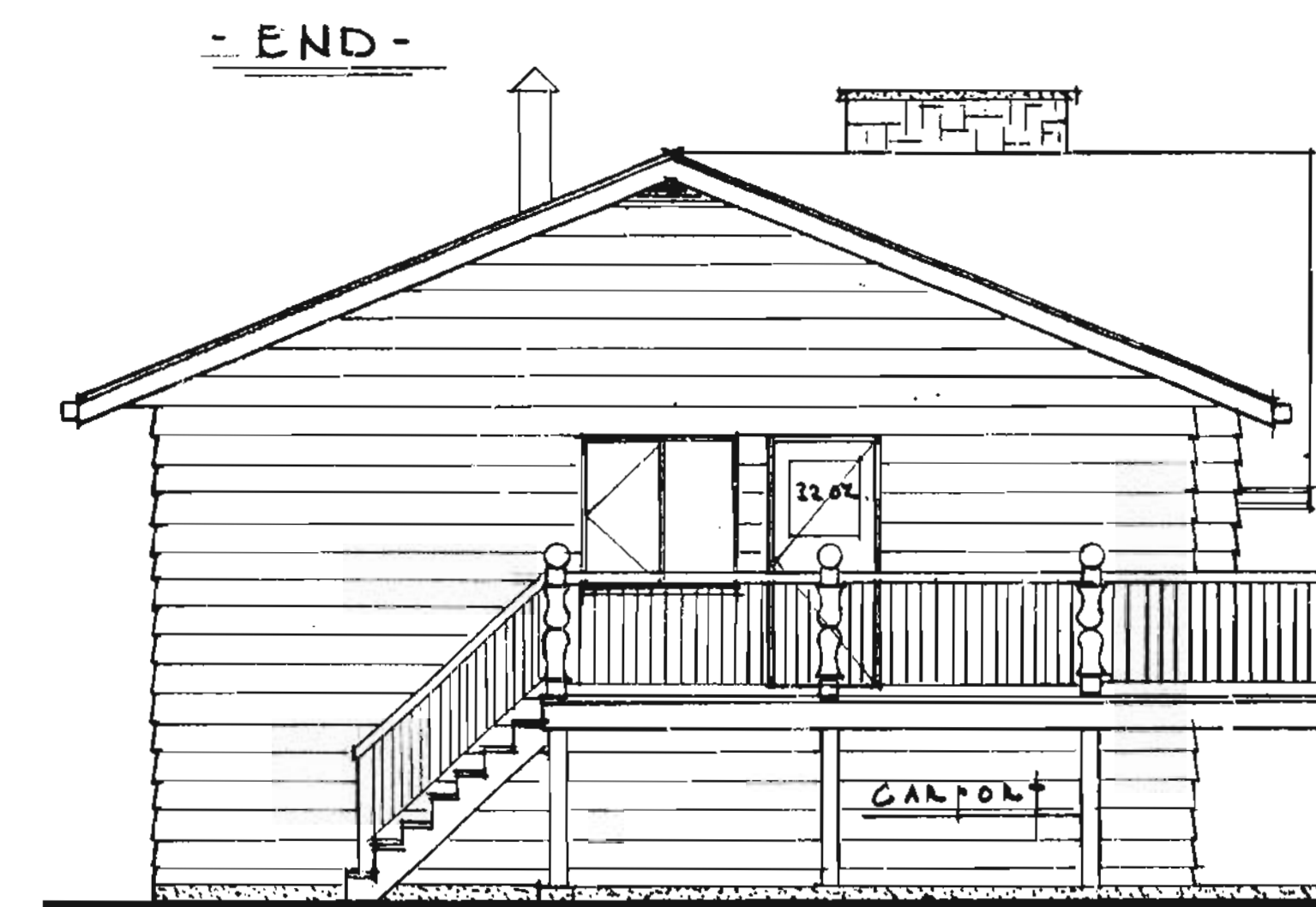
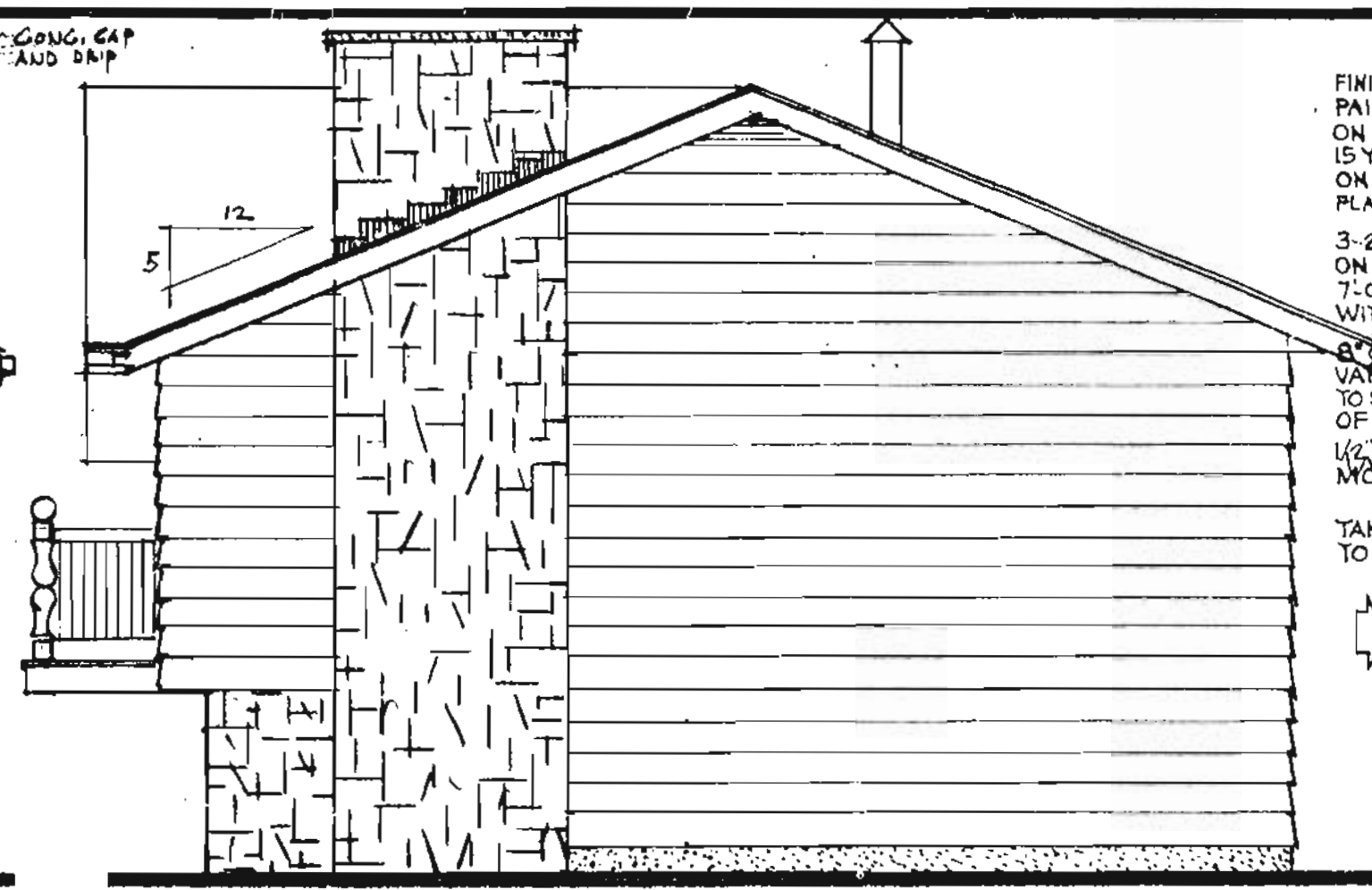


- REAR -



- END -

FINISH AS SPEC. OR PAINTED 1"x4"@4" o.c. ON SLEEPERS ON 15 YR. TARRED ROOF ON 3/4" SHIPLAP FLASHING & DRAIN

3-2"x8" BEAMS ON 6"x6" POSTS 7'-0" MAX. o.c. WITH BRACING

6" CONG. WALL VARIES IN HEIGHT TO SUIT CONDITION OF EXIST. GRADE 1/2" STEEL DOWEL MOUSTUKE BARR.

