

WEST ELEVATION - ADDITION

SCALE: 1/4" = 1'-0"



#

WEST ELEVATION - EXISTING & ADDITION

SCALE: 1/4" = 1'-0"

ADDITION & RENOVATIONS TO  
**WHARFINGER BUILDING**  
52 FISHERMAN'S WHARF  
NEW BEDFORD, MA 02740

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NO. | DATE | ISSUE / REV.

DATE: 12/21/2018  
DRAWN: T.A.D.  
CHECKED: W.W.S.  
SCALE: AS NOTED  
JOB NO.: 18-12

EXTERIOR  
ELEVATIONS