TAKE FOOTINGS TO FIRM BEARING

FOR USE AS APPLICABLE SEE PLOT-PLAN LAYOUT

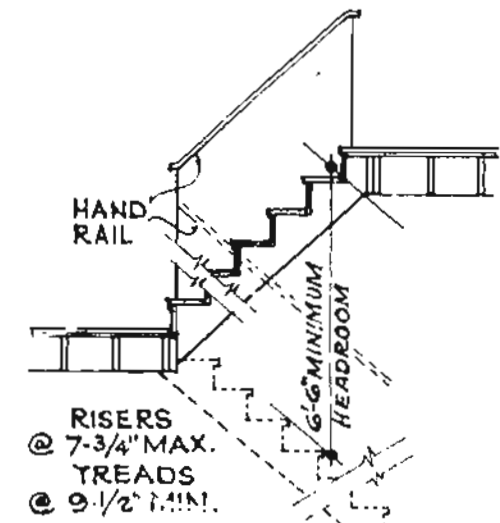
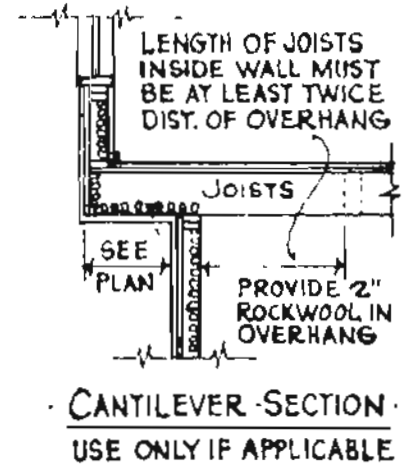
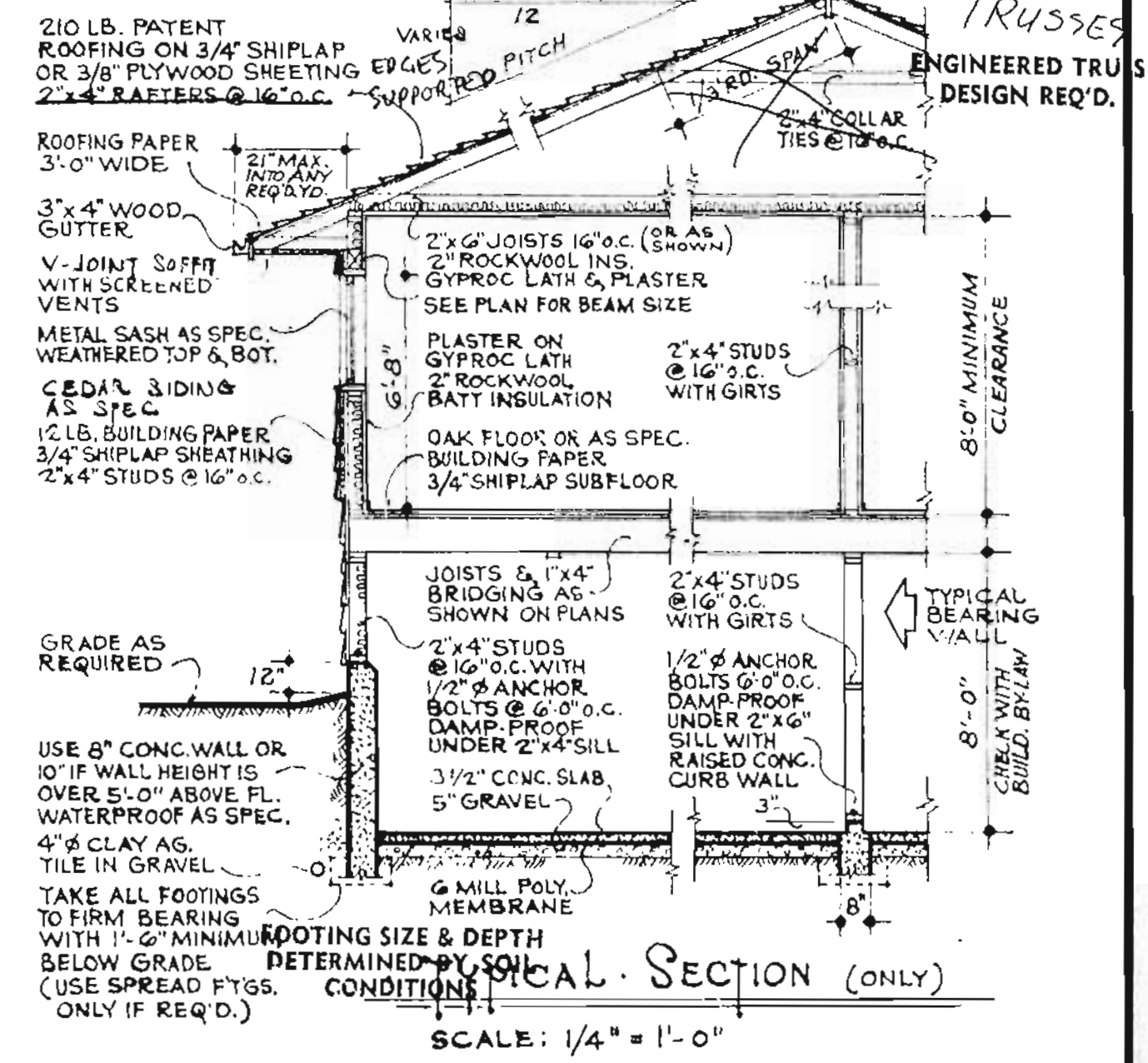
RAILING AS SPEC. 2"x10 @ 16" o.c. 3'-1 1/2"

JOISTS & BRIDGING AS SPEC. CARPORT SECTION 5" CONG. 3" GRAVEL 6'-6" MINIMUM

NOTE: ALL BUILDING MUST PRIMARILY CONFORM WITH LOCAL BUILDING BY-LAWS AND LOAN CO. REGULATIONS.

ATTIC SPACE MUST BE VENTED AT RIDGE 1"x6" RIDGE

TRUSSES ENGINEERED TRUSS DESIGN REQ'D.



STAIR SECTION - MUST CONFORM TO SEC. 28 N.B.C.

UNLESS DIMENSIONED OTHERWISE, ALL DRAWINGS SCALE 1/4" = 1'-0"

GENERAL NOTES:

BUILDER SHALL CHECK ALL LEVELS AND DIMENSIONS ON JOB AND BE RESPONSIBLE FOR SAME.

WINDOW SIZES SHOWN ARE APPROX. ONLY AND BUILDER SHALL CHECK WITH SPECIFICATION AND THE SASH MANUFACTURER FOR ACTUAL ROUGH-OPENING SIZES.

FIGURED DIMENSIONS SHALL PRECEDE SCALE DW'GS.

PLANS FOR RESIDENCE		SET No.
FLOOR AREA SHOWN ON SHEET NO.1		DRAWN BY L.G. CUDNEY
FOR		SHEET NO.
		2 OF 2
PHONE: TR 4-7420	PRANA GROUP CREATIVE ENTERPRISES LTD.	4897 MAIN, VAN. 10, B.C.
		JOB NO. CP3-1442-L

CIVIC ADDRESS

6743 - Stoney Crescent

DATE

JAN 19 1973

B 4388

LOT 407	BLK.	T.O.U.	SW	SEC. 13	TWP-GP 4	PLAN 42660
ZONING 11' BELOW RO & E.		USE dwelling	27' A		3.0' N	
LOT SIZE	SIZE OF BUILDING 1443		3.3' S	106' W	52.5'	

OWNER

ARCHITECT/ENGINEER

CONTRACTOR

REISINGER CONSTRUCTION, 937 Garrow Drive, Port Moody.

SPECIAL DETAILS

ENC. REC'D - 2/1/73 - McELHANNAY
9/2/73

APPROVED
CORPORATION OF DELTA

INSPECTION NOTES

forms JAN 25 1973 OK JB
MAR 6 1973 frame (OK JB) (1/15)
APR 18 1973 final OK JB
APR 19 1973

THE CORPORATION OF DELTA
INSPECTION DEPARTMENT

PERMIT TO CONSTRUCT, EXTEND, ALTER, RENEW OR REPAIR A
PLUMBING SYSTEM OR TO CONNECT TO A SEWER.

CIVIC ADDRESS 6743 - Stoney Crescent

DATE

Feb. 19/73

APPROVED

CORPORATION OF DELTA

PERMIT NUMBER

P 1593

LOT 407	BLK.	T.O.U.	SW	SEC. 13	TWP-GP 4	PLAN 42660
------------	------	--------	----	------------	-------------	---------------

ROLL NUMBER 134754	USE OF BUILDING dwelling
-----------------------	-----------------------------

OWNER Reisinger Construction, 937 Garrow Drive, Port Moody

PERSON DOING WORK U.N. Mechanical Contracting Ltd., 7656 J. J. Street, Delta

STOREY	DESCRIPTION OF WORK							OTHER
	WATER CLOSETS	WATER SINKS	BATH TUBS	SINKS	WASH TUBS	SHOWERS	AUTOMATIC WASHERS	
BASEMENT								H.W. Heater
MAIN	2	2	1	1				dishwasher
2								
3								

by phone from contractor
JAN 19 1973
APR

APVD.	FND. DRAINS	ROUGH PLBG.	STORM SEWER	SAN. SEWER	OTHER	FINAL PLBG.
INSP.	YH	JB	JB	JB		YH - person
DATE	May 1/73	May 4/73	8/3/73	8/3/73		19/4/73

SURVEY CERTIFICATE COVERING

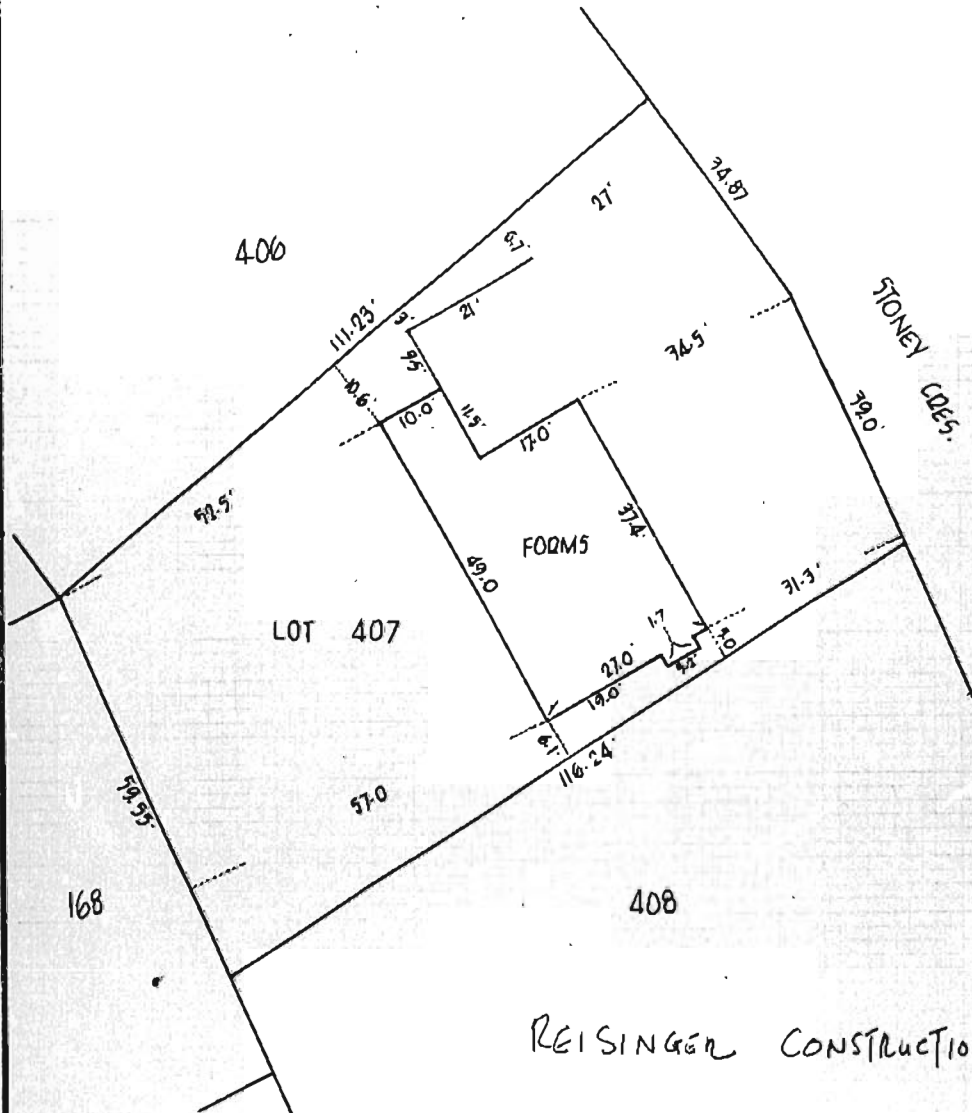
LOT 407
N.E. 1/4, SEC. 14, TP. 4
PLAN 42660, N.W.D.

Scale: 1 inch = 20 feet

THE DIMENSIONS SHOWN ON THIS
CERTIFICATE ARE NOT TO BE USED
TO DEFINE BOUNDARIES.



TOP OF FORMS
1.1' BELOW $\frac{1}{2}$ OF ROAD



6743 STONEY CRES. / FA B 4388

" CIVIC ADDRESS "

6743 STONEY CRESCENT
DELTA, B.C.

CERTIFIED CORRECT

J.E. McLean B.C.L.S.
Dated this 24th day of JANUARY, 1973.

McELHANNEY ASSOCIATES
PROFESSIONAL LAND SURVEYORS
7832 - 120th STREET
SURREY, B.C.
FILE 001690

RECEIVED
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 Community Planning
 & Development Dept.

McKINNON RESIDENCE



FALSE CREEK DESIGN GROUP LTD.
 Suite 500 - 856 Homer Street
 Vancouver, BC V6B 2W5 CANADA
 P 604.688.3131 F 604.689.4333

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DO NOT SCALE DRAWINGS

Issued	Date
FOR BUILDING PERMIT	JUNE 21, 2011

Revision	Date
----------	------

MCKINNON
 RESIDENCE

6743 STONEY CRES.
 DELTA, BC

Date	DEC. 14, 2010
Scale	1/4" = 1'-0"
Drawn By	KK
Checked By	WC

Drawing Title
**DRAWING INDEX,
 SITE PLAN &
 GENERAL NOTES**

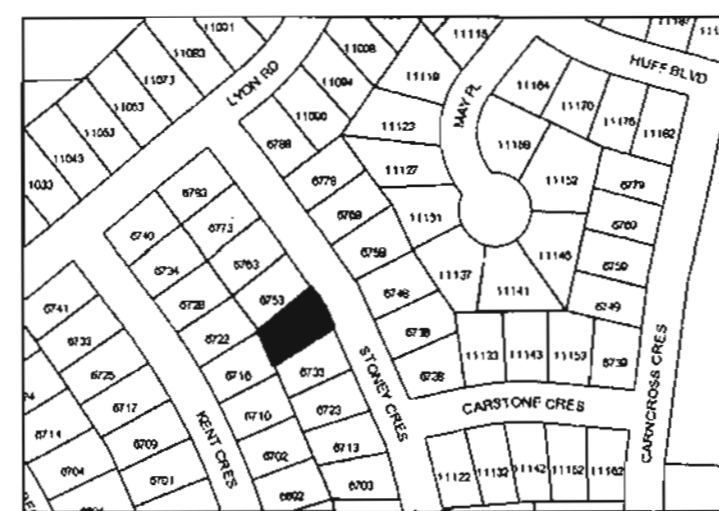
Project No	Drawing No.
------------	-------------

1341 ID00

LEGAL DESCRIPTION
 PID: 002-539-334
 FOLIO NUMBER: 13475400
 ADDRESS: 6743 STONEY CRESCENT
 LEGAL DESCRIPTION: 407 SEC 14 TWP 4 PL 42660.
 APPROX. LOT SIZE: 706.83 M²
 ZONE DESCRIPTION: SINGLE FAMILY
 ZONING: RS1
 CID: 21885

DRAWING INDEX

- ID00 DRAWING INDEX, GENERAL NOTES & LEGENDS
- ID01 DEMOLITION PLANS
- ID02 CONSTRUCTION PLANS
- ID03 REFLECTED CEILING PLANS
- ID04 ELECTRICAL PLANS
- ID05 BUILDING SECTION



LOCATION PLAN
 Scale: NTS

GENERAL NOTES

- 1) CODES AND STANDARDS- ALL WORK TO MEET THE REQUIREMENTS OF BRITISH COLUMBIA BUILDING CODE (2006) AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK. ALL BUILDING REQUIREMENTS FOR PERSONS WITH DISABILITIES TO BE MET IN ACCORDANCE WITH SECTION 3.7 OF THE B.C. BUILDING CODE
- 2) CONTRACTOR TO CONFIRM ALL EQUIPMENT, APPLIANCES, WIRING, CABLING AND MILLWORK DIMENSIONS ON SITE PRIOR TO MANUFACTURING & TO REPORT ANY DISCREPANCIES DIRECTLY TO THIS OFFICE
- 3) CONTRACTORS AND SUB CONTRACTORS SHALL CAREFULLY INSPECT THE SITE TO DETERMINE IF THE CONDITIONS ARE ACCURATELY REPRESENTED ON THE DRAWINGS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, INACCURACIES AND OTHER SITE ASSOCIATED PROBLEMS TO THIS OFFICE IMMEDIATELY
- 4) CONTRACTOR TO PROTECT ANY UNAFFECTED BUILDING ELEMENTS DURING CONSTRUCTION AND MAKE GOOD ANY FINISHES AFFECTED BY CONSTRUCTION
- 5) ALTERNATIVES AND QUALITY CONTROL- UNLESS REFERENCE IS MADE ON THE DRAWINGS TO THE APPROPRIATE TRADE ASSOCIATION STANDARDS ALL MATERIALS SPECIFIED SHALL BE TO THE PREMIUM QUALITY AND SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST PRACTICE AND TO THE SATISFACTION OF THIS OFFICE. ANY ALTERNATIVE MATERIALS SUGGESTED BY THE CONTRACTOR MUST BE SUBMITTED TO THE DESIGNER FOR WRITTEN APPROVAL.
- 6) WORKMANSHIP AND INSTALLATION OF ALL ITEMS MUST BE OF THE BEST PROFESSIONAL QUALITY STANDARDS. WHEN THESE CONDITIONS ARE NOT MET, THE DESIGNER RESERVES THE RIGHT TO REJECT SUCH ITEMS FOR REPLACEMENT BY THE CONTRACTOR AT HIS/HER EXPENSE.
- 7) CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND DEBRIS CAUSED OR LEFT. CONTRACTOR SHALL EMPLOY A PROFESSIONAL CLEANER TO CLEAN THE COMPLETED WORK BEFORE HANDING THE SPACE OVER (UNLESS OTHERWISE INSTRUCTED BY THE OWNER)
- 8) CONTRACTOR IS FULLY RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND IS REQUIRED TO CONFORM TO THE REQUIREMENTS OF THE WORKER'S COMPENSATION BOARD AND PHHMS
- 9) CONTRACTOR TO ADD BLOCKING BEHIND WALL FOR MOUNTING FIXTURES, EQUIPMENT, AND ACCESSORIES AS REQUIRED
- 10) GENERAL CONTRACTOR IS TO KEEP RECORD AND PROVIDE THIS OFFICE AND CLIENT WITH COPIES OF ALL MUNICIPAL INSPECTION SLIPS
- 11) ALL MATERIAL SAMPLES TO BE SUBMITTED IN DUPLICATE FOR REVIEW & APPROVAL ALLOW MIN. 7 DAYS WORKING DAYS FOR SHOP DWS REVIEW & APPROVAL
- 12) GENERAL CONTRACTOR IS TO KEEP RECORD AND PROVIDE THIS OFFICE AND CLIENT WITH COPIES OF ALL MUNICIPAL INSPECTION SLIPS.

STAIN SAMPLES

- 13) 3 STAIN COLOUR VARIATIONS SUBMITTED IN DUPLICATE ARE REQUIRED FOR REVIEW & APPROVAL PRIOR TO APPLICATION

DIMENSION NOTES

- 14) ALL ROOM DIMENSIONS ARE FROM FACE OF G.M.B. TO FACE OF G.M.B.
- 15) IN THE CASE OF ANY DISCREPANCY, THIS OFFICE IS TO BE NOTIFIED BEFORE WORK CAN COMMENCE. COMMENCEMENT OF CONSTRUCTION SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS

MECHANICAL NOTES

- 16) REPLACE ALL WASHROOM FANS W/ LOW SONE UNITS (0.8 SONES OR LESS)

INSULATION NOTES

- 17) MINIMUM INSULATION VALUES FOR NEW WALLS TO BE R20 OR AS REQUIRED BY MUNICIPALITY
- 18) ALL NEW EXTERIOR CEILING AND WALLS TO HAVE 6 MIL U.V. POLY FULLY CAULKED AS PER # 9.25 B.C.B.C. SECTION

MOISTURE PROTECTION

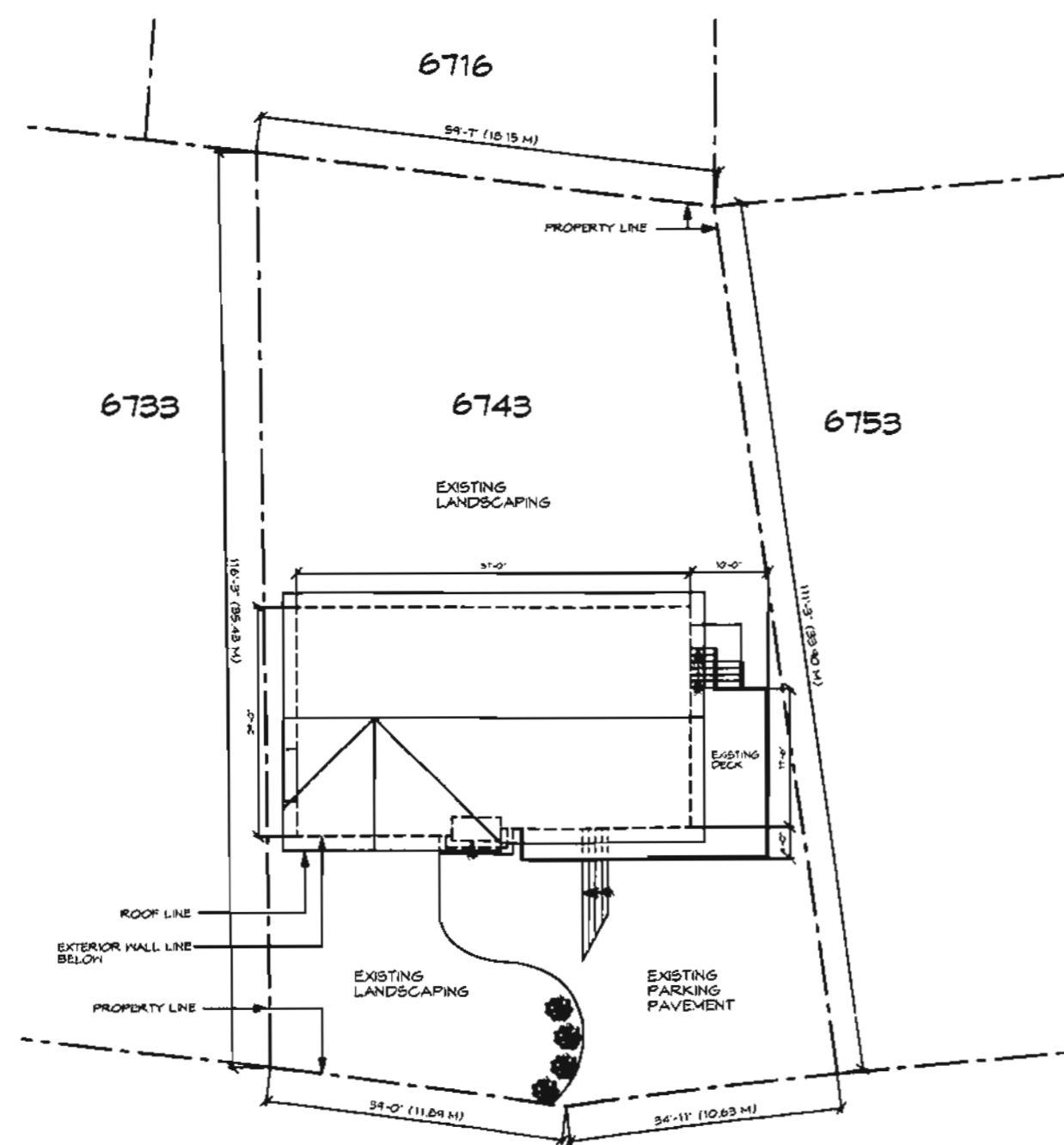
- 19) PROVIDE NEW WATER RESISTANT GEMENT BOARD OR EQUIVALENT TILE MOUNTING SURFACES TO ALL NEW AREAS AS FOLLOWS:
 - TUB AND SHOWER WALLS
- 20) PROVIDE CRACK SUPPRESSION MEMBRANES FOR ALL TILE FLOORING.

REFLECTED CEILING NOTES

- 21) SUB-CONTRACTOR TO SUPPLY AND INSTALL ALL NEW BASE BUILDING LIGHTING PACKAGE INCLUDE FOR INSTALLATION OF ALL CLIENT SUPPLIED DECORATIVE LIGHTING.
- 22) CONTRACTOR TO INSTALL 1/2" BACKING FOR ALL FIXTURES AS REQUIRED.

PLUMBING NOTES

- 23) FURNISH AND INSTALL VALVES, TRAPS, STRAINERS, BACK FLOW PREVENTERS ETC. NOT FURNISHED BY EQUIPMENT SUPPLIER, BUT REQUIRED FOR PROPER FIXTURE OPERATION
- 24) CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE BUT ARE SUBJECT TO VERIFICATION PRIOR TO WORK BEGINNING. VERIFY LOCATIONS AND ELEVATIONS OF FIXTURES TO BE CONNECTED AND CORRECT DEFICIENCY CAUSED BY FAILURE TO PERFORM THESE SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY OWNER/ THIS OFFICE OF ANY CONDITION THAT CONFLICT WITH PLANS.
- 25) PLUMBER TO INSTALL ANY CLIENT SUPPLIED PLUMBING FIXTURES AS IDENTIFIED ON SPECIFICATIONS



STONEY CRESCENT
 MAIN FLOOR: 1378 SF
 BASEMENT FLOOR: 1114 SF
 TOTAL: 2492 SF
 SITE PLAN
 Scale: 1/16" = 1'-0"

ZONE RS1 # STOREY 2
 PROPOSED F.S.R. * S.C. * EXISTING
 MINIMUM SETBACK DISTANCES:
 FRONT * REAR *
 SIDE L * SIDE R *

IMPORTANT
 COPY OF THE TAG MUST BE
 PRESENT AT TIME OF INSPECTION

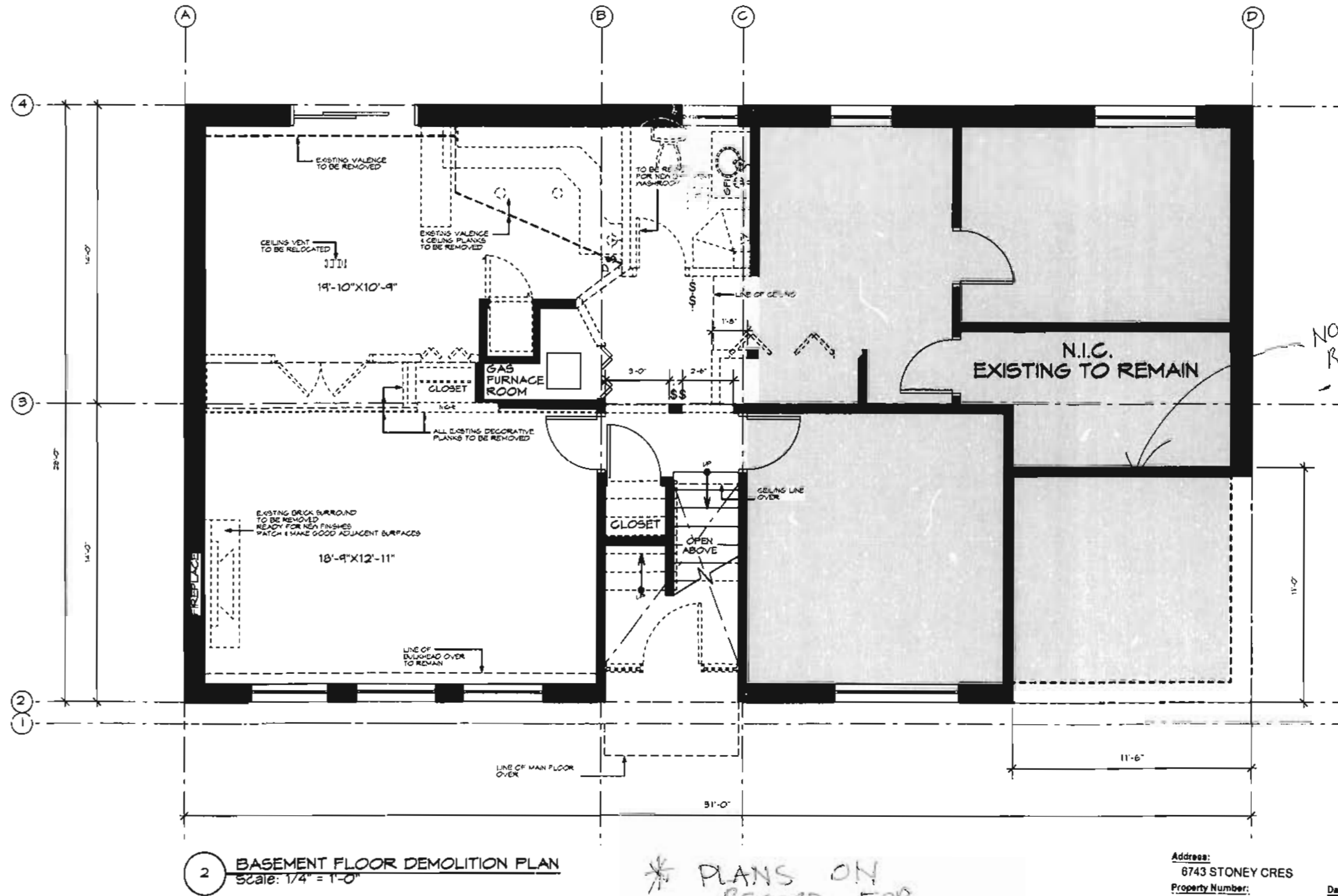
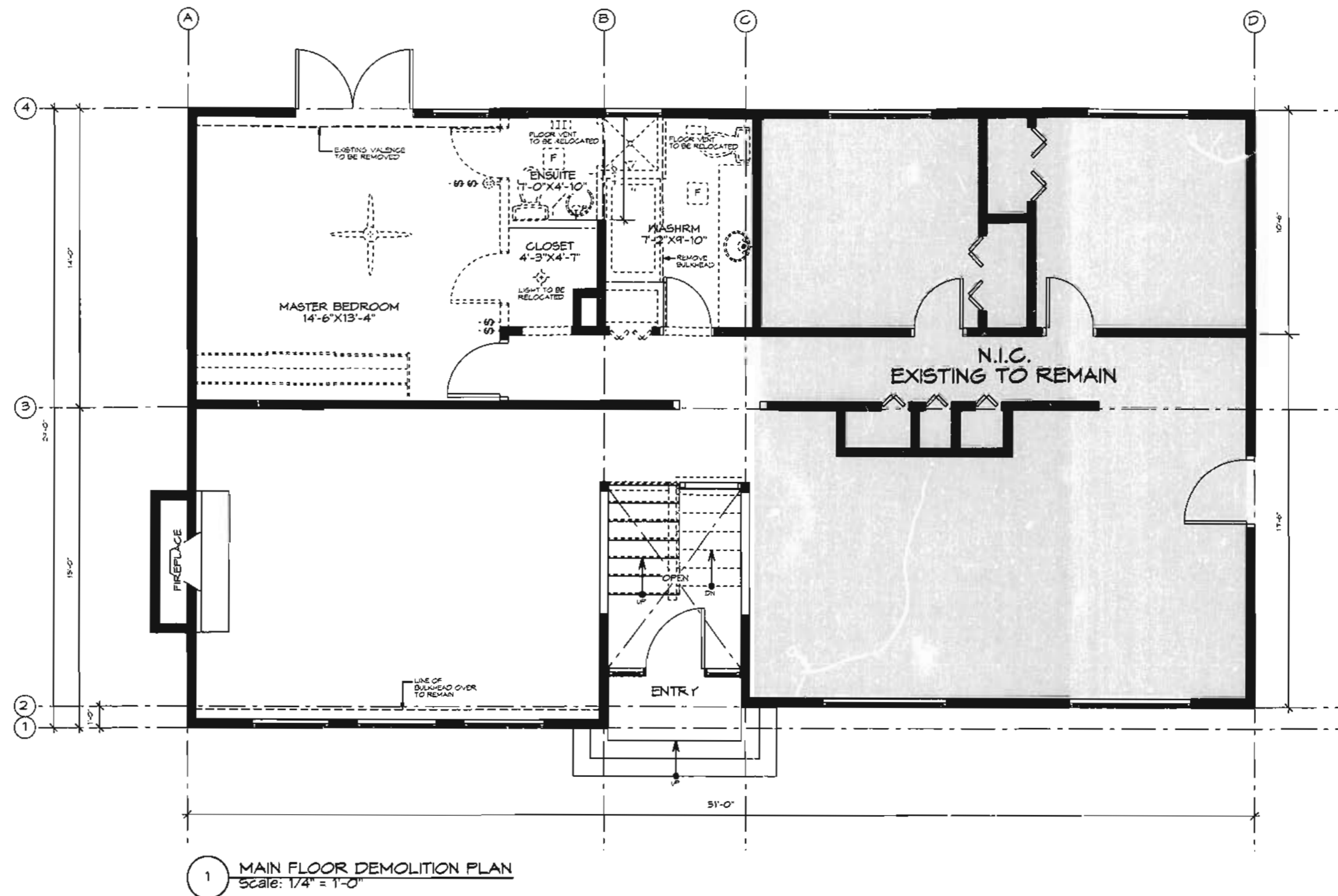
Address:
 6743 STONEY CRES
 Property Number:
 103747
 Project:
 BP008495
 Date:
 Jul 5, 2011
 Folder:
 BP008495
 Type / Subject:
 RESIDENTIAL-RENOVATION -NORTH
 Interior renovations

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN. PATCH & MAKE GOOD WALLS, FLOORS, & ADJACENT SURFACES READY FOR NEW FINISHES.
- EXISTING WALLS TO BE REMOVED. PATCH & MAKE GOOD WALLS, FLOORS, & ADJACENT SURFACES READY FOR NEW FINISHES.
- EXISTING DOOR TO REMAIN. PATCH & MAKE GOOD READY FOR NEW FINISH.
- EXISTING DOOR TO BE REMOVED OR TO BE RELOCATED. REFER TO DOOR SCHEDULE.
- EXISTING MILLWORK / PLUMBING TO BE REMOVED.
- EXISTING CEILING BULKHEAD / VALANCE TO BE REMOVED.
- EXISTING SWITCH TO BE REMOVED. REMOVE EXISTING LIGHT SWITCHES CORRESPONDING TO LIGHT FIXTURES & WALLS BEING REMOVED.
- EXISTING WALL SCONCE LIGHT TO BE REMOVED.
- EXISTING CEILING MOUNTED LIGHT TO BE REMOVED OR RELOCATED. REFER TO RCP DNGS FOR DETAILS.
- EXISTING RECESSED POT LIGHT TO BE REMOVED.
- EXISTING DUPLEX OUTLET TO BE REMOVED.
- EXISTING GFI DUPLEX OUTLET TO BE REMOVED.
- EXISTING FOURPLEX OUTLET TO BE REMOVED.
- EXISTING FLOOR VENT TO BE RELOCATED.
- EXISTING FAN TO BE RELOCATED. REFER TO RCP DNGS FOR DETAILS.
- EXISTING CEILING FAN W/LIGHT TO BE RELOCATED. REFER TO RCP DNGS FOR DETAILS.


NOTES:

- ALL DUCTS, VENTS & GRILLES ASSOCIATED HVAC SYSTEMS TO BE REFIGURED AND RECONNECTED. PATCH & MAKE GOOD ADJACENT SURFACES READY FOR NEW FINISHES.
- ALL EXISTING FLOOR FINISHES EXCEPT FOR HARDWOOD TO BE REMOVED. PATCH & MAKE GOOD ADJACENT SURFACES READY FOR NEW FINISHES.
- PROVIDE MIN. 3/8" TH. T&G PLY AND RAM BOARD PROTECTION OVER ALL EXISTING HARDWOOD FOR FULL DURATION OF CONSTRUCTION PERIOD. PROTECTION TO BE INSTALLED PRIOR TO DEMO.
- REMOVE EXISTING LIGHT SWITCHES & WIRING CORRESPONDING TO LIGHT FIXTURES BEING REMOVED.
- ALL LIGHTING FIXTURE REMOVED ARE TO BE SORTED, PROTECTED & STORED IN ALL ASSOCIATED PARTS FOR FUTURE REUSE.



* PLANS ON RECORD FOR UNFINISHED BASEMENT ONLY

Address: 8743 STONEY CRES
Property Number: 103747
Project: BP008495
Date: Jul 5, 2011
Folder: BP008495
Type / Subject: RESIDENTIAL-RENOVATION - NORTH Interior renovations



FALSE CREEK DESIGN GROUP

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DO NOT SCALE DRAWINGS

Issued	Date
FOR BUILDING PERMIT	JUNE 21, 2011
Revision	Date

MCKINNON RESIDENCE

6743 STONEY CRES.
DELTA, BC

Date	DEC. 14, 2010
Scale	1/4" = 1'-0"
Drawn By	KK
Checked By	WC

Drawing Title
DEMOLITION PLANS

Project No.	Drawing No.
1341	ID01

1341_2011-06-21_PLANS.wx

CONSTRUCTION LEGEND

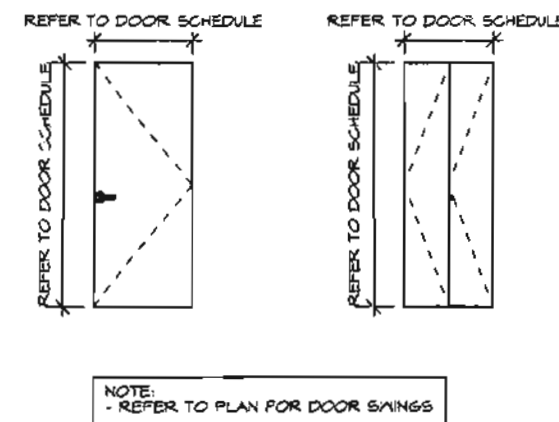
- EXISTING WALLS TO REMAIN. PATCH & MAKE GOOD WALLS & ADJACENT SURFACES READY FOR NEW FINISHES.
- REMOVED EXTERIOR WALLS TO BE RESTORED FINISHES TO MATCH ADJACENT FINISHES
- NEW INTERIOR WALLS
 - 1/2" G.M.B.
 - 2X4 STUDS @16" O.C. OR OTHER TO SUIT
 - EXISTING MALL
 - 1/2" G.M.B.
- NEW INTERIOR PLUMBING WALLS
 - 1/2" G.M.B.
 - 2X6 STUDS @16" O.C. OR OTHER TO SUIT
 - EXISTING MALL
 - 1/2" G.M.B.
- NEW OR EXISTING DOOR REFER TO DOOR SCHEDULE FOR DETAIL
- NEW BI-FOLD DOOR REFER TO DOOR SCHEDULE FOR DETAIL
- EXISTING OR RELOCATED CEILING/FLOOR VENT REFER TO NOTES ON DWGS FOR DETAIL
- EXISTING WALL VENT

NOTES:

- REFINISH EXISTING HANDRAILS, HARDWOOD STAIRS & STAIR TRIMS TO MATCH ID SAMPLE.
- PROVIDE 1/2" CEMENTIOUS BOARD OR DENS SHIELD AT ALL SHOWER WALLS FOR FULL EXTENT OF TILE SURFACES. FURNISH 18"HT. DENS SHIELD WALL AT TUB DECK ALL SIDES.
- PROVIDE MIN. 1 1/2" SOLID BLOCKING IN WALLS TO ACCOMMODATE BATHROOM ACCESSORY INSTALL @ FRAMELESS SHOWER DOOR INSTALL.
- CLEAN EXISTING DRYER DUCT TO EXTERIOR.
- THOROUGHLY CLEAN FIREPLACE FLUE TO ENSURE FLAMELESS OPERATION OF FIRE DAMPER & DAMPER LEVER.
- CONFIRM NEW FLOOR / CEILING GRILL & LOCATIONS WITH DESIGNER PRIOR TO INSTALL.

DOOR SCHEDULE ABBREVIATIONS

PT	PAINTED
HC	HOLLOW CORE
SC	SOLID CORE
MD	MOOD
EX	AS EXISTING
PF	PRE-FINISHED

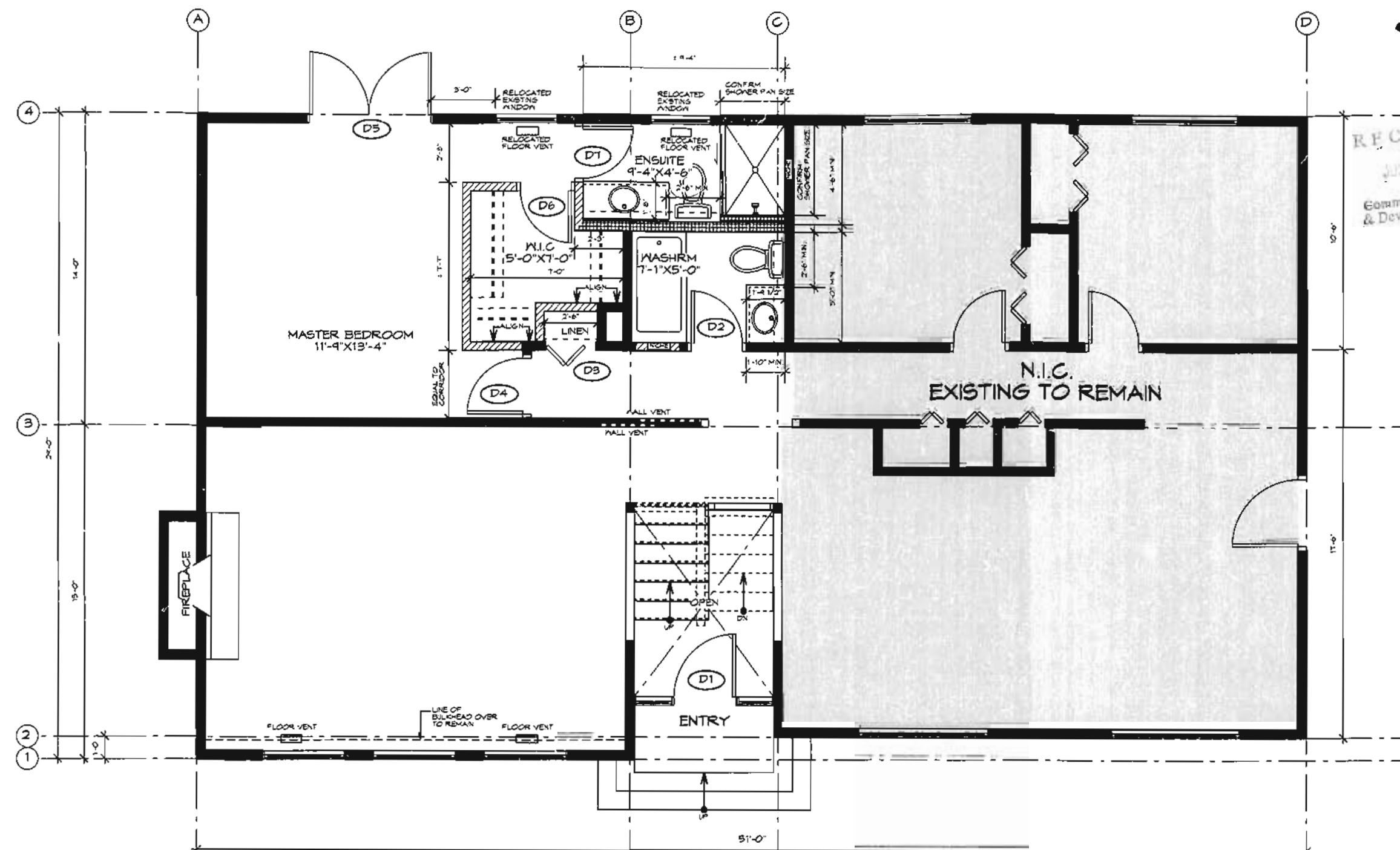


DOOR SCHEDULE

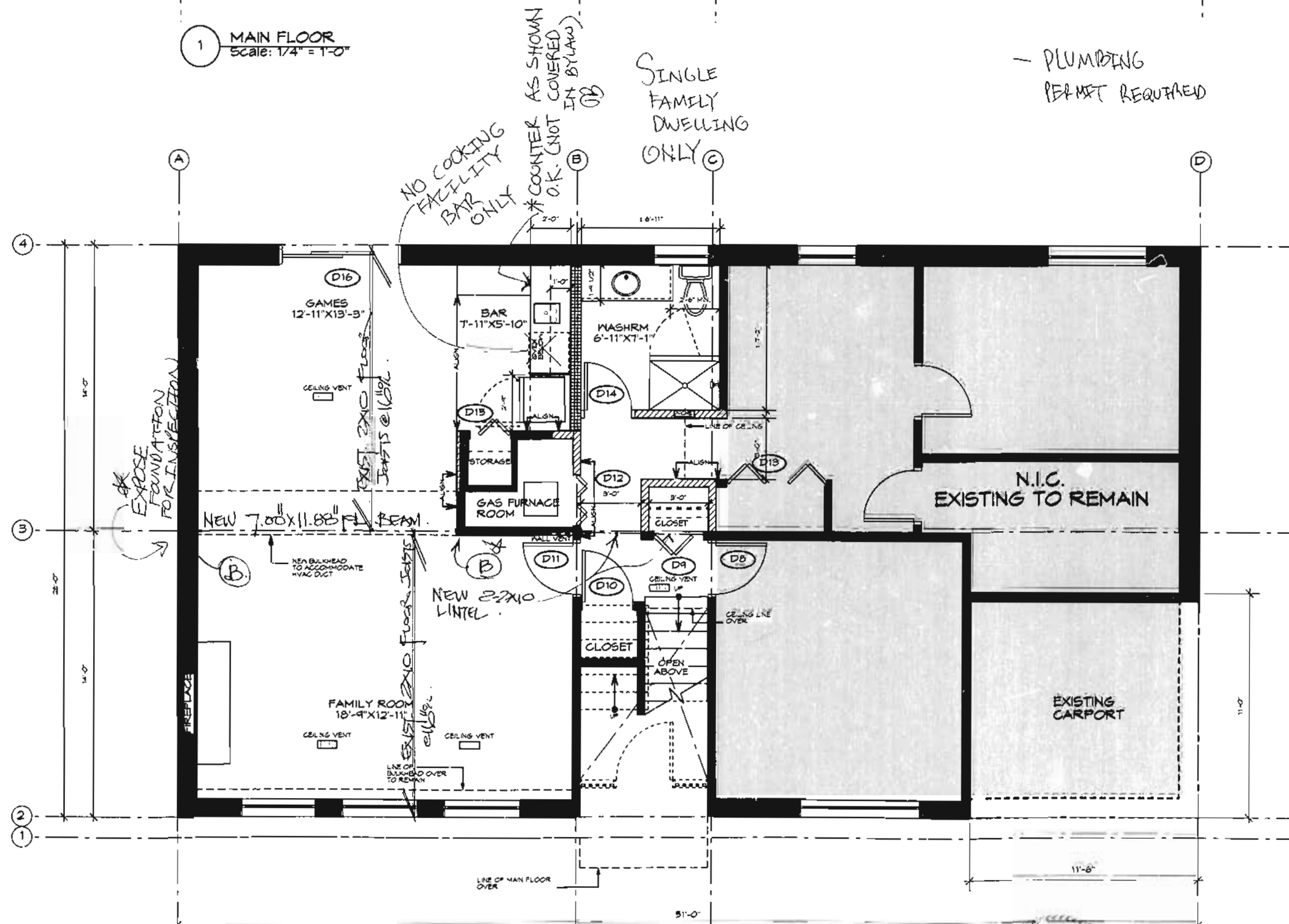
DOOR	LOCATION	DOOR SPECIFICATION	GLAZING	FRAME TYPE	RATING	NOTES	DOOR HARDWARE
D1	MAIN ENTRY	EXISTING SWING	IND EX	PT EX	EX	EXISTING TO REMAIN	EXISTING TO REMAIN
D2	MAIN FLOOR WASHROOM	TO SUIT EXISTING OPENING	SWING	IND SC	PT	N/A	MD
D3	MAIN FLOOR LINEN CLOSET	24" x 60" x 1 3/4"	BI-FOLD	IND HC	PT	N/A	MD
D4	MASTER BEDROOM	EXISTING SWING	IND EX	PT	EX	EXISTING TO REMAIN	PRIVACY SET
D5	MASTER BEDROOM	EXISTING SWING	IND EX	PT	EX	EXISTING TO REMAIN	PRIVACY SET
D6	MASTER BEDRM WALK-IN CLOSET	24" x 60" x 1 3/4"	SWING	IND SC	PT	N/A	MD
D7	ENSUITE	24" x 60" x 1 3/4"	SWING	IND SC	PT	N/A	MD
D8	BASMENT BEDROOM	EXISTING SWING	IND EX	PT	EX	EXISTING TO REMAIN	EXISTING TO REMAIN
D9	BASMENT COAT CLOSET	26" x 60" x 1 3/4"	BI-FOLD	IND HC	PT	N/A	MD
D10	CLOSET BELOW STAIRS	EXISTING SWING	IND EX	PT	EX	EXISTING TO REMAIN	EXISTING TO REMAIN
D11	FAMILY ROOM	EXISTING SWING	IND EX	PT	EX	EXISTING TO REMAIN	EXISTING TO REMAIN
D12	GAS FURNACE ROOM	EXISTING BI-FOLD	IND EX	PT	EX	EXISTING TO REMAIN	EXISTING TO REMAIN
D13	CLOSET	TBD BI-FOLD	IND HC	PT	N/A	MD	PT
D14	BASMENT WASHROOM	24" x 60" x 1 3/4"	BI-FOLD	IND HC	PT	N/A	MD
D15	STORAGE	EXISTING BI-FOLD	IND HC	PT	N/A	MD	PT
D16	GAMES ROOM	EXISTING SLIDER	EX EX	EX	EX	EXISTING TO REMAIN	EXISTING TO REMAIN

DOOR NOTES

- FOR DOOR FRAME CONSTRUCTION & STANDARDS, REFER TO SPECIFICATIONS.
- ALL EXISTING AND RELOCATED DOORS TO BE PATCHED AND MADE GOOD FOR NEW FINISHES.



1 MAIN FLOOR
Scale: 1/4" = 1'-0"



2 BASEMENT FLOOR
Scale: 1/4" = 1'-0"

(B) - ENGINEER TO REVIEW EXIST. FND. FOR THE NEW POINT LANDING. UPGRADE MAY BE REQ'D UPON FIELD INSPECTION.

PROVIDE FIELD REPORT WITH THIS SUBMISSION



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DO NOT SCALE DRAWINGS

Issued	Date
FOR BUILDING PERMIT	APRIL 13, 2011
Revision	Date

Address: 6743 STONEY CRES
Property Number: 103747
Project: BP008495
Date: Jul 5, 2011
Folder: BP008495
Type / Subject: RESIDENTIAL-RENOVATION - NORTH Interior renovations

MCKINNON RESIDENCE

6743 STONEY CRES.
DELTA, BC

Date: DEC. 14, 2010
Scale: 1/4" = 1'-0"
Drawn By: KK
Checked By: WC

Drawing Title: **CONSTRUCTION PLANS**

Project No. Drawing No.
1341 ID02

1341_2011-04-12_BP_SET_PLANS.dwg



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DO NOT SCALE DRAWINGS

Issued	Date
FOR BUILDING PERMIT	JUNE 21, 2011

Revision	Date

Address: 6743 STONEY CRES
Property Number: 103747
Project: BP008495
Date: Jul 5, 2011
Folder:
Type / Subject: RESIDENTIAL-RENOVATION - NORTH
Interior renovations

MCKINNON
RESIDENCE

6743 STONEY CRES.
DELTA, BC

Date: DEC. 14, 2010
Scale: 1/4" = 1'-0"
Drawn By: KK
Checked By: WC

Drawing Title
**REFLECTED
CEILING PLANS**

Project No. Drawing No.
1341 ID03

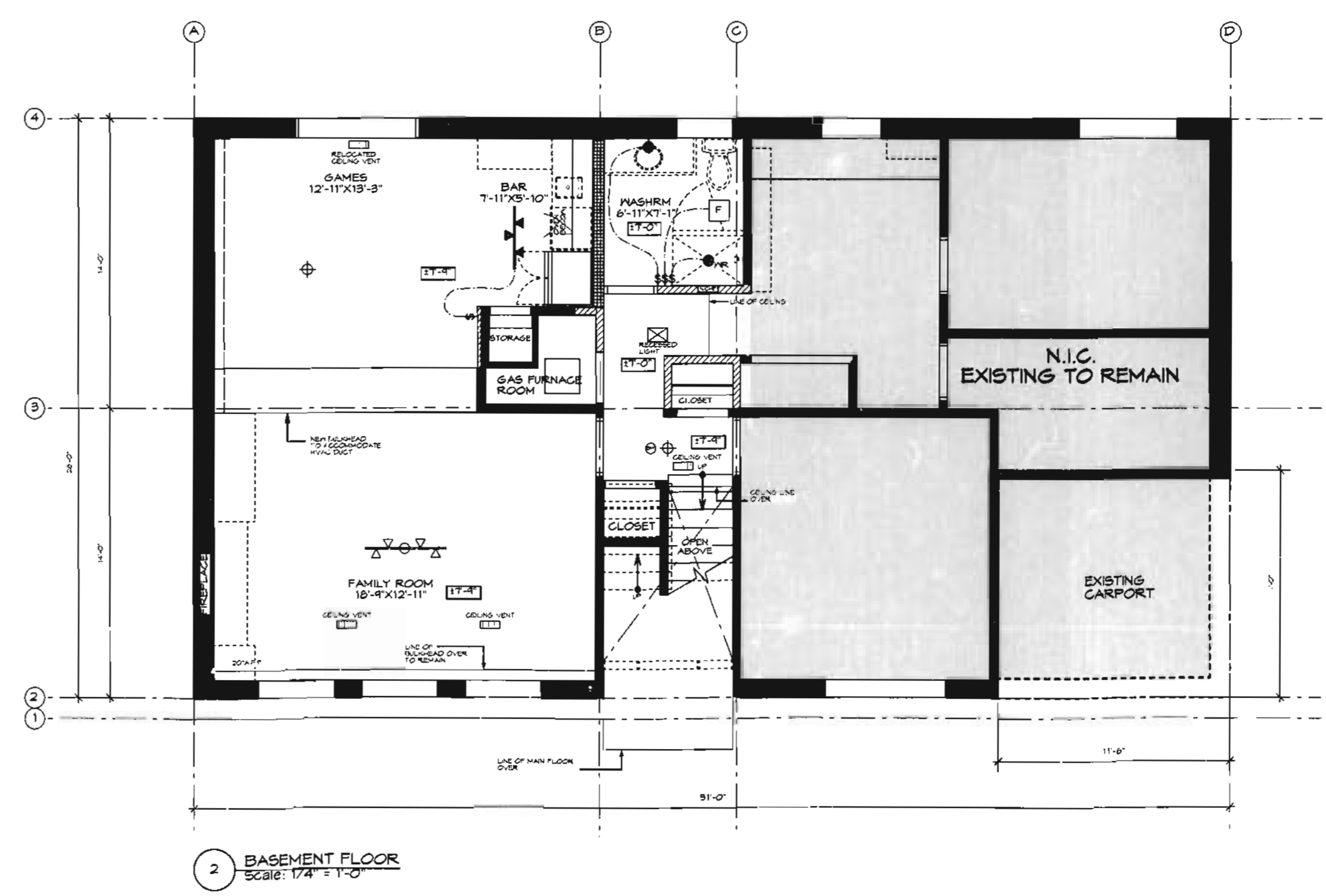
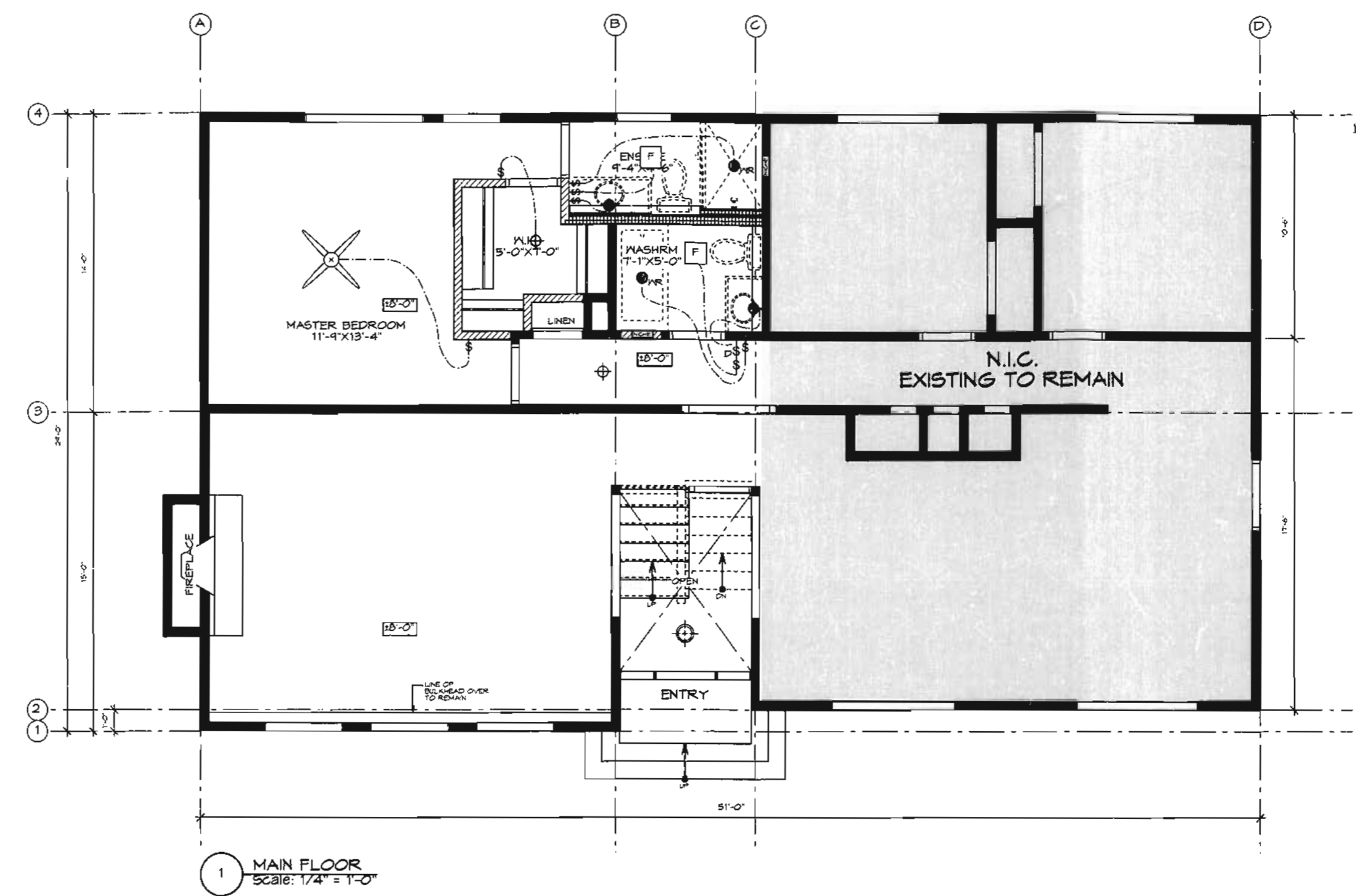
1341_2011-06-21_PLANS.wxw

RCP LEGEND

- EXISTING CHANDELIER LIGHT
- EXISTING SURFACE MOUNTED LIGHT
- EXISTING WALL MOUNTED LIGHT
- EXISTING SWITCH
- EXISTING SWITCH W/ DIMMER
- RELOCATED EXISTING CEILING FAN W/ LIGHT
- EXISTING TRACK LIGHT
- EXISTING RECESSED LIGHT
- RELOCATED EXISTING WASHROOM FAN
- EXISTING / RELOCATED CEILING VENT
- EXISTING SMOKE ALARM
- NEW RECESSED WATER RESISTANT LIGHT REFER TO SPEC FOR DETAILS
- NEW WALL MOUNTED LIGHT REFER TO SPEC FOR DETAILS
- RELOCATED EXISTING LIGHT
- NEW TRACK LIGHT REFER TO SPEC FOR DETAILS
- NEW ONE-WAY LIGHT SWITCH TO BE INSTALLED 6" AFF. ON CENTRE OR TO MATCH HT. W/ ADJACENT SWITCH

NOTES:

1. PATCH G.I.B. CEILINGS AS REQ'D
2. RE-LOCATE EXISTING RECESSED POT LIGHTS TRIMS.
3. RELAMP ALL EXISTING FIXTURES W/ NEW LAMPS. MANUFACTURES FROM PHILIPS. STANDARD PRO SYLVANIA ONLY. ALL LAMPING TO BE LONG LIFE FILAMENT.
4. REPLACE ALL WASHROOM FANS W/ LOW SONE UNITS (0.8 SONES OR . . .35)
5. SWITCHING CIRCUITS SHOWN FOR NEW LIGHTS & SWITCHES ONLY. EXISTING FIXTURES TO REMAIN AS CIRCUITED UNLESS OTHERWISE NOTED.
6. REFER TO MILLWORK DWGS FOR PUCK LIGHT LOCATIONS
7. ALL EXISTING LIGHT AFFECTED BY THE DEMOLITION IS TO BE REMOVED. REFER TO RCP FOR NEW LIGHTING REQ'D.

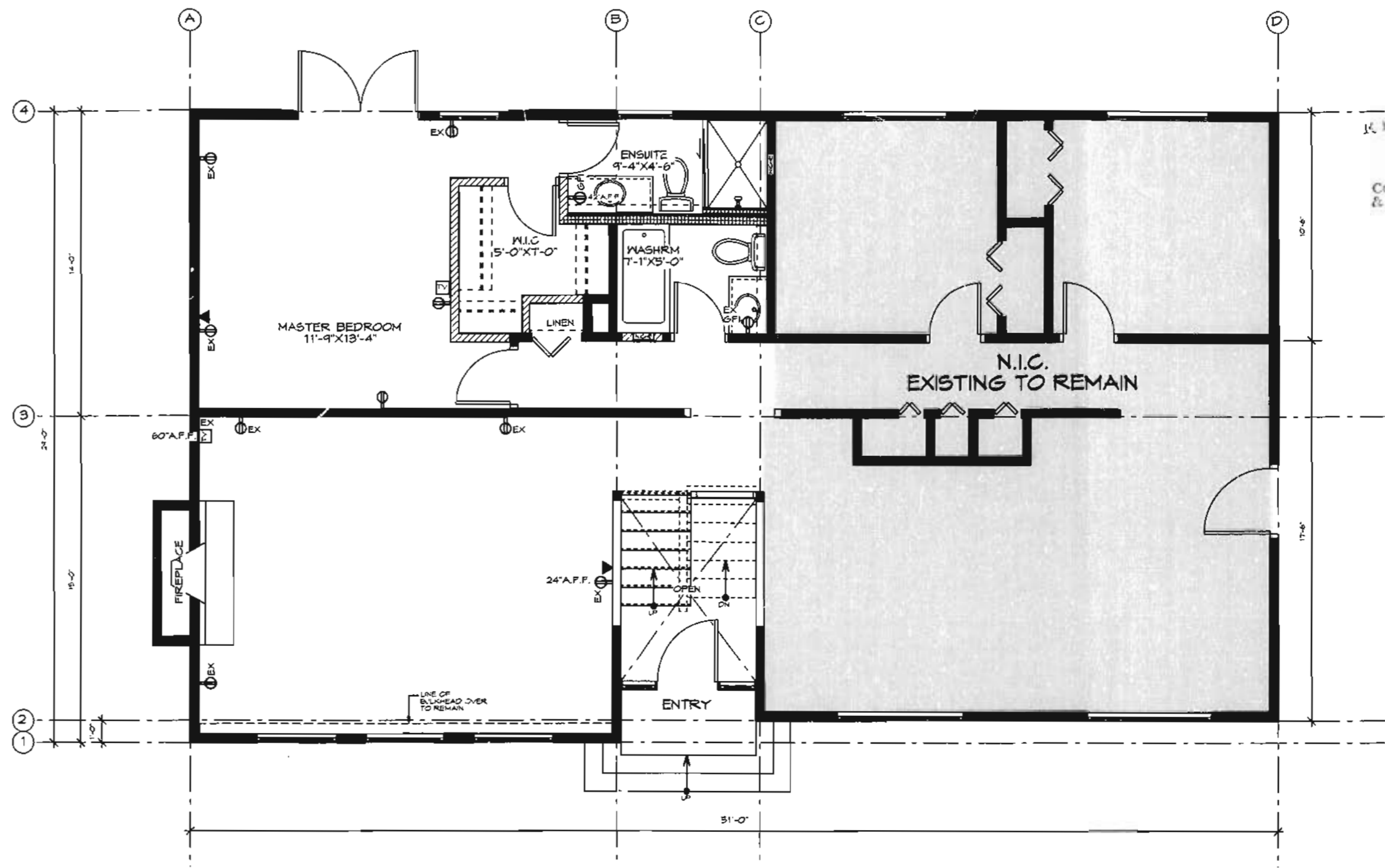


ELECTRICAL LEGEND

- ⊕EX EXISTING DUPLEX OUTLET
- ⊕EX GFI EXISTING GFI DUPLEX OUTLET
- ⊕EX EXISTING FOURPLEX OUTLET
- ⊕EX EXISTING TV OUTLET
- ▲EX EXISTING VOICE OUTLET
- ⊕ NEW DUPLEX OUTLET
- ⊕P NEW 240V DUPLEX, DEDICATE
- ⊕GFI NEW GFI DUPLEX OUTLET
- ⊕ NEW TV OUTLET
- ▲ NEW VOICE OUTLET

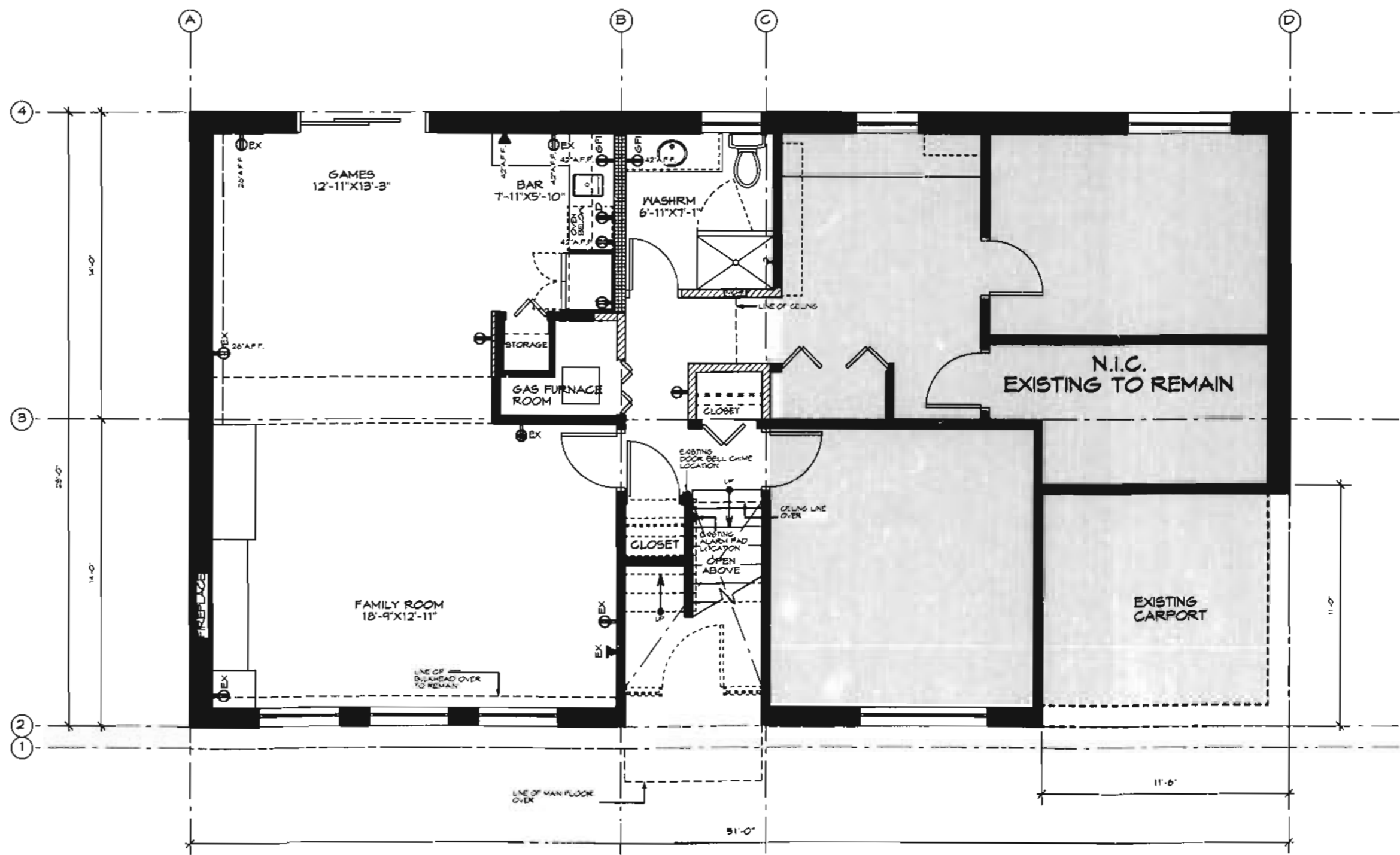
NOTES:

1. ALL EXISTING OUTLET COVER PLATES, VOICE & DATA PLATES, WALL SWITCHES, ETC ARE TO BE REMOVED AND REPLACED WITH NEW DESIGNER DECORA COVER PLATES. COLOUR TO BE WHITE.
2. SMOKE ALARMS REQUIRED ON EVERY FLOOR LEVEL, DIFFERING BY 36" AND WITHIN 5 METERS OF BEDROOM DOORS AND 15 METERS OF EACH OTHER.
3. CONTRACTOR TO VERIFY THAT ALL ELECTRICAL CABLE, PHONE AND OUTLETS ARE OPERATIONAL. REPAIR AS REQUIRED.
4. CONFIRM OPERATION OF ALL ALARM CONTACTS, MOTION DETECTORS, ETC. REPAIR AS REQUIRED.
5. CONFIRM THERMOSTAT LOCATIONS PRIOR TO INSTALLATION. PROVIDE VERTICAL & HORIZONTAL ALIGNMENT W/ ADJACENT FIXTURES.
6. ALL NEW OUTLET MOUNTING HT. TO ALIGN W/ ADJACENT EXISTING OUTLET MOUNTING HT.
7. ALL EXISTING OUTLET COVER PLATES, VOICE & DATA PLATES, WALL SWITCHES, ETC ARE TO BE REMOVED AND REPLACED WITH NEW DESIGNER DECORA COVER PLATES. COLOUR TO BE WHITE.



1 MAIN FLOOR
SCALE: 1/4" = 1'-0"

PROVINCIAL ELECTRICAL PERMIT REQUIRED



2 BASEMENT FLOOR
SCALE: 1/4" = 1'-0"

RECEIVED
JUL 05 2011
Community Planning & Development Dept.

FALSE CREEK DESIGN GROUP

FALSE CREEK DESIGN GROUP LTD.
Suite 500 - 856 Homer Street
Vancouver, BC V6B 2W5 CANADA
P 604.688.3131 F 604.689.4333

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DO NOT SCALE DRAWINGS

Issued	Date
FOR BUILDING PERMIT	JUNE 21, 2011
Revision	Date

Address: 6743 STONEY CRES
Property Number: 103747
Project: BPO06495
Date: Jul 5, 2011
Folder:
Type / Subject: RESIDENTIAL-RENOVATION - NORTH Interior renovations

MCKINNON RESIDENCE

6743 STONEY CRES.
DELTA, BC

Date: DEC. 14, 2010
Scale: 1/4" = 1'-0"
Drawn By: KK
Checked By: WC

Drawing Title
ELECTRICAL PLANS

NOT REVIEWED

Project No. Drawing No.
1341 ID04

RECEIVED
2011 05 20
Community Planning
& Development Dept.

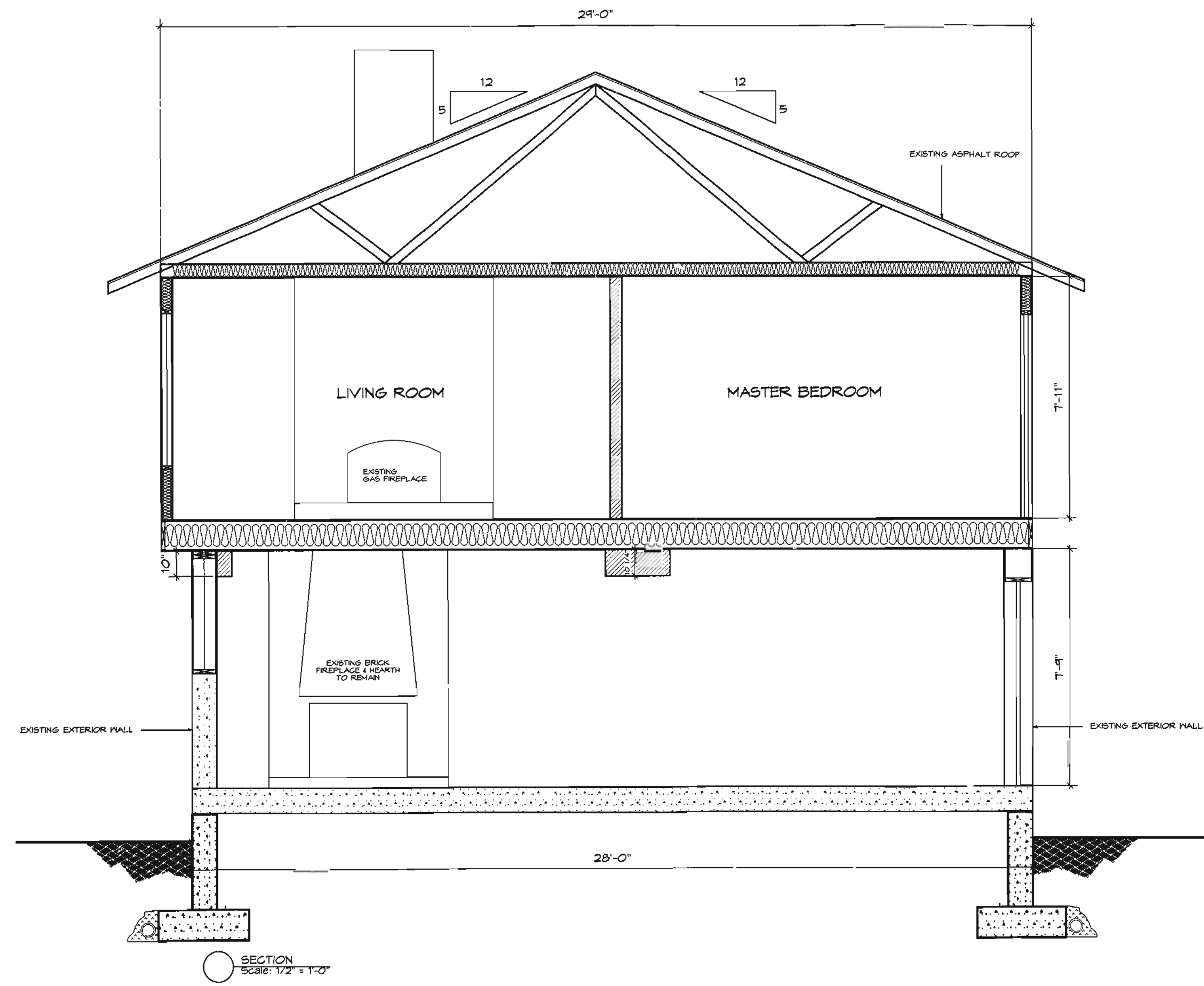


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ISSUED	Date
FOR BUILDING PERMIT	JUNE 21, 2011
Revision	Date



SECTION
Scale: 1/2" = 1'-0"

NEW ASSEMBLIES
TO MEET CURRENT
CODE WHERE
POSSIBLE
(2006)
NBC

Address:
6743 STONEY CRES
Property Number:
103747
Project:
RESIDENTIAL RENOVATION - NORTH
Interior renovations

Date:
Jul 5, 2011
Folder:
BP008-105

MCKINNON
RESIDENCE

6743 STONEY CRES.
DELTA, BC

Date: DEC. 14, 2010
Scale: 1/2" = 1'-0"
Drawn By: KK
Checked By: WC

Drawing Title
BUILDING SECTION

Project No. Drawing No.

1341 ID05